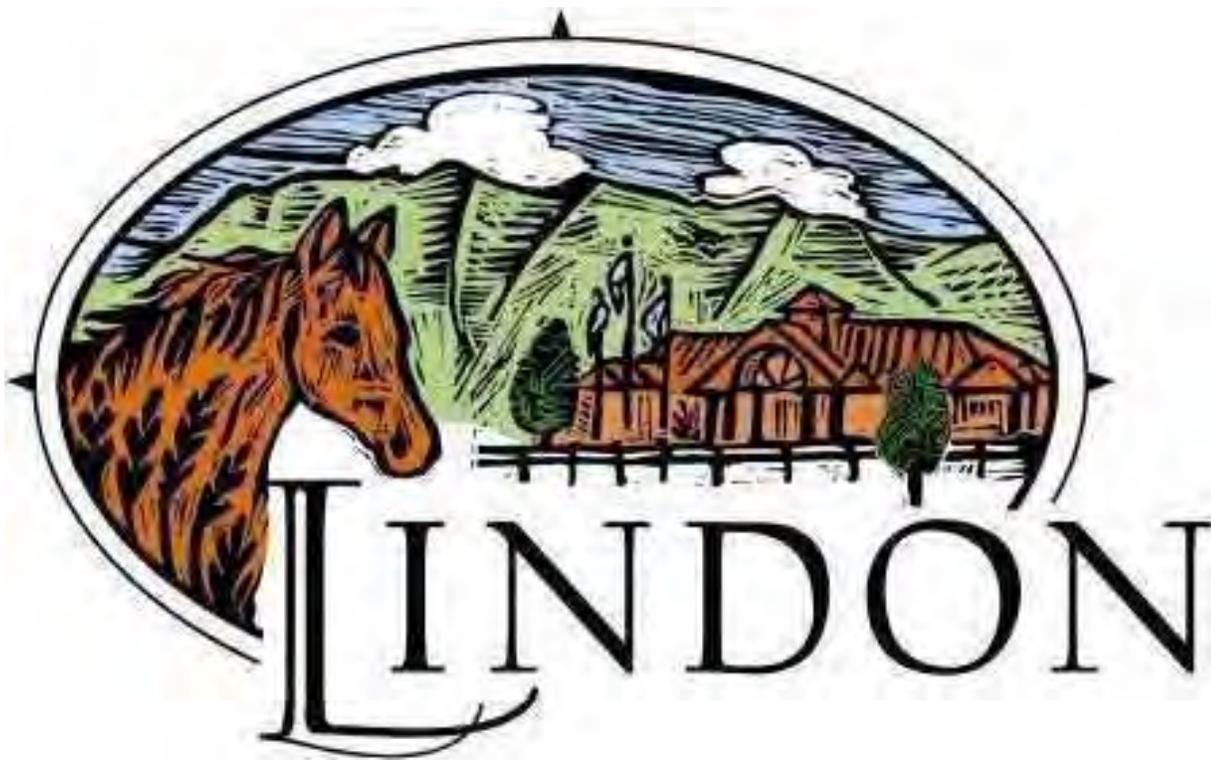


Lindon City Planning Commission Staff Report



May 26, 2020

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on Tuesday, May 26, 2020, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at 6:00 p.m. Due to Covid-19, the meeting will be broadcast electronically through Facebook Live at www.facebook.com/lindoncity. Through Facebook Live, the public will be able to make comments and ask questions. Please contact the Community Development Department with any questions. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation

1. Call to Order
2. Approval of minutes
Planning Commission 5/12/2020
3. Public Comment
4. Site Plan and One Lot Minor Subdivision Approval for Mountain Tech South Lot 5.
Approximately 600 N. 2800 W. Mark Weldon, on behalf of WICP West Mountain Tech South, requests site plan and one lot subdivision approval for a 159,000 square foot office building and accompanying parking structure in the Regional Commercial zone. (Parcel # 67:056:0004)
(20 minutes)
5. New Business from Commissioners
6. Planning Director Report
- General City updates



Scan or click here for link to download agenda & staff report materials.

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 hours notice.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindoncity.org websites.

**The duration of each agenda item is approximate only*

Posted By: Kathryn Moosman, City Recorder

Date: 5/22/2020

Time: 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Lindon City
100 North State Street
Lindon, UT 84042-1808



TEL 801-785-7687
FAX 801-785-4510
www.lindoncity.org

Item 1- Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Renee Tribe

2 The Lindon City Planning Commission held a regularly scheduled *electronic meeting* on
4 **Tuesday, May 12, 2020 beginning at 6:00 p.m.** at the Lindon City Center, City Council
Chambers, 100 North State Street, Lindon, Utah.

6 **REGULAR SESSION – 6:00 P.M.**

8 Conducting: Sharon Call, Chairperson
Invocation: Jared Schauers, Commissioner

10

PRESENT

EXCUSED

12 Sharon Call, Chairperson
Mike Marchbanks, Commissioner
14 Rob Kallas, Commissioner
Steven Johnson, Commissioner
16 Scott Thompson, Commissioner
Jared Schauers, Commissioner
18 Renee Tribe, Commissioner
Mike Florence, Planning Director
20 Anders Bake, Associate Planner
Brian Haws, City Attorney
22 Kathryn Moosman, City Recorder

24 1. **CALL TO ORDER** – The meeting was called to order at 6:00 p.m.

26 2. **APPROVAL OF MINUTES** –The minutes of the regular meeting of the
28 Planning Commission meeting of April 28, 2020 were reviewed.

30 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE MINUTES
OF THE REGULAR MEETING OF APRIL 28, 2020 AS PRESENTED.
32 COMMISSIONER TRIBE SECONDED THE MOTION. ALL PRESENT VOTED IN
FAVOR. THE MOTION CARRIED.

34 3. **PUBLIC COMMENT** – Chairperson Call called for comments from any
audience member who wished to address any issue not listed as an agenda item.
36 There were no public comments.

38 **CURRENT BUSINESS** –

40 4. **Public Hearing** – Amendment to the Lindon City Appendix A Standard Land
Use Table to allow Medical, Dental, & Health Clinic Services/small, outpatient
42 type services as a permitted use the Light Industrial zone. Application is made by
ALX Family Health.

44

46 COMMISSIONER THOMPSON MOVED TO OPEN THE PUBLIC HEARING.
COMMISSIONER MARCHBANKS SECONDED THE MOTION. ALL PRESENT
48 VOTED IN FAVOR. THE MOTION CARRIED.

2 Anders Bake, Associate Planner, led this agenda item by giving an overview
stating the applicant Blake Rapier on behalf of ALX Family Health, and who is in
4 attendance, is proposing an amendment to Appendix A of the Standard Land Use Table
to make “Medical, Dental, & Health Clinic Services / small outpatient type services” a
6 permitted use in the Light Industrial zone. Mr. Bake noted “Medical, Dental, & Health
Clinic Services / small outpatient type services” are currently permitted in the Mixed
8 Commercial, Research and Business, and General Commercial Zones. They are not
permitted in the Residential, Recreational Mixed Use, Planned Commercial, and
10 Industrial Zones.

12 Mr. Bake indicated the applicant is proposing this amendment in order to receive
a business license to operate his Family Health business located at 245 South 1060 West
14 in Lindon’s Light Industrial zone. After reviewing the Standard Land Use Table, city
staff has found that there are uses similar in impact to a medical, dental, or health clinic
and permitted in the Light Industrial zone. These include professional office uses,
16 massage therapy and personal care health spas, and veterinarian services.

18 Mr. Bake stated Staff feels that a medical, dental, or health clinic will not cause a
negative impact on the surrounding light industrial properties and that the uses permitted
in the light industrial zone will not cause a negative impact to a clinics business or its
20 customers. Mr. Bake indicated Staff recommends approving the proposed change to the
Standard Land Use Table.

