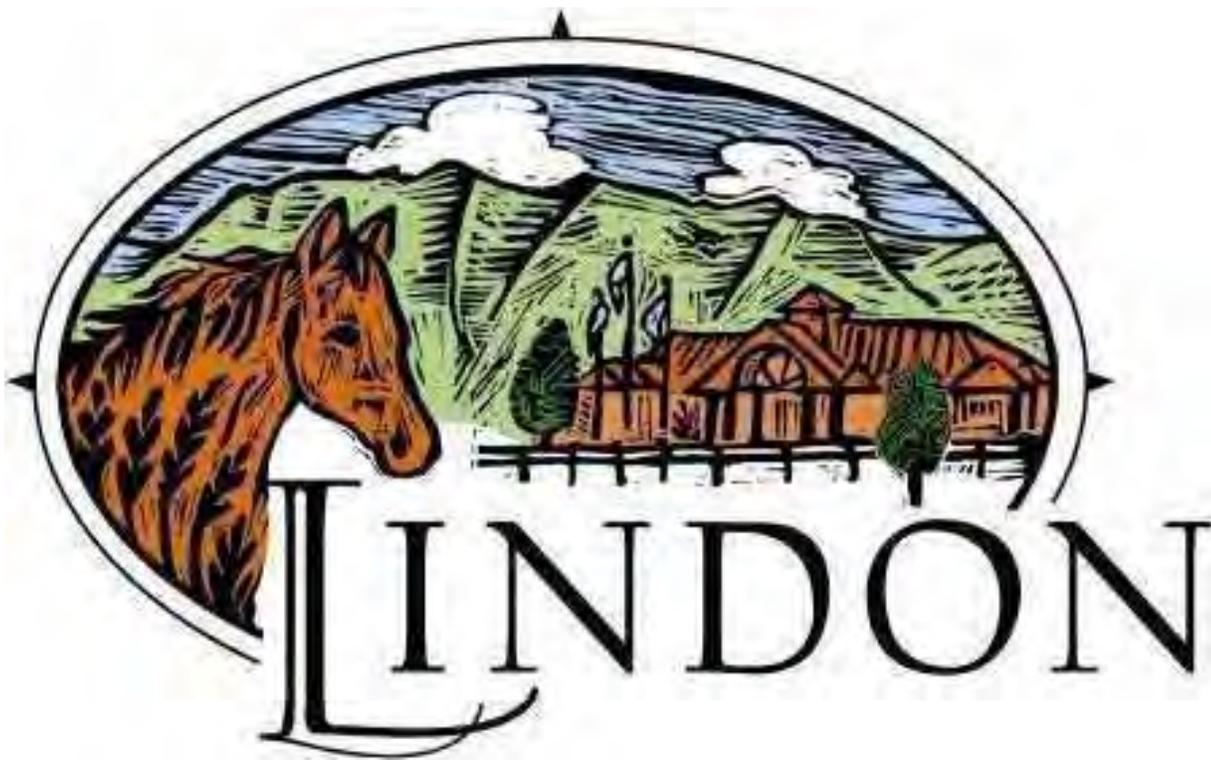


Lindon City Planning Commission Staff Report



October 13, 2020

Notice of Meeting
Lindon City Planning Commission



Item 1 – Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Renee Tribe

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on Tuesday, October 13, 2020, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at 6:00 p.m. This meeting may be held electronically to allow a commissioner to participate by video or teleconference. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. Call to Order
2. Approval of minutes
Planning Commission 9/22/2020
3. Public Comment
4. Plat Amendment – Fenton/Olsen Subdivision – 15 and 35 West 725 N.
Rebecca Fenton requests plat amendment approval to amend the lot lines between lots 35 W. 725 N. and the adjacent parcel to the east which is approximately 15 W. 725 N. and to also make 15 W. a platted lot in the Fenton-Olsen Subdivision. (10 minutes)
5. Site Plan – Holiday Oil – 725 N. Geneva Road
Holiday Oil requests site plan approval to construct a convenience store and fuel pumps on the property located at 725 N. Geneva Road in the Lindon Village Zone. (20 minutes)
6. New Business from Commissioners
10. Planning Director Report
- Draft 700 N. Small Area Plan Discussion

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 **hours' notice**.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindoncity.org websites.

**The duration of each agenda item is approximate only*

Posted By: Kathryn Moosman, City Recorder

Date: 10/09/2020

Time: 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

2 The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday,**
3 **September 22, 2020 beginning at 6:00 p.m.** at the Lindon City Center, City Council
4 Chambers, 100 North State Street, Lindon, Utah.

6 **REGULAR SESSION – 6:00 P.M.**

8 Conducting: Sharon Call, Chairperson
9 Invocation: Scott Thompson
10 Pledge of Allegiance: Rob Kallas

| | |
|-------------------------------------|---------------------------|
| 12 <u>PRESENT</u> | <u>EXCUSED</u> |
| 13 Sharon Call, Chairperson | Renee Tribe, Commissioner |
| 14 Mike Marchbanks, Commissioner | |
| 15 Rob Kallas, Commissioner | |
| 16 Steven Johnson, Commissioner | |
| 17 Scott Thompson, Commissioner | |
| 18 Jared Schauers, Commissioner | |
| 19 Mike Florence, Planning Director | |
| 20 Brian Haws, City Attorney | |
| 21 Anders Bake, Associate Planner | |
| 22 Kathryn Moosman, City Recorder | |

24 1. **CALL TO ORDER** – The meeting was called to order at 6:00 p.m.

26 2. **APPROVAL OF MINUTES** –The minutes of the regular meeting of the
28 Planning Commission meeting of September 8, 2020 were reviewed.

30 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE MINUTES
31 OF THE REGULAR MEETING OF SEPTEMBER 8, 2020 AS PRESENTED.
32 COMMISSIONER JOHNSON SECONDED THE MOTION. ALL PRESENT VOTED
IN FAVOR. THE MOTION CARRIED.

34 3. **PUBLIC COMMENT** – Chairperson Call called for comments from any
35 audience member who wishes to address any issue not listed as an agenda item.
36 There were no public comments.

38 **CURRENT BUSINESS** –

40 4. **Major Subdivision – Country Garden Estates** – approximately 75 N. 500 E.
41 Wayne Ercanbrack requests Major Subdivision approval for an eight-lot single
42 family home subdivision in the Residential R1-20 zone.

43 Mike Florence, Planning Director, led this agenda item by giving a brief summary
44 stating the applicant, Mr. Ercanbrack, who is in attendance, is seeking preliminary major
45 subdivision approval for an 8-lot single family home development. He noted the
46 proposed 8-lot subdivision meets the minimum lot size and infrastructure requirements
47 for the R1-20 zone. The development will be connecting 75 North and 500 East and the
50

2 road alignment follows the Lindon City Street Master Plan map. The subdivision will
include one existing home which is owned by Mr. Ercanbrack. Mr. Florence stated the
4 Subdivision and lot Requirements are met and in compliance.

6 Mr. Florence stated the City Engineer is working through any technical issues
related to the plat and civil engineering plans and will ensure all engineering related
issues are resolved before final approval is granted.

8 Mr. Florence then presented an Aerial photo, Vicinity map, Lindon City Street
Master Plan Map section and the Plat followed by some general discussion.

10 Chairperson Call stated this subdivision seems pretty straightforward and it
appears the lots are really nice and it meets all requirements.

12 Chairperson Call called for any further comments or discussion from the
Commission. Hearing none she called for a motion.