22 Mr. Bake then presented the ALX Family Health Business Description, Map of
ALX Family Health location and the Lindon City Zoning Map followed by some general
24 discussion. He then turned the time over to the applicant for comment.

26 Mr. Rapier explained they are a small family owned clinic with just 2-3 medical
providers and will not be growing any larger. He has been practicing Family Medicine
since 2006 and the other provider has been practicing since 1998. They focus on taking
28 care of the medical and health needs of families.

30 Mr. Rapier stated he has had multiple practices and he has learned how to
streamline the business side of medicine instead of lining a CEO's pockets and these
32 savings they pass on to the patient. They take Medicare and Medicaid and they also have
the lowest cash pay price in the area for those families with no insurance or with high
deductible insurance plans. They also understand the current times and offer
34 telemedicine for a lower price than what insurance companies charge for telemedicine
services.

36 Mr. Rapier pointed out that it is easy to lose sight of why anyone would get into
medicine therefore they see many roadblocks for patients in health care. He noted they
38 always remember that they got into medicine for the patients and they are removing the
roadblocks to ensure families get the care they need. They can take care of patients from
40 pediatrics to geriatrics with all being on an outpatient basis. They will also be on call but
office visits will be between 9am-5pm Monday through Friday with only minor
42 procedures taking place at the office. They do not deliver babies, but they will do all
other general medical practices. They will not store any pharmaceuticals onsite. All
44 laboratory specimens will be run through LabCorp and there will be no onsite laboratory
work. He concluded by stating they feel they will be a great benefit to the Lindon area
46 and the community.

48 Following some general discussion regarding this request the commission was in
agreement to recommend approval of the ordinance amendment to the city council.

2 Chairperson Call called for any further public comments. Hearing none she called
4 for a motion to close the public hearing.

6 COMMISSIONER SCHAUERS MOVED TO CLOSE THE PUBLIC HEARING.
8 COMMISSIONER MARCHBANKS SECONDED THE MOTION. ALL PRESENT
10 VOTED IN FAVOR. THE MOTION CARRIED.

12 Chairperson Call called for any further comments or discussion from the
14 Commission. Hearing none she called for a motion.

16 COMMISSIONER THOMPSON MOVED TO RECOMMEND TO THE CITY
18 COUNCIL APPROVAL OF ORDINANCE 2020-10-O AS PRESENTED.
20 COMMISSIONER KALLAS SECONDED THE MOTION. THE VOTE WAS
22 RECORDED AS FOLLOWS:

16 CHAIRPERSON CALL	AYE
18 COMMISSIONER MARCHBANKS	AYE
20 COMMISSIONER KALLAS	AYE
22 COMMISSIONER JOHNSON	AYE
COMMISSIONER THOMPSON	AYE
COMMISSIONER SCHAUERS	AYE
COMMISSIONER TRIBE	AYE

24 THE MOTION CARRIED UNANIMOUSLY.

- 26 **5. Concept Review – Approximately 550-570 North State Street (Norton
28 Property)** BRS Consulting requests concept review for residential and
30 commercial development for the property located at approximately 550-570 N.
State Street. A Concept Review allows applicant to receive planning commission
feedback and comments on proposed projects. No formal approvals or motions are
given, but general suggestions or recommendations are typically provided

32 Mike Florence, Planning Director opened this agenda item by giving a brief
34 summary explaining the applicant is requesting concept review feedback for a mixed
commercial site for commercial business and residential uses. Specifically, the applicant
is requesting concept feedback on the bullet points below:

- 36 • Live/work units on State Street
- 38 • Multi-story residential
- Townhome development

40 Mr. Florence indicated the planning commission has held two previous concept
42 reviews for this property. In 2018, the commission reviewed a concept plan that included
44 both commercial along State Street and storage units on the remaining portion of the
property and in 2019, the commission reviewed a similar concept with commercial and
storage units as well as outdoor recreational vehicle storage.

46 Mr. Florence mentioned staff has brought a draft ordinance amendment to the
48 Planned Residential Development Overlay zone for review by the commission. This item
was continued until the time when an in-person public meeting can be held with the
commission. The draft PRD Overlay ordinance as its currently written would allow for

2 housing on the rear portion of some of the deeper commercial lots but would preserve the
commercial frontage along State Street for businesses.

4 Mr. Florence noted the draft of the proposed PRD Overlay ordinance does not
allow for residential in the 300-foot commercial buffer along State Street and limits the
6 height of housing to 35 feet or two stories. He noted an item for the commission to
consider tonight is that the City has allowed senior type multi-family housing on State
8 Street. If the commission is agreeable to the proposed uses in the concept plan these items
could still be added to the draft PRD Overlay ordinance amendment.

10 Mr. Florence then presented the Proposed Concept Plan, 2018 concept plan and
2019 concept plan followed by discussion. He then turned the time over to the applicant
12 for comment.

The applicant, Amy Johnson explained they want to design for Lindon and to
14 perhaps also solve a few problems. They have seen these issues and the need for
affordable housing, and are hoping the public will also see that this is a dire need and we
16 are searching for a solution. Ms. Johnson then presented her concept plan to the
commission.

18 Commissioner Tribe asked what the square footage is on the 2-bedroom Condo
units. Ms. Johnson stated they are 950 to 1,200 square feet. She added the townhomes
20 are 2,500 sf. She also asked for the configuration on the townhomes. Ms. Johnson
confirmed they are 3 bedrooms with 2.5 bath and with a garage. Chairperson Call asked
22 how many units per acre she is proposing. Ms. Johnson replied there are 14 units per
acre on the townhomes.

24 Commissioner Thompson commented as far as the townhomes go, they are good
for young people, but he expressed his concerns with the overall density which seems
26 typically more than what the city would be comfortable with. There is also zero green
space without a park. He added it seems the price point is low enough that this could
28 become an investment property in the future with a lot of rentals.

Ms. Johnson pointed out that young people would rather have a low HOA fee
30 than a lot of amenities. However, they could perhaps add in a small playground that
would work. Commissioner Thompson also mentioned that a road going through to the
32 residential will get a lot of negative feedback from residents and asked if that is a
necessity.

34 Chairperson Call commented that she has been on the committee when meeting
with residents on these areas on the deep commercial lots and also when revamping the
36 ordinance. She expressed that she has concerns on how this proposal will fit in with the
culture of the area.

38 Ms. Johnson pointed out there is already 4 story building across the street and any
types of affordable housing for people to own are not available.

40 Chairperson Call expressed her concern that we need to be careful with what is
developed there and we need to also be sensitive to the residents as Lindon has a distinct
42 culture; the overlay they have been trying to create doesn't seem to fit into this model.
Some of these areas may be infill with commercial and she doesn't think this is quite
44 what we had in mind for this area.

46 Ms. Johnson questioned if she went back to the original proposal that were
storage units with commercial on the front would the commission be more amenable to
that option. She is just trying hard to create a plan that works well for the user, the city

2 and economically as well. At this time Mr. Florence suggested going through each
section separately.

4 Commissioner Kallas commented on the overlay zone they have been discussing
and asked what the density is. Mr. Florence stated currently it is between 10 and 12 units
6 per acre. He then asked Ms. Johnson why she is proposing something where the density
goes so much higher than the ordinance they are looking to approve. He pointed out the
8 culture of Lindon is different and is not meant to be a high-density city. They have gone
from ½ acre lots with a lot of open space and it has crept into smaller lots and higher
10 density, but it has been done very cautiously. Most residents are not in favor of high
density and this project is a lot denser than the code we are discussing. It appears that
12 this is being done to maximize the square footage and he would have a hard time favoring
a project like this.

14 Ms. Johnson asked what his thoughts on the live/work section of the concept.
Commissioner Kallas commented if someone lives above and owns a shop below, he
16 does not believe that will work as small businesses turn over on average every three
years. There are a few places in the state with live/work units, but with a commercial
18 project below housing are not too successful to date. Ms. Johnson stated these would be
combined in the lending options and that would open the door to a small business owner.

20 Ms. Johnson feels this would be opening up the horizon as she has heard multiple
times that Lindon is striving for affordable housing. She is trying to propose an option for
22 Lindon knowing that other cities have done this same type of concept. She commented
this could be an option that Lindon could be known for and not just for the ½ acre
24 properties that are not affordable.

Commissioner Kallas stated he is not sure there is a problem in Lindon that this
26 would solve and agrees that this would become a rental property. Personally, he is not in
favor of a road going through an existing residential community. Ms. Johnson said there
28 could be an option of changing the road to a roundabout. She is trying to create a plan as
the Norton's have been trying to sell their land for a long time and they are trying to
30 make it work for everyone.

Commissioner Thompson commented that the townhomes are really dense. Ms.
32 Johnson stated they could make it work at 12 units and if they can do the affordable
condos, they could make it work at 10 units.

34 Mr. Florence indicated the current draft ordinance would require a common open
space of 20%. He also stated he is seeing comments on Facebook regarding concerns of
36 the parking issues. He added that Staff and the developer have not gone through this plan
thoroughly. Ms. Johnson stated they will have a 2-car garage and most will have garages,
38 driveways and will have enough parking.

Mr. Florence pointed out a lot more conversation needs to be had on the road
40 connection and the applicant is looking for feedback with the live/work concept and the 4
stories. The density will be what they choose it to be either 10 or 12 units and will be
42 determined when the ordinance is updated.

Commissioner Johnson commented that he lives in this area and expressed his
44 concerns on the density and feels it is too high and the impact would be huge on the
neighboring homes. He understands they are trying to do something with the commercial
46 property but they don't want the street to go through. But the question is what do we do
with these lots? Being on the committee he has heard that some residents are open to a

2 little more density but he doesn't see how this can even pencil in with the overlay and
this is pushing the density further than Lindon wants to go.

4 Commissioner Kallas commented that the reason they are seeing a lot of plans
with higher density is many of the communities have put a freeze on density in their
6 cities.

8 Commissioner Schauers commented that the commission recognizes the
importance of affordable housing, but for many members of the city council and the
planning commission, they have a community passion to provide affordable housing, but
10 this is just not there. We need housing that will minimally impact the community and
mesh with the culture and look and feel of the community and that is not the angle of
12 affordable housing. He noted we care about affordable housing, but with this proposal the
density is just too high.

14 Chairperson Call stated we need some other options and there is some openness to
look at some other things, but as far as the statement of the ½ acre lot, if you look at
16 Lindon and the new homes most of those were not built in the 1970's but later. She added
even though we need to look at some options she feels this proposal is just too dense.

18 Ms. Johnson stated she knows there is a demand, but she is just trying to provide
options for other individuals as she experiences it all the time with those wanting to own
20 a home, but she understands where the commission is coming from. She noted she can
shift back and do storage units or lower density housing; she was just taking feedback
22 from the last meeting that this was the better route to go. She added that there is a
demand for storage units as they did a feasibility report.

24 Chairperson Call stated they appreciate the presentation and hopes they have
given her sufficient feedback.

26 Ms. Johnson commented that she is not sure where to go from here regarding the
density and the impact to the community. She asked the commission if they are not in
28 favor of the live/work concept at all. Chairperson Call stated she is hearing that is the
case from comments heard from the commissioners tonight. Commissioner Kallas
30 pointed out the twist on the live/work concept is just not feasible and he has not seen that
demand. Ms. Johnson asked what they would think if the live/work segment was
32 replaced with condos. Commissioner Kallas replied then you would be losing the
frontage for the commercial, and tying it to someone who lives above is throwing in
34 another level of complexity.

36 Commissioner Marchbanks stated he agrees with Commissioner Kallas'
comments. Regarding this concept, he is generally the most liberal when it comes to
density, but it must coordinate with the new overlay zone. He noted residents often
38 comment that the city needs something in between high density and ½ acre lots and this
will be determined by the ordinance. He added he doesn't think this would go far with the
40 city council.

42 Commissioner Tribe stated she is leaning with Commissioner Marchbanks and
hopes that we can find an option in between. Some residents have ½ acre lots and would
love to stay in Lindon, but older people don't want that much ground to take care of. She
44 would like to see more options for those who want to be able to stay in Lindon.
Chairperson Call agreed with that statement.

46 Commissioner Marchbanks pointed out that the city loses dozens of "empty
nesters" every year that would love to stay in Lindon. Commissioner Tribe suggested

2 maybe some high-end twin homes would be a better fit for seniors who are tired of
maintaining a large house and ½ acre of ground.

4 Ms. Johnson asked if she came back with more of a 55+ twin home or higher end
twin home that would come up to the commercial space. She can try to make the
6 numbers work if they are comfortable with the residential going up to the commercial.
She added this is helpful information and she we will go back to the drawing board and
8 look at creating something similar to the Penny Lane type of project in Orem. She could
also come up with some type of solution for the live/work concept especially in this
10 atmosphere today in trying to take a small amount of the frontage.

12 The Commission agreed they would be happy to review a revised concept. Ms.
Johnson stated she is trying to get this closed and has already lost two good commercial
projects that would have been an incredible tax base for the city. She feels she is spinning
14 her wheels trying to get some type of approval. They have been waiting so long and now
the temperament is in trying to get commercial tenants. She indicated she will go back to
16 the drawing board and will come back before the commission with a new plan.

18 Chairperson Call stated she feels she is wise to do some work on it and they would be
happy to review it with her again.

20 Commissioner Kallas suggested that it would be wise for the commissioners to
visit one of these live/work projects. Mr. Florence stated he will set up a meeting with
someone who develops these projects and schedule a tour.

22 Chairperson Call called for any further comments or discussion from the
Commission. Hearing none she moved on to the next agenda item.

24
26 6. **New Business: Reports by Commissioners** – Chairperson Call called for any
new business or reports from the Commissioners.

28 Chairperson Call mentioned that the planning commission page on the city website
needs to be updated. Commissioner Kallas asked when staff anticipates passing the
30 overlay ordinance. Mr. Florence stated he is not sure and we may want to continue it as to
have the meeting in person when the state guidelines (covid-19) permit.

32 Mr. Florence added the problem with the Norton property is they have to take
down the whole property and noted he would like to reach out to the two neighborhoods.
34 Chairperson Call stated she wants to ensure that everyone that may be impacted is
noticed and that the neighbors are involved.

36 Chairperson Call called for any further comments or discussion from the
commission, hearing none she moved on to the next agenda item.

38
40 7. **Planning Director Report** –

- 42 • General City updates. Mr. Florence said the IBI Group consulting firm has
been hired for the general plan update and they have two upcoming
stakeholder meetings. Scott Thompson and Renee Tribe stated they are
44 interested in being on the committee. Mike Florence asked if there are any
residents, they would like to recommend to be on the committee to let him
know and he will get them the invite.

46 Chairperson Call called for any further comments or discussion. Hearing none she
called for a motion to adjourn.

48

2 **ADJOURN** –

4 COMMISSIONER THOMPSON MADE A MOTION TO ADJOURN THE
6 MEETING AT 7:58 PM. COMMISSIONER KALLAS SECONDED THE MOTION.
8 ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

8 Approved – May 26, 2020

10

12

Sharon Call, Chairperson

14

Michael Florence, Planning Director

Item 4: Site Plan and Minor Subdivision Approval — Mountain Tech South Lot 5 Approximately 2720 W. 600 N.