14

16 COMMISSIONER MARCHBANKS MOVED TO RECOMMEND APPROVAL
OF THE APPLICANT'S REQUEST FOR PRELIMINARY APPROVAL OF THE
COUNTRY GARDEN ESTATES PLAT WITH THE FOLLOWING CONDITIONS: 1.
18 THE APPLICANT WILL CONTINUE TO WORK WITH THE CITY STAFF TO
MAKE ALL FINAL CORRECTIONS TO THE ENGINEERING DOCUMENTS AND
20 PLAT; 2. THE PLAT WITH LOT LAYOUTS IS APPROVED AS PROVIDED IN THE
STAFF REPORT; 3. PRIOR TO PLAT RECORDING, THE APPLICANT WILL
22 PROVIDE STAFF WITH A FINAL PLAT MYLAR TO INCLUDE NOTARIZED
SIGNATURES OF OWNER'S CONSENT TO DEDICATION, AND OBTAIN
24 SIGNATURE OF ALL ENTITIES INDICATED ON THE ATTACHED SUBDIVISION
PLAT; 4. COMPLETE (OR POST AN ADEQUATE IMPROVEMENT COMPLETION
26 ASSURANCE), WARRANT AND POST REQUIRED WARRANTY ASSURANCE
FOR ALL REQUIRED PUBLIC INFRASTRUCTURE IMPROVEMENTS; 5. THE
28 PLANS AND PLAT WILL MEET AND BE CONSTRUCTED AS PER APPLICABLE
SPECIFICATIONS AS FOUND IN THE LINDON CITY DEVELOPMENT MANUAL;
30 6. PRIOR TO FINAL DEVELOPMENT APPROVAL THE APPLICANT SHALL
PLACE PERMANENT SURVEY MONUMENTS IN THE SUBDIVISION; 7. ALL
32 ITEMS OF THE STAFF REPORT. COMMISSIONER KALLAS SECONDED THE
MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

| | |
|----------------------------|-----|
| 34 CHAIRPERSON CALL | AYE |
| COMMISSIONER KALLAS | AYE |
| 36 COMMISSIONER MARCHBANKS | AYE |
| COMMISSIONER JOHNSON | AYE |
| 38 COMMISSIONER THOMPSON | AYE |
| COMMISSIONER SCHAUERS | AYE |

40 THE MOTION CARRIED UNANIMOUSLY.

42 5. **Conditional Use Permit – Brady Anderson** – 278 E. 70 S. Brady Anderson
requests conditional use permit approval to breed and sell exotic snakes (boa
44 constrictors and ball pythons) at 278 E. 70 S. in the low density residential R1-20
zone.

46

48 Anders Bake, Associate Planner, led this agenda item by giving a brief overview
stating the applicant Brady Andersen, who is in attendance, is requesting Conditional Use

2 Permit approval to breed and sell exotic reptiles as a home occupation business at 278
East 70 South, Lindon, in the Residential Single-Family (R1-20) zone.

4 Mr. Bake explained Jeremy and Kara Stone (JSR Inc.) previously had a
conditional use permit for snake breeding and sales at this location. He noted the Stone's
6 filed to transfer their conditional use permit to their current property at 106 South 300
East. He further explained that Lindon City Code regarding wild and exotic animals,
8 6.16.015 requires a conditional use permit but also that potential allowance of wild and/or
exotic animal species and the quantities of said species are subject to approval on a case-
10 by-case basis. He pointed out the snakes that Mr. Andersen raises and breeds are non-
venomous.

12 Mr. Bake noted the Home Occupation requirements in the Lindon City Code
section 17.04.400 states "The purpose and intent of this section is to allow gainful
14 occupations, professions, activities, or uses that are clearly customary, incidental, and
secondary to the residential use of the property and which do not alter the exterior of the
16 property or affect the residential character of the neighborhood."

Mr. Bake then referenced the table that identifies the requirements in section
18 17.04.400 of the Lindon City Code and whether or not the proposed business is in
compliance with these requirements. Mr. Bake also made reference to Lindon City Code
20 6.04.005 Animal Control Definitions that states "Exotic Animal" means an animal of
foreign origin introduced from abroad and commonly domesticated, but not commonly
22 raised within Lindon City. These animals shall include but not be limited to: a. Camel; b.
Emu; c. Peacock; d. Ostrich. For purposes of this ordinance, bees and other animals
24 specifically permitted within this title are not considered exotic animals.

Mr. Bake also made reference to Lindon City Code Section 17.20.060 that
26 provides that a conditional use may be denied when: a. "Under circumstances of the
particular case, the proposed use will be detrimental to the health, safety, or general
28 welfare of persons residing or working in the vicinity, or injurious to property or
improvements in the vicinity, and there is no practical means available to the applicant to
30 effectively mitigate such detrimental effects;" or, b. "The applicant cannot or does not
give the Planning Commission reasonable assurance that conditions-imposed incident to
32 issuance of a conditional use permit will be complied with." 6.16 Wild and Exotic
Animals 6.16.010 – Wild and exotic animals. It is unlawful for any person to sell, offer
34 for sale, barter, give away, keep, own, harbor, or purchase any wild or exotic animal, as
defined by this Title, except for governmental agencies or otherwise as provided for by
36 state or federal regulations or as permitted by issuance of a conditional use permit as
allowed for within this chapter. 6.16.015 - Conditional use required as follows: 1. Wild
38 and exotic animals, as defined in this title, shall only be authorized in Lindon City by
issuance of a conditional use from the Planning Commission. Conditional uses shall be
40 regulated according to Chapters 17.20 through 17.24 of Lindon City Code. 2. The
potential allowance of wild and/or exotic animal species and the quantities of said species
42 are subject to approval on a case-by-case basis. The conditions of approval may be
imposed by the Planning Commission as deemed necessary to protect the public health,
44 safety, and welfare including, but not limited to, increased setbacks, fencing, size and
type of enclosure or structure, etc.

46 Mr. Bake stated the applicant has provided the information to show how he will
comply with the requirements for a Conditional Use Permit and a Home Occupation
48 business. Mr. Bake indicated the applicant has also provided information including a site

2 plan showing that the proposed business will operate entirely within the accessory
3 structure on Mr. Andersen's property. A federal license from the U.S Fish and Wildlife
4 services and business description have also been provided and are included in the staff
5 report. He noted the business description explains that Mr. Andersen plans to have 100 to
6 500 snakes at a time and staff has added a 500-snake limit as a proposed condition of
7 approval. The business description also outlines the feeding process and where rodents
8 can be purchased.

9 Mr. Bake stated Staff recommends that the breeding, raising, or storage of live
10 rodents be prohibited as a condition of approval. He indicated that since the public notice
11 went out, the City has received two calls from residents complaining of odors from the
12 accessory building. It is staffs understanding the snakes are currently being raised at the
13 building.

14 Mr. Bake then presented an Aerial Photo, Site Plan and Building elevations,
15 Business description and Copy of his Federal License followed by some general
16 discussion. He then turned the time over to the applicant for comment.

17 The applicant, Mr. Anderson addressed the commission at this time. He stated the
18 building was built in 2005 by Jeremy Stone with adequate cameras and bars on the
19 windows and secure doors with alarms and motion detection and glass break. He
20 explained depending on the reptile and their natural habitat, some prefer live feed, but
21 they can be trained to eat frozen/thawed rodents but that is not their natural habitat. He
22 noted occasionally he would like to be able to provide live rodents for the health of the
23 animal. He pointed out that the storage of the rodents would typically be within the first
24 12 hours at the most and then the rodent would be removed as there is no delay in
25 feeding.

26 Chairperson Call asked the applicant if he currently has a business relationship
27 with Mr. Stone. Mr. Anderson replied that Mr. Stone has mentored him, but they are not
28 in business together. He pointed out he is not currently selling any reptiles; his reptiles
29 are pets and he has around 125 reptiles. He noted he has hired an attorney to look into
30 this issue and he doesn't know yet what the actual results are; if they are considered an
31 exotic animal or not. He was told he did not need a conditional use permit, but once he
32 found out he needed one he has been going through the process since last September and
33 has applied for a business license; this is not the first time he has tried to resolve this.

34 City Attorney, Mr. Brian Haws stated there has been communication with Mr.
35 Anderson's Attorney and they have had some discussion on this issue. Mr. Anderson's
36 attorney stated he took the position that he had the CUP when he purchased the property
37 and he has retained council. He sent a letter stating the city's position is that this CUP no
38 longer applies on this property. Mr. Haws also expressed to Mr. Anderson's attorney that
39 is not the way the city sees it and then the communication did not continue. He clarified
40 that Mr. Anderson did not just ignore the issue.

41 Commissioner Thompson spoke on complaints from neighbors pointing out if Mr.
42 Anderson was not able to safely conduct the business at that point why should he be able
43 to do it now and what is different. Mr. Anderson pointed out he is not familiar with these
44 alleged complaints. He noted his building has filters so there are no odors associated
45 with his snakes. He also noted the city has the requirement of cleanings 3 times a week if
46 not more that he complies with. He added snakes don't eat every day and he is not
47 familiar with any rodents in the field and if so, they would not be his. He pointed out the
48 building is secure and the door is locked so nothing could get out. He made the point that

2 he lives around horses etc. and doesn't complain of odors and he is not sure of these odor
complaints.