Date: May 26, 2020
Applicant: WICP South, LLC
Presenting Staff: Michael Florence

General Plan: Commercial
Current Zone: Regional
Commercial (RC)

Property Owner: WICP Mtn Tech
5, LLC
Parcel ID: 67:056:0004
Lot Size: 8.967 acres
Type of Decision: Administrative
Council Action Required: No



SUMMARY OF KEY ISSUES

1. Whether the request for site plan and minor subdivision approval complies with Lindon City land development, subdivision and building design regulations?

OVERVIEW

1. The applicant is requesting site plan approval for a 5-story office building (159,601 sq ft) and accompanying parking structure;
2. The applicant is requesting minor subdivision approval of a one lot subdivision for lot 5 of the development;
3. This is the final phase of the Mountain Tech South development

MOTION

I move to (*approve, deny, continue*) **the applicant's request for** minor subdivision and site plan approval with the following conditions:

1. Prior to plat recording the applicant will provide staff with a final plat mylar to include notarized **signatures of owner's consent to dedication, obtain** signature of all entities indicated on the attached subdivision plat;
2. Complete (or post an adequate improvement completion assurance), warrant and post required warranty assurance for all required public infrastructure improvements;
3. The plans and plat will meet and be constructed as per the relevant specifications as found in the Lindon City Development Manual;
4. The developer will continue to work with the city engineer to make final technical changes to the plat and for final engineering approval;
5. The applicant will continue to work with Lindon City and UDOT on designing the appropriate right-of-way to accommodate the intersection signal improvements;
6. As per the plat, property will be dedicated by **Mountain Tech South to accommodate the 66'** rights-of-way on 2800 W.;
7. The exterior building materials are approved as proposed;
8. The number of parking stalls are approved as proposed;
9. Final design of the parking structure will be submitted to staff for approval and will meet or exceed similar design requirements as lot 1;
10. All items of the staff report

Development Standards

Parking

Parking standards are based on the zone and the different uses in the building and their respective square footage. Because the applicant exceeds the amount of allowed parking by more than 130%, staff included as a condition of approval that the excess parking is approved as proposed

<i>Required</i>	<i>Provided</i>
Office Building	
Office – 1 per 350 sq. ft. of floor area (159,601)	456 - Compliant
Bike Stalls required/provided	16/16
Total stall required/provided	456/1,155 482 parking lot 673 parking structure

Landscaping Standards

Required Site Landscaping	Provided
25% lot of each lot	Compliant
16'-20' landscape strip behind meandering sidewalk along 2800 W. and 400 N.	Compliant Final review will be completed with the building plans
70% vegetation	Final review will be completed with the building plans
Trees planted 30 foot on center	Compliant

Required Interior Landscaping	Provided
40 sq. ft. per parking stall Surface Parking – $456 * 40 = 19,320$ (staff calculated this ratio from the parking lot only and did not include the parking structure)	Compliant
1 tree per 10 parking stalls	Compliant
70% living material in landscaping	Will be confirmed with final plan
10 feet of landscaping around perimeter of the office building	Compliant

Building Design and Architectural Standards

Architectural Design

The Regional Commercial zone has specific architectural design standards. Staff has attached the ordinance. The main architectural requires are as follows:

Required Architectural Requirement	Provided
Building facades broken up every 50 feet	EIFS exterior grid pattern breaks up facade
All building elevations shall be architecturally detailed	Each elevation has a combination of glass, EIFS and metal panel

Variation on roofline	The center of the building includes an architectural feature that extends above the roofline. The roof also has a metal panel cornice design
Projecting elements along the façade	The center of the building has an architectural element as well as the EIFS grid pattern.
The ordinance recommends 60% brick, stone, decorative concrete block as a primary material as well use of windows for fenestration	The buildings exterior is mainly a glass window design with EIFS architectural elements
Building entries to have architectural features	The building center includes a metal panel design that projects out from the building and creates an entryway feature. A large canopy also overhangs the entryways. The ground floor and 5 th story are also taller than the 2 nd , 3 rd , and 4 th stories to provide additional architectural variation
Rooftop mechanical equipment will be screened	The design shows an enclosed area for the rooftop equipment

Building Height – max height 80 feet in the RC zone
Office building – 76’ to top of parapet

Setbacks

The proposed structures meet the minimum setback requirements.

Lighting

The project will continue the Washington Postlite at 100’ spacing along 2800 W. The Esplanade pole will be installed on the corner of 2800 W. 600 N.

Parking Structure

The applicant’s proposal includes a three-story parking structure for 673 vehicles. The design of the parking structure will be very similar to the parking structure for lot 1 with steel supports and vegetation screens. Staff has attached a picture of the lot 1 parking structure. The Regional Commercial zone requires that the parking structure be architecturally compatible with the building.

Engineering Requirements

The City Engineer is working through technical issues related to the site and plat and will ensure all engineering related issues are resolved before final approval is granted.

Traffic Circulation and Traffic Study

- UDOT has determined that the intersection of 600 N. 2800 W. warrants a traffic signal. UDOT is currently working on design and providing appropriate right-of-way for the intersection improvements;
- The developer has agreed to plan for and install improvement on their property to accommodate the traffic signal. The developer previously made the improvements for Mountain Tech 3.

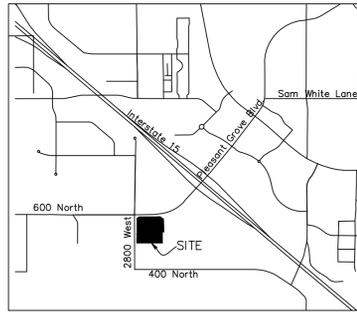
EXHIBITS

1. Subdivision Plat
2. Site Plan
3. Architectural Renderings – office building and parking structure
4. Landscape plan
5. Regional Commercial architectural requirements.

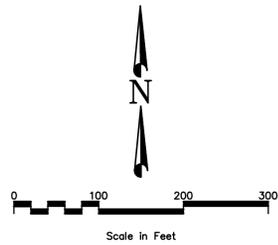
MOUNTAIN TECH SOUTH PLAT C

(AMENDING PARCEL A OF MOUNTAIN TECH SOUTH PLAT A)

LOCATED IN THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 2 EAST AND THE
NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN
LINDON, UTAH COUNTY, UTAH