4 Commissioner Kallas asked for clarification that Mr. Anderson will have his own
business separate from Mr. Stone. Mr. Anderson confirmed that currently this is a hobby.
6 Mr. Haws clarified if Mr. Anderson wants to move beyond a hobby, he would need a
business license and provide them to the city on an annual basis. Mr. Anderson stated he
8 is fine with that but he doesn't want any confusion or misunderstandings; he is currently
a hobby breeder, but he is happy to set up a business if needed but he will not be selling
10 for some time. Mr. Haws explained the conditional use permit time frames. Mr.
Anderson stated he will set up all proper licenses and permits etc. Commissioner Kallas
12 asked Mr. Haws if a person can have 100 snakes. Mr. Haws confirmed that statement but
added only with a conditional use permit. There was then some discussion on the
14 numbers of snakes allowed and possible impacts on the use and the neighbors and how to
mitigate any issues through the conditions imposed.

16 Chairperson Call expressed her concerns of having two of the same type
businesses in the neighborhood and her concerns that it may have a disproportionate
18 impact on the neighbors and if so, how can this can be mitigated.

20 Commissioner Johnson pointed out if this is just a hobby right now, we can see
how he handles the hobby and then see if any complaints are received and re-evaluate it
at that time.

22 Commissioner Thompson stated this is based on a variety of things and if there
are complaints from the same business with similar descriptions this gives the planning
24 commission reason to have pause and to restrict the number of reptiles lower so it
doesn't further negatively impact the neighbors, as there have already been complaints
26 received. He would suggest to offer him 150 snakes and go for a period of time and if
there are no complaints received and it seems to be functioning properly then we can
28 reevaluate it again at a later time.

30 Commissioner Marchbanks agreed that seems reasonable adding Mr. Anderson
appears to be a good operator. He did point out we have had some issues with the Stone
business in the past.

32 Commissioner Schauers stated both facilities are being built by someone in this
industry who accommodates this type of business and it goes a long way to put to rest
34 the concerns of the neighbors. This was built for this specific reason with safety
measures in place and that should put the neighbor's concerns at ease. He added the
36 concerns need to be vetted, and if there is photographic evidence a neighbor could bring
to the city that would be better than anecdotal, hearsay, exaggeration, etc. as to have
38 legitimate complaints. Mr. Anderson indicated this is federally regulated and as far as
fears and concerns go, these snakes don't go outside, there is no cross breeding and it is
40 a quiet business.

42 Chairperson Call called for any public input at this time. Mr. Bill Fairbanks
addressed the commission. Mr. Fairbanks stated first of all, personally he has no
concerns with this issue. He explained that Mr. Anderson is a great neighbor and he
44 would do anything for anybody. He feels the thing that would put neighbors most at ease
is knowing of the security of the building itself that will keep the animals in the building
46 and keep them secure. He feels if somehow the neighbors could hear about the security
of the building more readily it would put them at ease.

48

2 Chairperson Call again expressed her concerns with the business relationship and
the impact on the neighborhood; she would be in favor of putting limits on it.

4 Commissioner Thompson stated he would not want this to continue to grow until
the applicant proves himself with no complaints; he thinks 150 reptiles is reasonable.

6 Mr. Haws stated he would suggest adding the condition that the applicant obtain
the proper pre-treatment application with Orem City sewer. Mr. Anderson explained
8 why he is requesting the range limit because of the breeding involved and litters being
born so that number will change and there will be a turnover.

10 Chairperson Call re-iterated she wants to keep the numbers low as she does have
concerns for the neighbors, but 150 seems reasonable. She does not want to go any
12 higher than that until we see how things go and this also gives staff the right to come in
and inspect periodically. Mr. Florence clarified the mice are purchased from a third-
14 party vendor. Commissioner Marchbanks stated if we limit the adult snakes to 150
maximum and knowing there will be a turnover with the offspring, he believes this will
16 be better managed.

18 Commissioner Kallas agreed he doesn't feel comfortable with 500 reptiles and
believes we should have a test period first with a smaller number because of the issues
with Mr. Stone. He pointed out to the applicant that Mr. Stone has been your mentor
20 and you have a facility running snakes and you also need the proper permits and it
appears this is falling into the same category as Mr. Stone's business. Mr. Anderson
22 stated he is a completely different business person than Mr. Stone and he wants to be
separate from Mr. Stone. Mr. Haws pointed out they keep very detailed records of the
24 breeding. Mr. Anderson re-iterated he is here because he doesn't want any problems and
wants to be in compliance. There was also some discussion on fencing between Mr.
26 Anderson and Mr. Stone's properties with a vinyl fence to be constructed along the rear
property line where a solid fence does not exist.

28
30 Mr. Florence then read the suggested added conditions to the commission as
follows:

- 32 1. Limit the number of adult reptiles to a maximum of 150 on the premises with
an unlimited number of offspring that may remain on the property for a
maximum of 6 months.
- 34 2. Secure the appropriate pretreatment approvals from Orem City.

36 Chairperson Call clarified at this time the commission has to be careful to protect
the neighbors but also protect the applicant's rights and what he is trying to do. She
38 added Conditional Use Permits are complaint driven and if any complaints are received
it will be looked at again and the permit can be pulled if the issues are not mitigated.
40 Mr. Anderson stated he would be happy to mitigate any issues with neighbors; he wants
to be a good neighbor and has no problem in resolving any issues.

42 Chairperson Call called for any further comments or discussion from the
Commission. Hearing none she called for a motion.

44
46 COMMISSIONER THOMPSON MOVED TO APPROVE THE APPLICANT'S
REQUEST FOR A CONDITIONAL USE PERMIT TO BREED AND SELL EXOTIC
REPTILES AT 278 EAST 70 SOUTH, IN THE RESIDENTIAL SINGLE-FAMILY
48 (R1-20) ZONE, WITH THE FOLLOWING CONDITIONS: 1. AN ACTIVE LINDON

2 CITY HOME OCCUPATION BUSINESS LICENSE IS MAINTAINED AND ALL
HOME OCCUPATION REGULATIONS WILL BE CONTINUALLY MET; 2. THE
4 APPLICANT WILL CONTINUALLY MAINTAIN ALL APPLICABLE FEDERAL
AND STATE LICENSES AND PROVIDE YEARLY COPIES OF LICENSE AND
6 INSPECTION REPORTS TO THE CITY; 3. THE HOME OCCUPATION IS
ALLOWED IN THE ACCESSORY BUILDING ONLY AND WILL CONTINUALLY
8 MEET ALL APPLICABLE BUILDING AND FIRE CODES AND REGULATIONS; 4.
THE APPLICANT WILL MAINTAIN A SAFE AND SECURE FACILITY TO
10 PREVENT REPTILES FROM ESCAPING AND TO DISCOURAGE UNLAWFUL
ENTRY; 5. TO REDUCE ODOR COMPLAINTS AND TO MAINTAIN A CLEAN
12 FACILITY THE ACCESSORY BUILDING WILL BE CLEANED AT A MINIMUM
THREE TIMES PER WEEK WITH SPOT CLEANING AS NEEDED. EXHAUST AND
14 VENTING SYSTEMS WILL BE REGULARLY MAINTAINED TO REDUCE ANY
ODORS; 6. NO ONSITE RAISING, STORAGE OR BREEDING OF LIVE RODENTS,
16 RABBITS OR OTHER SIMILAR RETILE FOOD SOURCES. THE APPLICANT
WILL PURCHASE DECEASED FROZEN RODENTS FROM A THIRD-PARTY
18 VENDOR; 7. THE HOME OCCUPATION BUSINESS OPERATION WILL BE
CONDUCTED SEPARATELY AND ENTIRELY WITHIN THE ACCESSORY
20 STRUCTURE SHOWN IN THIS REPORT AT 278 EAST 70 SOUTH. NO OTHER
RESIDENCES OR RESIDENTIAL PROPERTIES WILL BE USED FOR THE
22 BUSINESS OPERATION; 8. THE MAXIMUM TOTAL NUMBER OF REPTILES
THAT CAN BE ON THE PROPERTY WILL BE LIMITED TO 150 ADULT SNAKES
24 AND AN UNLIMITED NUMBER OF OFFPRING THAT MAY REMAIN ON THE
PROPERTY FOR A MAXIMUM OF 6 MONTHS; 9. CITY STAFF BE ALLOWED TO
26 INSPECT THE PROPERTY, WITH REASONABLE NOTICE, TO ENSURE
COMPLIANCE WITH THE CONDITIONS IMPOSED BY THE PLANNING
28 COMMISSION; 10. A VINYL FENCE WILL BE CONSTRUCTED ALONG THE
REAR PROPERTY LINE WHERE A SOLID FENCE DOES NOT EXIST; 11.
30 SECURE THE APPROPRIATE PRETREATMENT APPROVALS FROM OREM
CITY; AND 12. ALL ITEMS OF THE STAFF REPORT. COMMISSIONER
32 MARCHBANKS SECONDED THE MOTION. THE VOTE WAS RECORDED AS
FOLLOWS:

| | |
|------------------------------------|-----|
| 34 CHAIRPERSON CALL | AYE |
| COMMISSIONER KALLAS | AYE |
| 36 COMMISSIONER MARCHBANKS | AYE |
| COMMISSIONER JOHNSON | AYE |
| 38 COMMISSIONER THOMPSON | AYE |
| COMMISSIONER SCHAUERS | AYE |
| 40 THE MOTION CARRIED UNANIMOUSLY. | |

42 **6. R2 Overlay and Accessory Apartment Ordinance Amendment – Lindon**
City. Lindon City requests a recommendation to the city council to amend Title
44 17.46 and amend sections pertaining to the R2 Overlay and Accessory
Apartments.