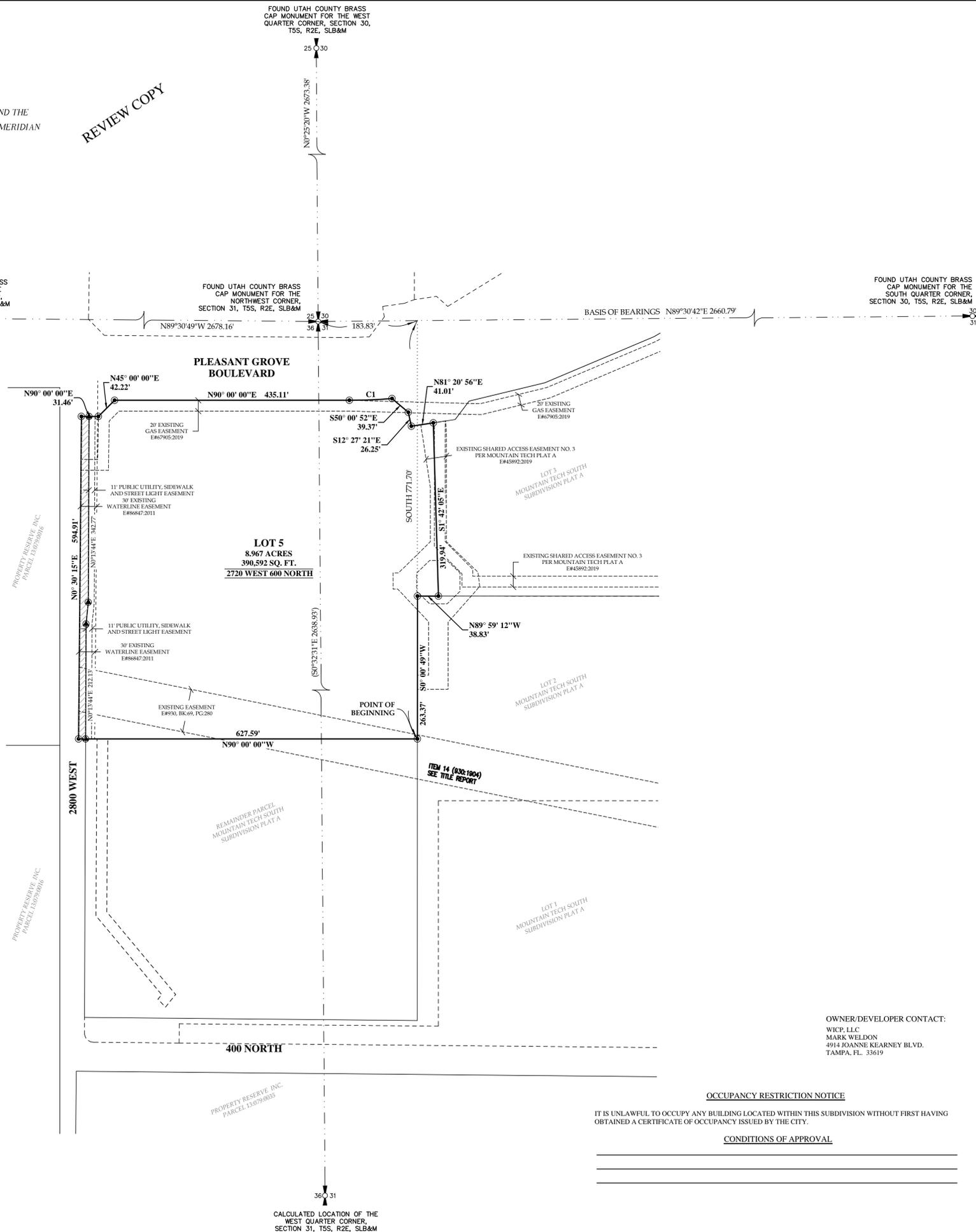
VICINITY MAP
(N.T.S.)



CURVE TABLE					
CURVE #	LENGTH	RADIUS	DELTA	CHD BRG	CHD LEN
C1	79.04	979.33	04°37'27"	N87°41'17"E	79.02

- LEGEND**
- OVERALL PROPERTY CORNER
SET REBAR/CAP "CIR ENGINEERING PLS 5183760"
 - LOT CORNER
SET REBAR/CAP "CIR ENGINEERING PLS 5183760"
 - BOUNDARY LINE
 - EASEMENT
 - ROAD DEDICATION IN FAVOR OF LINDON CITY
(0.191 ACRES OR 8326 SQ. FT.)

REVIEW COPY



OWNER/DEVELOPER CONTACT:
WICP, LLC
MARK WELDON
4914 JOANNE KEARNEY BLVD.
TAMPA, FL. 33619

OCCUPANCY RESTRICTION NOTICE

IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITHIN THIS SUBDIVISION WITHOUT FIRST HAVING OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY THE CITY.

CONDITIONS OF APPROVAL

SURVEYOR'S CERTIFICATE:

I, GARY CHRISTENSEN, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 5183760 IN ACCORDANCE WITH THE UTAH CODE, TITLE 58, CHAPTER 22, PROFESSIONAL ENGINEERS AND PROFESSIONAL LAND SURVEYORS LICENSING ACT. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS AND STREETS, HEREAFTER TO BE KNOWN AS THE MOUNTAIN TECH SOUTH PLAT "C", AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

GARY CHRISTENSEN
PLS 5152617
(SEE SEAL BELOW)

BOUNDARY DESCRIPTION

A PARCEL OF LAND BEING A PART OF THAT ENTIRE TRACT DESCRIBED AS "PARCEL A", MOUNTAIN TECH SOUTH PLAT A RECORDED MAY 23, 2019 AS ENTRY NO. 45892-2019 IN THE OFFICE OF THE UTAH COUNTY RECORDER, SAID PARCEL OF LAND IS LOCATED IN THE NORTHWEST QUARTER OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 2 EAST AND THE NORTHEAST QUARTER OF SECTION 36, TOWNSHIP 5 SOUTH, RANGE 1 EAST, SALT LAKE BASE AND MERIDIAN AND DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT ON THE EASTERLY LINE OF SAID PARCEL A, MOUNTAIN TECH SOUTH PLAT A, WHICH IS 183.83 FEET NORTH 89°30'42" EAST ALONG THE SECTION LINE AND 771.70 FEET SOUTH FROM THE NORTHWEST CORNER OF SECTION 31; THENCE N. 90°00'00" W. 627.59 FEET TO A WESTERLY LINE OF SAID PARCEL A, MOUNTAIN TECH PLAT A; THENCE ALONG SAID PARCEL A THE FOLLOWING ELEVEN (11) COURSES: 1) N. 00°30'15" E. 594.91 FEET; 2) N. 90°00'00" E. 314.46 FEET; 3) N. 45°00'00" E. 42.22 FEET; 4) N. 90°00'00" E. 435.11 FEET TO A POINT OF TANGENCY WITH A 979.33 - FOOT RADIUS CURVE TO THE LEFT, CONCAVE NORTHERLY; 5) EASTERLY 79.04 FEET ALONG THE ARC OF SAID CURVE, THROUGH A CENTRAL ANGLE OF 04°37'27"; 6) S. 50°00'52" E. 39.37 FEET; 7) S. 12°27'21" E. 26.25 FEET; 8) N. 81°20'56" E. 41.01 FEET; 9) S. 01°42'05" E. 319.94 FEET; 10) N. 89°59'12" W. 38.83 FEET; 11) S. 00°00'49" W. 263.37 FEET TO THE POINT OF BEGINNING.

THE ABOVE DESCRIBED PARCEL OF LAND CONTAINS 398.918 SQUARE FEET IN AREA OR 0.025 ACRES, MORE OR LESS, 1 LOT.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I, WE, THE UNDERSIGNED OWNER(S) OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SUBDIVIDED, HEREAFTER TO BE KNOWN AS THE **MOUNTAIN TECH SOUTH PLAT C** DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE.

IN WITNESS WHEREOF I / WE HAVE HEREUNTO SET MY / OUR HAND(S) THIS ____ DAY OF _____, 2020.

ACKNOWLEDGEMENT

STATE OF UTAH)
COUNTY OF UTAH)

ON THE ____ DAY OF _____, A.D., PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT THEY DID FREELY AND VOLUNTARILY EXECUTE THE SAME FOR THE PURPOSES THEREIN MENTIONED.

MY COMMISSION EXPIRES: _____

NOTARY PUBLIC _____, RESIDING IN _____ COUNTY.
(SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY

ON THE ____ DAY OF _____, A.D., THE CITY COUNCIL OF LINDON CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC.

MAYOR _____ CLERK/RECORDER _____
(SEE SEAL BELOW)
PLANNING COMMISSION CHAIR _____

APPROVAL AS TO FORM

APPROVED THIS ____ DAY OF _____, 2020.

LINDON CITY ATTORNEY _____

CITY APPROVALS

APPROVED THIS ____ DAY OF _____, 2020.