46
48 Mr. Florence explained at the planning commission meeting on September 8, 2020
the commission requested that City staff get a legal opinion on ordinance section

2 17.46.010 which states the following: Neighborhood organizations, home owners
4 associations, and/or private citizens shall not be permitted to restrict the placement and
6 construction of R2 Overlay projects in specific neighborhoods and subdivisions through
the use and implementation of Conditions, Covenants, and Restrictions and/or other types
of restrictive legal documents.

8 Mr. Florence indicated that such practices undermine Lindon City's ability to
10 provide for the housing needs of its citizens and prohibit attainment of established zoning
requirements and General Plan goals. He added as City staff reviewed the legal
requirements of this ordinance the direction that the City would like to proceed with is to
remove section 17.46.010 from the city code.

12 Mr. Florence said he wants to make sure the commission is comfortable with the
14 districts as this would open up six more districts. There was then some general discussion
regarding the number districts.

16 Mr. Florence then presented for discussion the September 8, 2020 staff report,
Draft 17.46; the Ordinance change, the Current R2 Overlay Map, the Proposed R2
Overlay Map and the map showing vacant properties.

18 Following some additional discussion, the commission was in agreement to
20 recommend to the city council approval to amend Title 17.46 and also to amend sections
pertaining to the R2 Overlay and Accessory Apartments.

22 Chairperson Call called for any further comments or discussion from the
Commission. Hearing none she called for a motion.

24 COMMISSIONER KALLAS MOVED TO RECOMMEND APPROVAL TO
26 THE CITY COUNCIL ORDINANCE AMENDMENT 2020-14-O AS PRESENTED BY
STAFF WITH CHANGES AS DISCUSSED. COMMISSIONER MARCHBANKS
SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

| | |
|----------------------------|-----|
| 28 CHAIRPERSON CALL | AYE |
| COMMISSIONER KALLAS | AYE |
| 30 COMMISSIONER MARCHBANKS | AYE |
| COMMISSIONER JOHNSON | AYE |
| 32 COMMISSIONER THOMPSON | AYE |
| COMMISSIONER SCHAUERS | AYE |

34 THE MOTION CARRIED UNANIMOUSLY.

36 7. **New Business: Reports by Commissioners** – Chairperson Call called for any
38 new business or reports from the Commissioners.

40 Chairperson Call asked Mr. Florence to summarize the concept review that was
before the city council last night. Mr. Florence gave an update on the Norton Property
concept plan that was presented followed by discussion. Commissioner Marchbanks
42 spoke on infill areas and how we can be more flexible.

44 Chairperson Call called for any further comments or discussion from the
commission, hearing none she moved on to the next agenda item.

46 8. **Planning Director Report** –

48 • General City updates

2 Chairperson Call called for any further comments or discussion. Hearing none she
called for a motion to adjourn.

4 **ADJOURN** –

6
8 COMMISSIONER KALLAS MADE A MOTION TO ADJOURN THE
MEETING AT 8:17 PM. COMMISSIONER SCHAUERS SECONDED THE MOTION.
10 ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

12 Approved – October 13, 2020

14 _____
Sharon Call, Chairperson

16
18 _____
Michael Florence, Planning Director

Item 4: Plat Amendment – Fenton-Olsen Subdivision 35 W. & 15 W. 725 N.

Date: October 13, 2020

Applicant: Rebecca Fenton

Presenting Staff: Michael Florence

General Plan: Residential Low
Current Zone: Residential R1-20

Property Owner: Rebecca Fenton
Address: 15 W. and 35 W. 725 N.

Parcel IDs: 14:049:0344 &
39:065:0002

Existing Parcel Sizes: .96 (35 W) &
.57 (15 W.)
Proposed Lot Sizes: .98 (35 W.) &
.56 (15 W.)

Type of Decision: Administrative
Council Action Required: No



Overview

1. Rebecca Fenton owns both the lot at 35 W. and the parcel at 15 W. 725 N.
2. The current lot line separating the two properties crosses the swimming pool at the rear of the both properties. Ms. Fenton desires to do a lot line adjustment so the existing lot line goes around the pool.
3. The purpose for the plat amendment is that the property at 35 W. 725 N. is located in the Fenton-Olsen Subdivision and the parcel at 15 W. 725 N. is not a platted lot. In order to move the lot line of the platted lot, a plat amendment has to occur. Since 15 W. is not a platted lot then the City has requested that this property be included in the Fenton-Olsen subdivision.

Surrounding Zoning and Land Use

North: Residential R1-20 – Single Family Home

South: Residential R1-20 – Single Family Home

East: Residential R1-20 – Single Family Home

West: Residential R1-20 – Single Family Home

Subdivision Standards

Lindon City Code 17.32.00 references Utah Code for requirements amending a subdivision plat. Under Utah Code 10-9a-608, an applicant may petition the Land Use Authority (Planning Commission) to join **two or more of the petitioner fee owner's contiguous lots.**

10-9a-608. Vacating, altering, or amending a subdivision plat.

(2) Unless a local ordinance provides otherwise, the public hearing requirement of Subsection (1)(c) does not apply and a land use authority may consider at a public meeting an owner's petition to vacate or amend a subdivision plat if:

(a) the petition seeks to:

(i) join two or more of the petitioner fee owner's contiguous lots;

(ii) subdivide one or more of the petitioning fee owner's lots, if the subdivision will not result in a violation of a land use ordinance or a development condition;

(iii) adjust the lot lines of adjoining lots or parcels if the fee owners of each of the adjoining lots or parcels join in the petition, regardless of whether the lots or parcels are located in the same subdivision;

(iv) on a lot owned by the petitioning fee owner, adjust an internal lot restriction imposed by the local political subdivision; or

(v) alter the plat in a manner that does not change existing boundaries or other attributes of lots within the subdivision that are not:

(A) owned by the petitioner; or

(B) designated as a common area; and

(b) notice has been given to adjacent property owners in accordance with any applicable local ordinance.

Engineering Requirements

The City Engineer is working through technical issues related to the plat and will conduct a final review if the planning commission approves the plat amendment.

Findings of Fact

- The applicant, Rebecca L. Fenton owns both properties that are part of the plat amendment application; and
- The proposed plat amendment is located in the Residential R1-20 zone and meets minimum lot size and frontage requirements.

Motion

I move to (approve, deny, continue) the applicant's request for plat amendment approval of the Fenton-Olsen Subdivision with the following conditions:

1. The applicant will continue to work with City staff to make all technical corrections as necessary to the plat prior to recording;
2. Prior to plat recording, the applicant will update the final plat Mylar to include notarized signatures **of owners' consent** to dedication; and obtain signatures of all entities indicated on the subdivision plat attached hereto; and
3. All items of the staff report.