LINDON CITY ENGINEER _____

PLANNING DIRECTOR _____

MOUNTAIN TECH SOUTH PLAT C

(AMENDING PARCEL A OF MOUNTAIN TECH SOUTH PLAT A)
LOCATED IN THE NW QUARTER OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 2 EAST AND
THE NE QUARTER OF SECTION 36, TOWNSHIP 5 SOUTH, RANGE 1 EAST, S.L.B. & M.
LINDON, UTAH COUNTY, UTAH

PREPARED BY:

**CIR CIVIL ENGINEERING
+ SURVEYING**
3032 South 1030 West, Suite 202, Salt Lake City, Utah 84119

SURVEYOR SEAL 	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK/RECORDER SEAL
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Recorder

DATE: 03/09/20

STATE OF UTAH, COUNTY OF UTAH, RECORDED AND FILED IN THE REQUEST OF DATE _____ ENTRY NO. _____ BOOK _____ PAGE _____

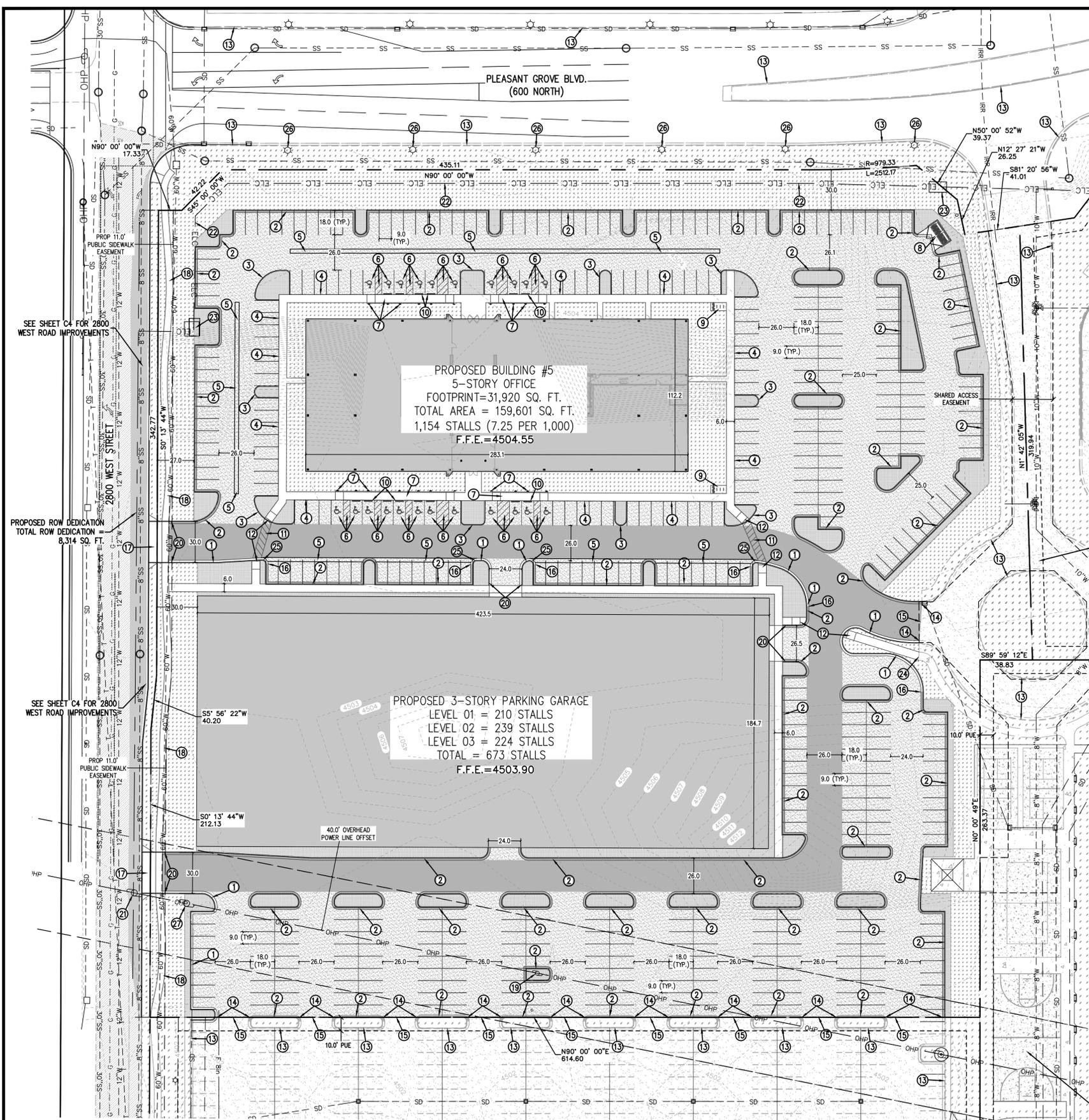
SCALE: 1"=100'

PAGE: 1 OF 1

PROJECT: S19-020

FEE _____ UTAH COUNTY RECORDER

REVIEW COPY



PROPOSED BUILDING #5
5-STORY OFFICE
FOOTPRINT=31,920 SQ. FT.
TOTAL AREA = 159,601 SQ. FT.
1,154 STALLS (7.25 PER 1,000)
F.F.E.=4504.55

PROPOSED 3-STORY PARKING GARAGE
LEVEL 01 = 210 STALLS
LEVEL 02 = 239 STALLS
LEVEL 03 = 224 STALLS
TOTAL = 673 STALLS
F.F.E.=4503.90

PROJECT SUMMARY:

LOT 5 AREAS:

LOT 5	390.592 SQ. FT. / 8.97 ACRES
BUILDING 5 FOOTPRINT	31,920 SQ. FT. / 0.73 ACRES
PARKING STRUCTURE	78,206 SQ. FT. / 1.80 ACRES
LANDSCAPING	76,592 SQ. FT. / 1.76 ACRES
INTERIOR PARKING	21,052 SQ. FT. / 0.48 ACRES
PHASE 1 IMPROVEMENTS	5,035 SQ. FT. / 0.12 ACRES
REMAINING	50,505 SQ. FT. / 1.16 ACRES
ASPHALT	169,404 SQ. FT. / 3.89 ACRES
CONCRETE	34,469 SQ. FT. / 0.79 ACRES
PARKSTRIP LANDSCAPING (SEPARATE FROM LOT 5 AREAS)	15,453 SQ. FT. / 0.35 ACRES

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

PARKING REQUIREMENTS:

PROPOSED BUILDING 5	SQ. FT.	CITY REQMT
OFFICE	159,601 SQ. FT.	456.00 (1/350)

MINIMUM REQUIRED:

SURFACE PARKING STALLS:	456 (456)
PARKING STRUCTURE STALLS:	673 PARKING STALLS
TOTAL PROVIDED:	1,154
ACCESSIBLE SPACES:	22 (22 - 1100 to 1200)

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.
2. ALL TYPICAL CONSTRUCTION TO COMPLY WITH LINDON CITY STANDARDS. SEE LINDON CITY STANDARD DRAWINGS.
3. THE PARKING AREAS ON SITE ARE MORE THAN 120,000 SQUARE FEET. THEREFORE, LCC 17.18.080.4 APPLIES TO THIS PROJECT.

LANDSCAPING AREAS:

LOT 5:	SQ. FT.	CITY REQ'D
PARKING LANDSCAPING 21,052 SQ. FT. (40SF PER STALL MIN(OR 19,320 SQ. FT. REQ'D)		
OPEN SPACE 98,286 SQ. FT. 25.16% PROVIDED (25% REQ'D)		

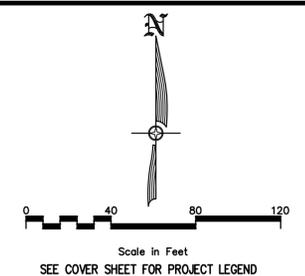
NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

SITE PLAN NOTES:

- 1 PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C5.
- 2 PROPOSED 24" REV PAN CURB & GUTTER. SEE DETAIL 3/C5.
- 3 PROPOSED 6" CURB WALL. SEE DETAIL 2/C5.
- 4 PROPOSED 6" OPEN-FACED SIDEWALK. SEE DETAIL 4/C5.
- 5 PROPOSED 3" WIDE ROLL GUTTER. SEE DETAIL 9/C5.
- 6 ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS. SEE DETAIL ADA/C6.1 FOR ADA SIGN DETAILS AND PLACEMENT. ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL ADA/C6.1 FOR ADA SIGN DETAILS AND PLACEMENT.
- 7 PROPOSED TRASH ENCLOSURE. CONTRACTOR TO COORDINATE WITH OWNER & ARCHITECT ON ENCLOSURE MATERIAL AND COLOR.
- 8 PROPOSED BIKE RACK. SEE DETAIL 15/C5 FOR DETAILS.
- 9 INSTALL WHEEL STOP IN ADA PARKING STALLS WHERE SIDEWALK MATCHES ASPHALT ELEVATION (TYP.).
- 10 INSTALL PAINTED PEDESTRIAN CROSSING.
- 11 ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 6/C5.
- 12 EXISTING CURB & GUTTER.
- 13 MATCH PROPOSED CURB & GUTTER TO EXISTING CURB & GUTTER.
- 14 SAWCUT EXISTING ASPHALT TO PROVIDE A SMOOTH EDGE FOR PROPOSED ASPHALT TO MATCH TO.
- 15 PROVIDE A SMOOTH TRANSITION FROM CURB & GUTTER TO REV. PAN CURB & GUTTER.
- 16 INSTALL DRIVE APPROACH PER LINDON CITY STANDARD PLAN 5A. SEE SHEET C6.1 FOR DETAILS.
- 17 PROPOSED 5" MEANDERING SIDEWALK PER LINDON CITY STANDARD 2d AND DEVELOPMENT CODE 17.054.040. SEE SHEET C6.2 FOR DETAILS.
- 18 EXISTING POWER POLE.
- 19 CONTRACTOR TO TAPER END OF CURB & GUTTER DOWN TO MATCH INTO SIDEWALK ELEVATION.
- 20 EXISTING POWER POLE TO BE RELOCATED OUTSIDE OF PROPOSED ROAD IMPROVEMENTS. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER, PRIOR TO ANY CONSTRUCTION.
- 21 EXISTING UNDERGROUND POWER LINE.
- 22 EXISTING ELECTRICAL EQUIPMENT.
- 23 MATCH PROPOSED SIDEWALK TO EXISTING SIDEWALK.
- 24 CONTRACTOR TO MATCH FLOW LINE OF ROLL GUTTER TO FLOW LINE OF CURB & GUTTER.
- 25 EXISTING STREET LIGHT.
- 26 PROPOSED LOCATION FOR RELOCATED POWER POLE. CONTRACTOR TO COORDINATE WITH ROCKY MOUNTAIN POWER ON POLE RELOCATION, PRIOR TO ANY CONSTRUCTION.

SEE "MOUNTAIN TECH SOUTH - PHASE 1, 2, & 3" PLAN SET FOR DETAILS ON AREAS OUTSIDE THIS PROJECTS SCOPE.

SEE "MOUNTAIN TECH SOUTH - PHASE 1, 2, & 3" PLAN SET FOR DETAILS ON AREAS OUTSIDE THIS PROJECTS SCOPE.



SHEET LEGEND

- LIGHT ASPHALT
- HEAVY ASPHALT

STREET LIGHT NOTES:
1. THE DEVELOPER IS RESPONSIBLE FOR PROVIDING USABLE POWER TO ENERGIZE ALL STREET LIGHTS FOR THE DEVELOPMENT.

NO.	REVISIONS	BY	DATE

CIR ENGINEERING, L.L.C.
3032 SOUTH 1030 WEST, SUITE 202
S.L.C. Utah 84119 - 801-949-6296
DESIGNER: SDT

MOUNTAIN TECH SOUTH - LOT 5
2725 WEST 600 NORTH, LINDON CITY, UTAH, 84042
SITE PLAN

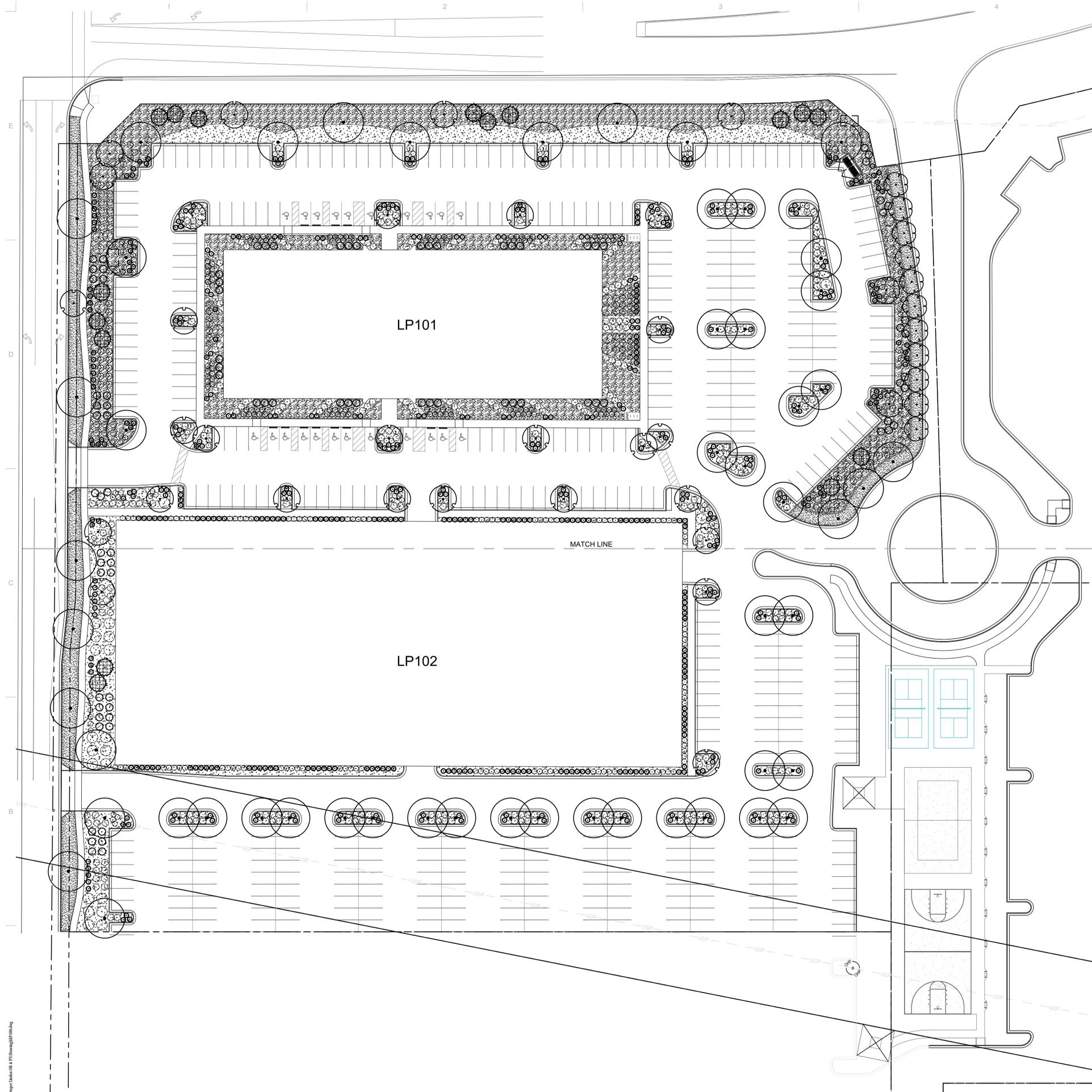


SHEET NO. C1

PROJECT ID: W-1038	DATE: 03/06/20
FILE NAME: PRJ-MTSL5	SCALE: 1"=40'



MHTN
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MHTN Architects, Inc.
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 If not shown, verify correct dimensions with the Architect. Contractor shall check and verify all dimensions and conditions at job site.