Exhibits

1. Aerial Image with Parcels
2. Proposed Plat
3. Current Plat

Exhibit 1

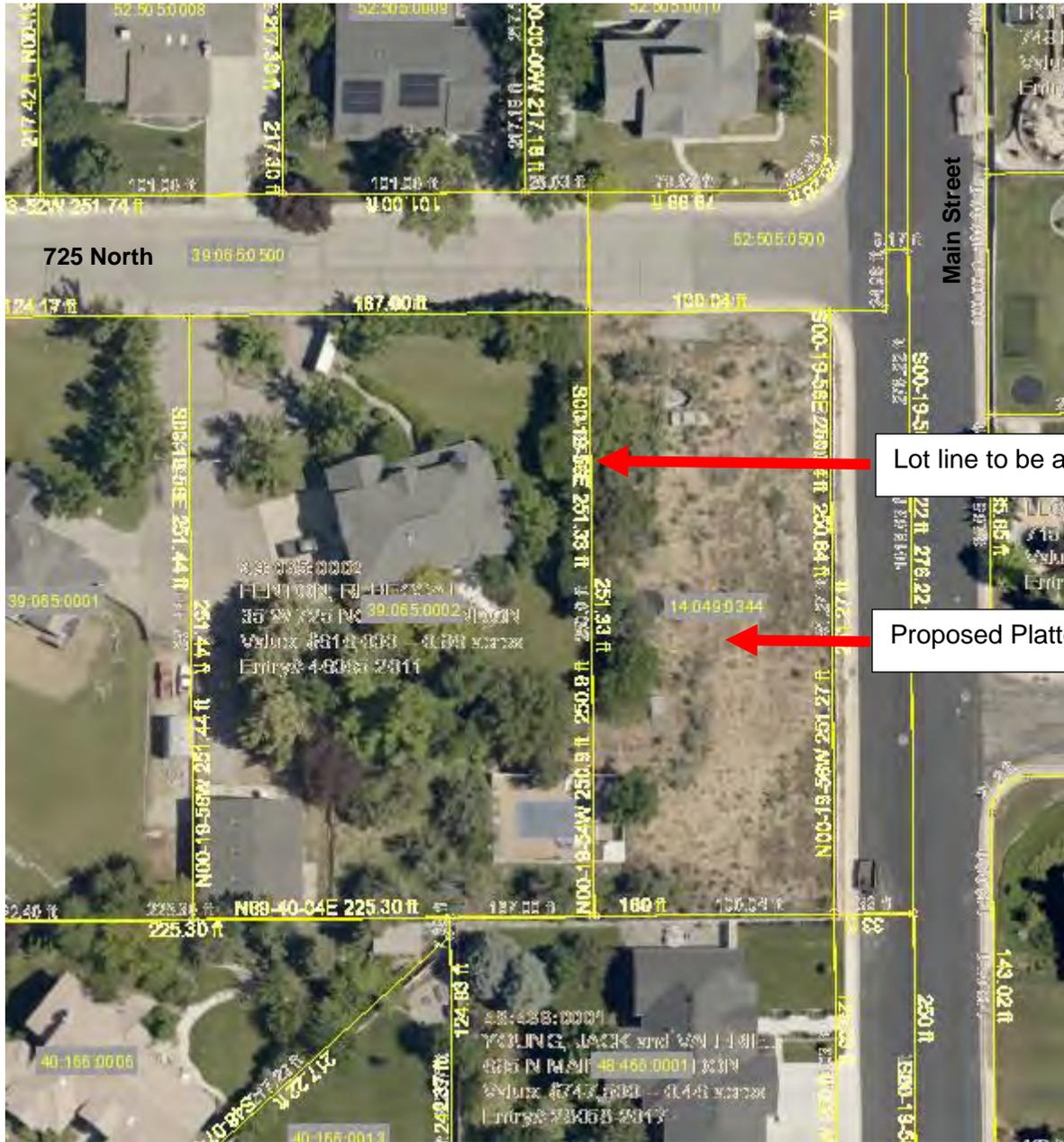
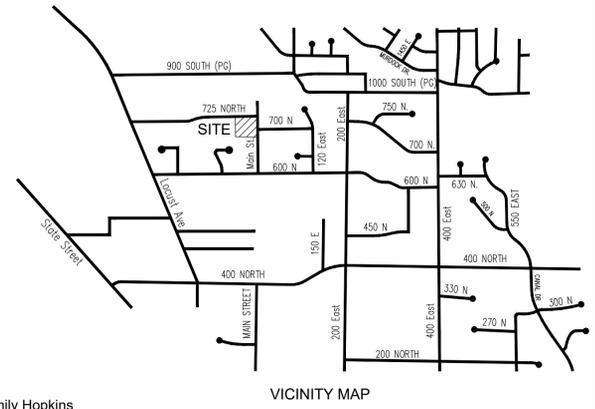
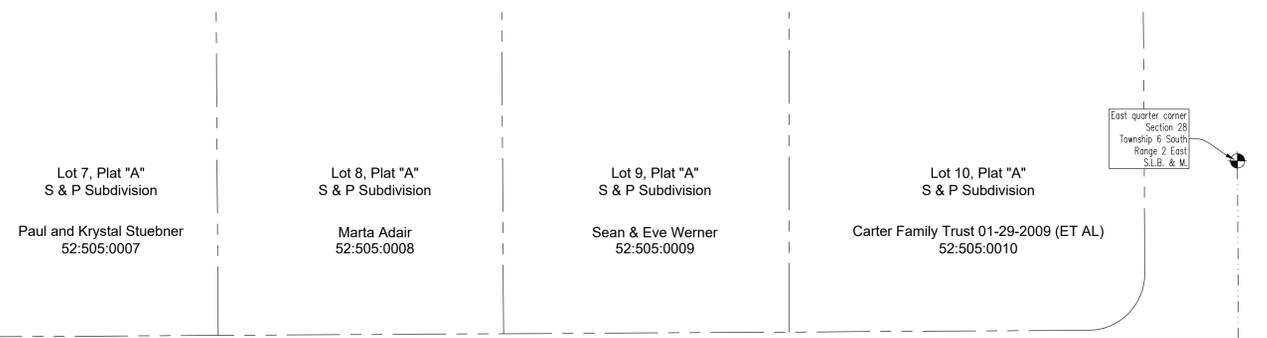




Exhibit 2 - Proposed Plat Amendment



Surveyor's Certificate

I, Roger D. Dudley, do hereby certify that I am a registered land surveyor, and that I hold certificate No. 147082 in accordance with Utah Code, Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act. I further certify, that at the request of the owner of the below-described land, I performed a survey of said land in accordance with Section 17-25-17 of the Utah Code; that the boundary description below correctly describes the land surface upon which will be constructed PLAT "A", FENTON-OLSEN SUBDIVISION. That I have verified all measurements, and that the reference markers shown on said plat are located as shown and are sufficient to readily retrace or reestablish this survey.

Boundary Description

Commencing at the Northeast corner of Lot 1, Plat "A", Orchard Meadows Subdivision as shown on record in the office of the Utah County Recorder, Utah County Utah, said point located North 0°19'56" West along the Section line 814.50 feet and West 33.00 feet from the Southeast corner of Section 28, Township 5 South, Range 2 East, Salt Lake Base and Meridian; thence South 89°37'50" West along Orchard Meadows Subdivision 160.00 feet; thence North 0°22'10" West 0.44' to the southerly boundary line of Plat "A", Fenton-Olsen Subdivision; thence South 89°37'50" West along Plat "A", Fenton-Olsen Subdivision 107.00 feet; thence North 0°19'56" West along Lot 1, Plat "A", Fenton-Olsen Subdivision 251.44 feet to 725 North Street; thence North 89°40'04" East along 725 North Street 167.00 feet to the Northeast corner of Lot 2, Plat "A", Fenton-Olsen Subdivision; thence South 0°19'56" East 0.86 feet to the south side of 725 North Street; thence North 89°40'04" East along 725 North Street 100.00 feet to Main Street; thence South 0°19'56" East along Main Street 250.85 feet to the point of beginning.

Area = 67,011 sq.ft. or 1.54 Acres
 Basis of Bearing is North 0°19'56" West along the Section line from the Southeast corner to the East quarter corner of said Section 28. (NAD 27)

Owner's Dedication

The undersigned owners ("owner" without regard to number or gender) of the above-described land hereby certifies that: owner has caused a survey to be made of said land and to be prepared for Plat B, FENTON-OLSEN SUBDIVISION, Owner hereby consents to the concurrent recordation of the plat and Declaration and hereby submits the described land to the provisions and requirements of the declaration, owner hereby dedicates any public streets reflected on the map for the use by the general public.

In witness hereof we have hereunto set our hands this _____ day of _____ A.D. 20____.

Rebecca L. Fenton _____

Acknowledgement

STATE OF UTAH } S.S.
 COUNTY OF UTAH }
 The foregoing instrument was acknowledged before me this _____ day of _____, 20____, by _____ who represented that he is the owner of the above-described property and has the authority to execute this instrument.

My Commission Number _____ Signed (a Notary Public Commissioned in Utah)
 My Commission Expires _____ Print name of Notary

Acceptance by Legislative Body

The City of Lindon, County of Utah, approves this Subdivision subject to the Conditions and Restrictions stated hereon, and hereby accepts the dedication of all streets, easements and other parcels of land intended for perpetual use of the public this _____ day of _____, A.D. 20____.