SEAL

MHTN PROJECT NO. _____ CHECKED BY: X.X.
 DRAWN BY: X.X.

ISSUED		
NO.	DATE	DESCRIPTION

REVISIONS		
NO.	DATE	DESCRIPTION
▲		
▲		
▲		
▲		
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**OVERALL
 LANDSCAPE
 PLAN**

SHEET NUMBER

LP100

By: MHTN, Inc. 10/11/11
 For: Common 10/11/2011
 Location: Park Drive
 Design: Urban & RPS/UrbanDesign/PL/10/11/11

E1 OVERALL LANDSCAPE PLAN

17.54.050 Architectural design.

The RC zone has specific design standards as outlined below, and, unless otherwise referenced, does not fall under requirements of the Lindon City commercial standards.

1. *Massing and Orientation.*

- a. Breaking up large buildings (over twenty thousand (20,000) square feet) with multiple bays is required, and each façade should provide a meaningful purpose such as individual entrances to the larger building. On large buildings the façade should be broken up every fifty feet (50') with color, change of building materials, depth, height, or other architectural characteristics. On smaller buildings, the break in façade should be every thirty feet (30'). Appropriate detailing, scale, and proportion area elements that can be addressed through façade design shall be used.
- b. Orient buildings to the main street. If a building is on a corner lot, it may have a corner orientation.
- c. All building elevations shall be architecturally detailed, including nonstreet facing elevations.
- d. Differentiate between the ground floor and upper floors by providing for depth and variation in a façade through the use of different colors, materials, and other details.
- e. Building articulation is important to visually engage the populace. This can be accomplished through façade modulation, use of engaged columns or other expressions of the structural system, horizontal and vertical divisions through differing textures and materials.
- f. Variation in rooflines is appropriate through the use of dormer windows, overhangs, arches, stepped roofs, gables or similar devices.
- g. Avoid flat looking walls/façades and large, boxy buildings. Break up the flat front effect by introducing projecting elements such as wings, porticos, bay windows, trellises, pergolas, port-cocheres, awnings, recessed balconies and/or alcoves, cornices, or other offsets, changes in plane, and changes in height. Staggered bays will also contribute to a greater definition of a façade.

2. *Exterior Walls and Surfaces – Building Materials.*

- a. Masonry building materials, such as brick, stone, and colored decorative concrete block, are highly preferred for use as the primary building material (sixty percent (60%) or greater) of commercial development. Fenestration can also be used to count toward the sixty percent (60%) of the recommended building materials. Many varieties and colors of brick or stone are available and acceptable for use. Other materials may be considered for use as a primary building material, based on review by the land use authority.
- b. Secondary building materials may include brick, stone, colored decorative concrete block, stucco, wood/cement fiber siding and timbers and other materials as approved by the land use authority.

- c. Concrete tilt up construction is permitted when stamped, stained, or textured panels are used to add character and appeal to the building; wainscot is also recommended to break up the façade; use change of color or change of material to break up large walls of cement; plain cement panels without decorative features are not permitted; windows can also be used to add character and break up the wall area.
- d. No buildings shall have blank, flat walls.
- e. Use primary building materials for façades that front onto public ways. Secondary building materials may be used as accents on these façades or on less visible façades.
- f. All roof drains, conduit and piping for any mechanical system shall be located in the interior of the building.

3. *Texture, Colors, Finishes.*

- a. Avoid large areas of the same color and/or materials with no relief. Conversely, avoid the use of too many materials and/or colors, which may create busy or incongruous façades.
- b. Earth tones are generally preferred over harsh or loud colors, except where more vibrant colors are used as accents to the primary colors. A color palette of Utah earth tones as found in the Lindon City Commercial Design Standards is to be used as a reference guide to color selections in developments.
- c. Simplicity is encouraged regarding color. Excessive amounts of different colors should not be used. Brighter colors are recommended for use as accents only.
- d. Vary colors and materials to break up the monotony in larger developments.

4. *Windows and Doors/Fenestration.*

- a. Building entries shall have one (1) or more of the following treatments: canopy, overhang, awning or arch; recesses or projections in the building façade including display windows surrounding the entrance; peaked roof or raised parapet structures over the door.
- b. Windows at the ground level should generally be of clear glass, and placed at a height that relates visual connection of indoor and outdoor environments.
- c. Avoid blank façades with no fenestration.
- d. Avoid the use of dark-tinted or reflective glass windows. Where possible, awnings, balconies, eaves, arbors, landscaping, and other shading devices are effective, and can be far more visually interesting.
- e. Materials for framing windows shall be compatible to the primary exterior material. Aluminum or similar framing materials that do not match are discouraged.
- f. Consider the use of canopies or awnings on windows that directly abut pedestrian walkways to provide protection from the elements.
- g. The ground floor of the primary façade shall be sixty percent (60%) fenestration at the pedestrian level.

- h. A significant amount of the primary ground story façade facing public streets, easements and other right-of-way corridors should be transparent glazing, to enhance the pedestrian environment, to connect the building interior to the outside, and to provide ambient lighting at night.
- i. Dark and obscure glazing should not be used at the ground level, except where harsh solar conditions cannot be controlled with other devices.

5. *Architectural Styles – Exterior Trim and Decorative Detailing.*

- a. Materials for trim and details shall be compatible with the primary exterior material. Detailing should be authentic with the characteristics and capabilities of the materials.
- b. Excessive ornamentation is not recommended.
- c. Avoid use of pasted-on details that do not reflect internal pattern of building or are not proper use of materials.
- d. Exterior materials, massing, modulation, etc., should relate to the indoor function and use of the structure.
- e. Some form of detailing or fenestration should be used every fifteen feet (15') to twenty-five feet (25') along each side of small building (every thirty feet (30') to forty feet (40') for large buildings). Windows, doors, art or architectural detailing at the first floor level are all options for a blank wall.
- f. Enhance buildings with usable details and accents, such as a covered porch or walkway.
- g. Utilize colors, textures, and changes in building material to give definition to the façade.

6. *Roofing.*

- a. Use no more than two (2) roof types in a single structure; i.e., a primary and secondary roof type.
- b. Variations in rooflines through dormer windows, overhangs, arches, stepped roofs, gables or other similar devices promote visual interest.
- c. Parapets require cornice treatments.
- d. Roof materials visible from the street (i.e., sloped roofs), should be harmonious in texture, color, and material with other building materials.

Sloped roofs should be carefully designed to shed snow away from all pedestrian ways.

7. *Mechanical and Service Areas.*

- a. Mechanical, electrical, and communications equipment such as heating and cooling units, transformers, control boxes, and antennas should not be located on primary façades.
- b. Rooftop mechanical units are desirable where possible, and should be screened from view with integrated architectural elements (walls, parapets, etc.).

- c. Ground mechanical units must be screened from view with wing wall, landscaping, or a combination of both.
- d. Appropriate vegetative buffers shall be placed to screen and buffer all utility boxes and pedestals.
- e. Meters, stacks, and service pipes should be located conveniently for service and use, but not on primary façades.
- f. Loading docks should be located near parking facilities, in alley ways or private drive aisles, and designed or screened in a way that minimizes their visual impact. (Ord. 2017-11 §1, adopted, 2017)

The Lindon City Code is current through Ordinance 2020-1, passed February 4, 2020.

Disclaimer: The city recorder's office has the official version of the Lindon City Code. Users should contact the city recorder's office for ordinances passed subsequent to the ordinance cited above.

[City Website: www.lindoncity.org](http://www.lindoncity.org)

City Telephone: (801) 785-5043

[Code Publishing Company](#)