Mayor _____ Planning Commission Chair
 Planning Director _____ City Engineer
 City Attorney _____ City Recorder
 Attest _____

Conditions of Approval

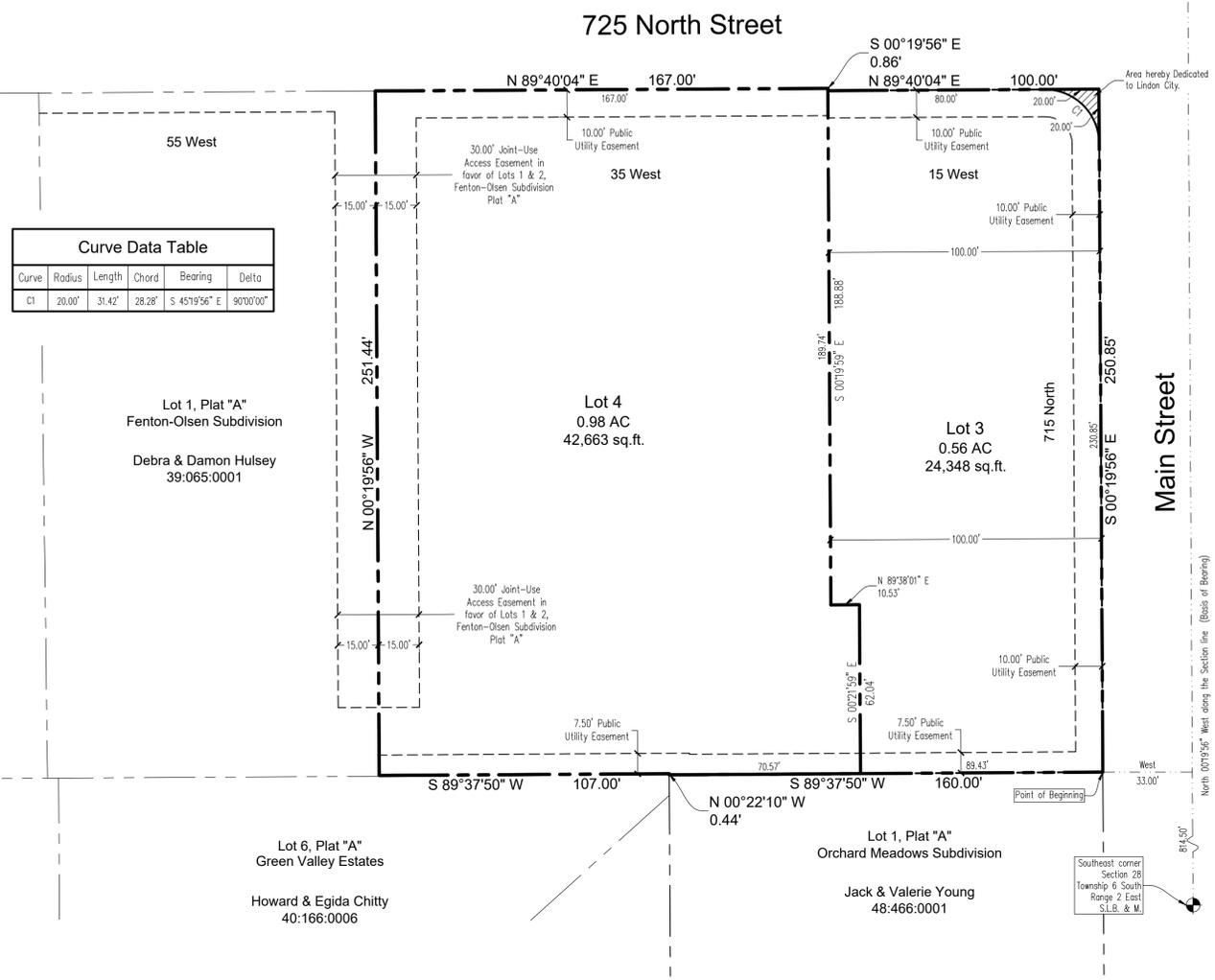
Plat " B"

Fenton-Olsen Subdivision

Including an Amendment of Lot 2, Plat "A", Fenton-Olsen Subdivision

Lindon City, Utah County, Utah

Scale: 1" = 30 Feet



Brigham & Emily Hopkins
48:348:0014

Chad Dunn
48:348:0014

Michael & Kimberly Lloyd
48:348:0013

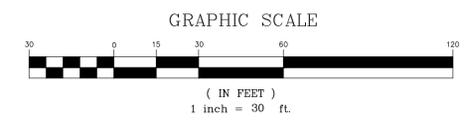
710 North Street

Lorenzo West
48:348:0012

Note:
A Geotechnical study was not performed for this subdivision.

Occupancy Restriction Notice
 It is unlawful to occupy any building within this subdivision without first having obtained a certificate of occupancy issued by the City.

Notice of Lindon City Housing Ordinance
 All potential buyers of lots within this plat are hereby notified of the Lindon City R2 Overlay Ordinance. Under this ordinance there is potential for small, localized multifamily housing projects in this neighborhood consisting of single family planned unit developments, duplexes, triplexes and accessory apartments. Conditions Covenants and Restrictions (C.C.&R.s) which prohibit this type of housing in specific subdivisions are considered illegal and in violation of Lindon City Code. Please contact the Lindon City Planning Department at (801) 785-7687 for details regarding this Ordinance.



| | | | | |
|-----------------|--------------------|--------------------|---------------------|-----------------|
| SURVEYOR'S SEAL | NOTARY PUBLIC SEAL | CITY ENGINEER SEAL | CLERK-RECORDER SEAL | COUNTY RECORDER |
|-----------------|--------------------|--------------------|---------------------|-----------------|

Item: 5 Site Plan Approval – Holiday Oil 725 North Geneva Road

Date: October 13, 2020

Project Address: 725 North Geneva Road
Applicant: Holiday Oil
Property Owner: Wagstaff Investments LLC
General Plan: Commercial/ Transit Node
Current Zone: Lindon Village Commercial (LVC)

Parcel ID: 35:763:0100

Type of Decision: Administrative
Council Action Required: No
Presenting Staff: Anders Bake



Summary of Key Issues

1. For site plan approval, the planning commission will be evaluating whether the site plan and building meet Title 17 development regulations.

Overview

1. The applicant proposes to construct a convenience store and fuel station on a vacant property.
2. The subject property is located at 725 North Geneva Road, in the Blackhurst Subdivision.
3. The proposed development was discussed by the Planning Commission as part of a Concept Review Application at the June 9, 2020 Planning Commission Meeting. The Commission discussed how the Commercial Design Standards would be applied to the project.

Motion

I move to (*approve, deny, continue*) the applicant's request for site plan approval with the following conditions:

1. The applicant will continue to work with the City Engineer to make all final corrections to the engineering documents;
2. The plans will meet development specifications as found in the Lindon City Development Manual;
3. The street lights along 700 North and Geneva road will meet the lighting requirements found in the Lindon City Development Manual;
4. Trees planted along 700 North will comply with the 700 North Corridor Tree Planting requirements in the Development Manual;
5. Final design will meet the Commercial Design Standards for commercial sites and buildings;
6. The project will meet all site requirements for the Lindon Village Commercial Zone found in Section 17.48.025 of the Lindon City Code;
7. The applicant will comply with all bonding requirements, if applicable; and
8. All items of the staff report.

Surrounding Zoning and Land Use

North: Lindon Village Commercial – future commercial building

East: Lindon Village Commercial – office/storage uses

South: Lindon Village Commercial – vacant property

West: Lindon Village Commercial – office/warehouse buildings

Site Development Standards

Parking

Parking standards are based on the zone and the different uses in the building and their respective square footage.

| Required | Provided | Compliant |
|---|----------|-----------|
| Retail – 1 per 350 sq. ft. of floor area (4,170) = 12 | 19 | Yes |
| Bike stalls: 2 bicycle stalls per 50 vehicular spaces and 1 addition per 50 stalls. | 2 | Yes |

Traffic Circulation

Vehicles will be able to access the property from 700 North and Geneva Road. There is adequate vehicle circulation within the lot and around the fuel stations.

Landscaping Standards

The proposed landscaping plan will meet the city code requirements for landscaping in the Lindon Village Commercial Zone. City Staff have requested that the trees planted along 700 North comply with the 700 North Corridor Tree Planting requirements in the Development Manual. This has been added as a condition of approval. All other trees on the property comply with the Lindon City Tree Planting Guide.

| Landscaping Standards | Provided | Compliance |
|---|---|------------|
| 20-foot landscaping strip along public street frontages | 20-foot landscape strip along 700 North and Geneva Road | Yes |
| 20% of lot in landscaped open space | 14,939 sq. ft. landscaping (25% of lot) | Yes |
| Landscaped berm must be 70% grass cover and 30% other ground covers. Trees every 30 feet along landscaping berm | Sod and gravel in landscape strip. Trees every 30 feet. | Yes |
| 40 square feet of interior parking lot landscaping per parking space. (760 sq. ft.) | 760 sq. ft. | Yes |
| Interior parking lot landscape materials shall consist of at least 75% living vegetation. | Gravel ground cover with trees and shrubs | Yes |

Site Requirements

Lindon Village Commercial Zone

The subject property is about 60,000 square feet which meets the 20,000 square foot minimum lot size requirement. The proposed building location also meet the minimum setback requirements of 20 feet from 700 North and Geneva Road.

The subject property is located in an area identified in the Lindon Village Commercial Zone where a sales tax producing component is required. The proposed convenience store will meet this requirement. Verification of sales tax production will also be required prior to final site plan and business license approvals.

The proposed development complies with the approved District Plan that was approved by the Planning Commission on September 24, 2019 at part of the 7th at Geneva Site Plan application.

Lindon Commercial Design Standards

The subject property is subject to the requirements found in Lindon's Commercial Design Standards. The design standards include the following site requirements in section 3.1:

- A maximum front setback of 50 feet with no more than one row of parking stalls is recommended.

- Avoid placing parking in the front setback between building and street; the majority of parking shall be located to the side of rear of the building to maintain the connection between building and street.
- Greater setbacks may be considered for buildings that proposed a public park/plaza area in front of the primary street facing façade.
- Corner sites shall have a recommended setback of 20 to 50 feet on both street facing facades in order to properly define the intersection of site permits.

The proposed site plan includes an 80-foot building setback from 700 North Street. The applicant proposes a patio area within this setback and is requesting that a setback greater than 50 feet be considered. The building setback from Geneva Road is over 200 feet which includes the fuel station and parking stalls. The Planning Commission reviewed this site layout and the Commercial Design Standards as part of a Concept review on June 9, 2020.

Architectural Requirements

Buildings in the Lindon Village commercial zone are required to meet the Lindon Commercial Design Standards. Under the commercial design standards, commercial development should pick one of three building forms: one-part commercial block, two-part commercial block, and central block buildings.

The proposed building most aligns with the one-part commercial block building. Below are the standards for such building in the Commercial Design Standards:

| Design Element | Design Standard Requirement | Compliance |
|---|--|--|
| Massing and Form | A significant amount of the primary ground story facade facing public streets... should be transparent glazing. The ground floor of the primary façade shall be 60% fenestration at the pedestrian level. | Compliant. The front façade is 60% Glass windows and doors. 80% of the glass will be transparent while the bottom 20% of the windows will have a spandrel glazing. See staff analysis section. |
| Height and Scale/Size | Facades should be broken up every 15' to 25' with color, change of building materials, depth, height, or other architectural characteristics. Windows, doors, art or architectural detailing are all options for a blank wall. | Compliant. The building is broken up with pillars and changes in depth on all four sides. A variation in building depth occurs, at a minimum, every 20 feet. |
| Roofing | Sloped roofs should be the primary roof form and should use a material that is compatible in material and color with the exterior material of the building. | The building does have a sloped roof. The standard Holiday Oil red roof color does not meet the approved color pallet but received a favorable recommendation from the Planning Commission's concept review of the plan. This color is also similar to previously approved projects at Wendy's and 7 Eleven. |
| Exterior Walls and Surfacing (building Materials) | Brick, Stone, or Colored Decorative Block should be utilized as the primary building material (85% or greater of the building), especially on street-facing facades. | Compliant. The four sides of the building will have a brick façade. |

| | | |
|--|--|--|
| Fenestration (windows and doors) | Storefront windows should be framed with a material complementary to the primary building material(s). Wood or metal are framing materials that work well with brick or stone. If storefront windows do not reach to the ground, a projecting sill should be used at the bottom. | Compliant. The applicant has added Aluminum framing to the windows to increase the architectural detail. Windows on the front façade reach the ground. |
| Exterior Trim and Decorative Detailing | Simple decorative detailing; focused on the primary street; colors, textures, and changes in building materials to give definition; detailing focused on street-level; upper level less detail | Compliant. The applicant has included a row of brick soldier course above the windows. |

Engineering Requirements

The City Engineer is working through technical issues related to the site plan and will conduct a final review if the planning commission grants final site plan approval.

Staff Analysis

City staff believes that this development will be an amenity to Lindon City. The Planning Commission will need to evaluate the site requirements in the Commercial Design Standards and how they should be applied to a convenience store and gas station development. The applicant has worked with city staff in creating a patio amenity and pedestrian connection to the development along the 700 North Corridor. The site connects well with the property to the north and complies with the district plan and Lindon Village Commercial Zone requirements.

Improvements have also been added to the building façade to better meet the Commercial design Standards. These include additional framing to break up the windows and a row of brick soldier course above the windows.

The Commercial Design Standards state that "If storefront windows do not reach to the ground, a projecting sill should be used at the bottom." The Architectural plan that was submitted and reviewed by staff includes windows that our brought to the ground on the front façade. The applicant would like to propose a change to the submitted plans by replacing some of the fenestration at the bottom of the building with brick. If the Planning Commission would like to make this proposed change to the plans, they will need to state this change as a condition of approval.

Exhibits

1. Aerial photo
2. Site plan
3. Landscaping Plan
4. Building elevations
5. Approved District Plan

Aerial Photo of the property at 725 North Geneva Road





CALL 811 AT LEAST 48 HOURS PRIOR TO THE COMMENCEMENT OF ANY CONSTRUCTION.

BENCHMARK

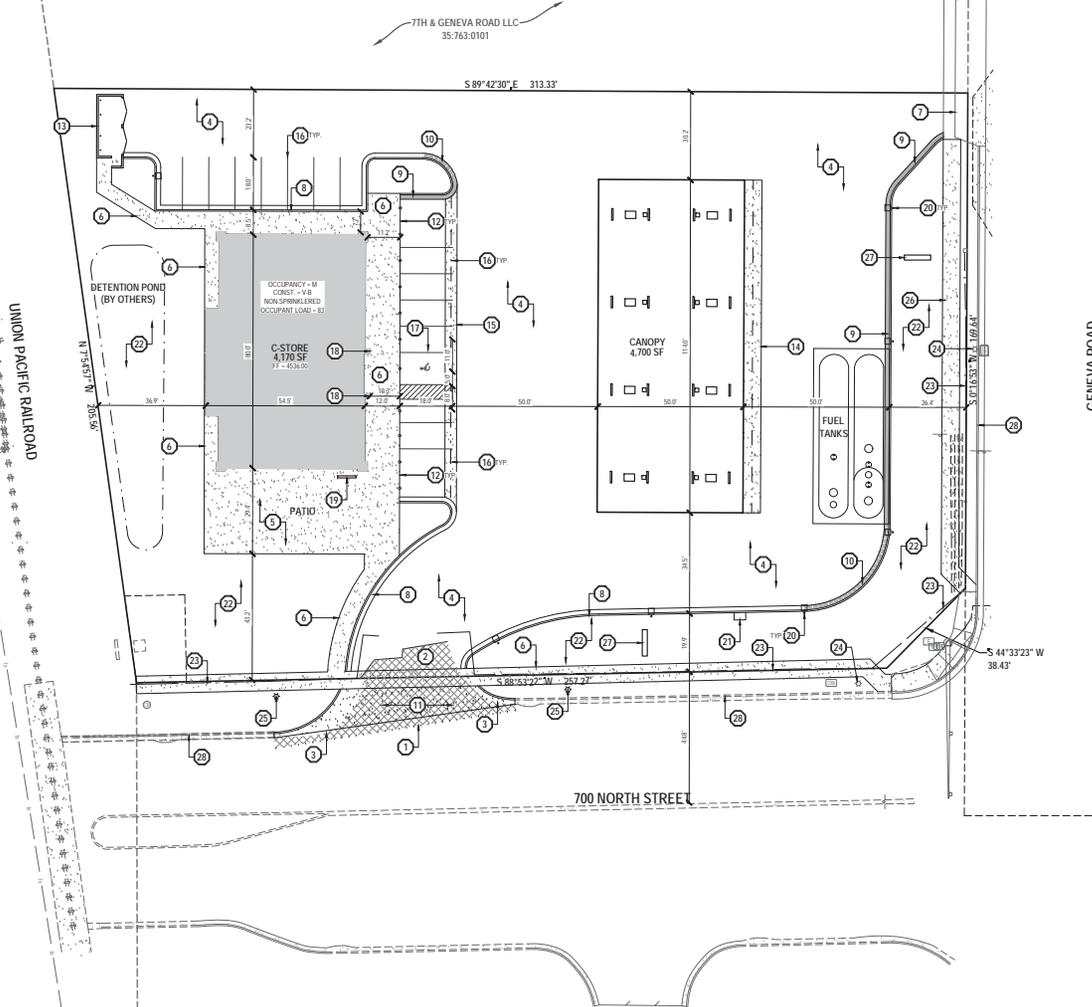
SOUTH QUARTER CORNER OF SECTION 29 TOWNSHIP SOUTH RANGE 15 EAST SALT LAKE BASE AND MERIDIAN
ELEVATION = 4522.10'

PARKING DATA TABLE

| | |
|----------------------------|----|
| REQUIRED PARKING STALLS | 12 |
| STANDARD STALLS | 18 |
| HANDICAP ACCESSIBLE STALLS | 1 |
| TOTAL STALLS PROVIDED | 19 |
| REQUIRED BICYCLE STALLS | 1 |
| REQUIRED BICYCLE STALLS | 1 |
| BICYCLE STALLS PROVIDED | 2 |

SITE SUMMARY TABLE

| DESCRIPTION | AREA (SQ') | PERCENTAGE |
|-------------|------------|------------|
| PAVEMENT | 29,393 | 49% |
| SIDEWALK | 5217 | 9% |
| C-STORE | 4,170 | 7% |
| CANOPY | 5,700 | 10% |
| LANDSCAPING | 14,928 | 25% |
| TOTAL SITE | 59,420 | 100% |
| | 1.36 ACRES | |



GENERAL NOTES

- ALL WORK TO COMPLY WITH THE LATEST EDITION OF LINDON CITY DESIGN STANDARDS AND PUBLIC IMPROVEMENTS SPECIFICATIONS.
- ALL PAVEMENT MARKINGS SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD (ANNUAL ON/UNIFORM TRAFFIC CONTROL DEVICES).
- ALL SURFACE IMPROVEMENTS DISTURBED BY CONSTRUCTION SHALL BE RESTORED OR REPLACED, INCLUDING TREES AND DECORATIVE SHRUBS, SIGN, FENCES, WALLS AND STRUCTURES, WHETHER OR NOT THEY ARE SPECIFICALLY SHOWN ON THE CONTRACT DOCUMENTS.
- NOTIFY ENGINEER OF ANY DISCREPANCIES IN DESIGN OR STAKING BEFORE PLACING CONCRETE OR ASPHALT.
- THE CONTRACTOR IS TO PROTECT AND PRESERVE ALL EXISTING IMPROVEMENTS, UTILITIES, AND SIGNS, ETC. UNLESS OTHERWISE NOTED ON THESE PLANS.
- ONE(1) COLOR ELECTRONIC COPY OF AS-BUILT DRAWINGS, FORMATTED IN ACCORDANCE WITH SECTION 3 OF THE 20th EDITION OF THE LINDON CITY DESIGN STANDARDS, SHALL BE SUBMITTED TO THE CITY UPON COMPLETION OF THE PUBLIC IMPROVEMENTS, INCLUDING WATER, SEWER, STORM DRAIN AND POWER.
- ALL CONSTRUCTION IS TO BE DONE AS PER THE LATEST EDITION OF THE LINDON CITY DESIGN STANDARDS AND PUBLIC IMPROVEMENTS SPECIFICATIONS.
- PRIOR TO THE COMMENCEMENT OF ANY WORK, A PRECONSTRUCTION MEETING WILL BE HELD WITH THE PUBLIC WORKS DIRECTOR, CHIEF BUILDING OFFICIAL, CITY INSPECTORS, THE CONTRACTOR AND THE PROPERTY OWNER.
- PRIOR TO CONSTRUCTION AN EROSION AND SEDIMENTATION CONTROL PLAN WILL BE SUBMITTED TO THE PUBLIC WORKS DIRECTOR FOR APPROVAL.
- ALL IMPROVEMENTS MUST COMPLY WITH ADA STANDARDS AND RECOMMENDATIONS.
- ALL ADA ACCESSIBLE SIDEWALK WILL BE CONSTRUCTED IN ACCORDANCE WITH THE LATEST EDITION OF THE LINDON CITY DESIGN STANDARDS AND PUBLIC IMPROVEMENTS SPECIFICATIONS.
- ALL DIMENSIONS FROM CURB AND GUTTER TO FACE OF CURB UNLESS NOTED OTHERWISE.
- THE DEVELOPER IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA).
- ALL LANDSCAPED AREA SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLING SYSTEM WITH A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
- WATER METERS ARE TO BE LOCATED BEHIND BACK OF CURB OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE, NOT LOCATED BEHIND CURB OR UNDER COVERED PARKING.
- LINDON STANDARD SPECIFICATIONS AND DRAWINGS APPLY TO CONSTRUCTION OF PUBLIC IMPROVEMENTS THAT WILL BE OWNED OR MAINTAINED BY LINDON CITY AND TAKE PRECEDENCE OVER OTHER STANDARDS.

SCOPE OF WORK

PROVIDE, INSTALL AND/OR CONSTRUCT THE FOLLOWING PER THE SPECIFICATIONS GIVEN OR REFERENCED, THE DETAILS NOTED, AND/OR AS SHOWN ON THE CONSTRUCTION DRAWINGS:

- SAWCUT EXISTING ASPHALT PAVEMENT TO PROVIDE A CLEAN EDGE FOR THE TRANSITION BETWEEN EXISTING AND PROPOSED ASPHALT PAVEMENT.
- REMOVE AND PROPERLY DISPOSE OF EXISTING ASPHALT PAVEMENT.
- SAWCUT, REMOVE, AND PROPERLY DISPOSE OF EXISTING CONCRETE CURB AND GUTTER.
- CONCRETE PAVEMENT: 6" THICK CONCRETE WITH 5' UNTREATED BASE COURSE PER GEOTECHNICAL REPORT AND DETAIL 3C3.0.
- 6" THICK CONCRETE PAVEMENT WITH 4" UNTREATED BASE COURSE PER GEOTECHNICAL REPORT.
- 6" THICK CONCRETE SIDEWALK PER APWA STANDARD PLAN NO. 231 AND SPECIFICATIONS.
- EXISTING DRIVE APPROACH BY OTHERS.
- COLLECTION CURB AND GUTTER PER APWA STANDARD PLAN NO. 205 TYPE "C" AND SPECIFICATIONS.
- REVERSE PAN CURB AND GUTTER PER DETAIL 3C3.0.
- TRANSITION BETWEEN COLLECTION CURB AND GUTTER AND REVERSE PAN CURB AND GUTTER.
- DRIVE APPROACH PER DETAIL 3C3.0.
- BOLLARD PER DETAIL 3C3.0.
- DOUBLE TRASH ENCLOSURE PER DETAILS 4C3.0-4C3.0. MUST MEET LINDON CITY STANDARDS AS MINIMUM.
- WATERWAY PER APWA STANDARD PLAN NO. 211 AND SPECIFICATIONS.
- WATERWAY PER APWA STANDARD PLAN NO. 211 AND SPECIFICATIONS.
- WIDE SOLID WHITE PAVEMENT MARKING PER MUTCD STANDARD PLANS.
- PAINTED ADA SYMBOL AND ASSOCIATED HATCHING PER MUTCD STANDARD PLANS.
- "HANDICAP PARKING" SIGN PER MUTCD STANDARD PLANS INSTALLED ON BUILDING. SEE DETAIL 3C3.0 NORTH HANDICAP PARKING STALL TO BE DESIGNATED "VAN ACCESSIBLE" ON SIGN.
- BICYCLE RACK (N/A OF REQUIRED CAR STALLS)
- 20 TALL LIGHT POLE. SEE PHOTOMETRIC PLAN
- JV DUMP STATION
- NEW LANDSCAPING SEE LANDSCAPE PLANS
- REMOVE AND PROPERLY DISPOSE OF EXISTING FENCE
- EXISTING STREET LIGHT PER LINDON CITY STANDARD TO REMAIN
- NEW STREET LIGHT PER LINDON CITY STANDARD 4C3.0. INSTALL 2' IN FRONT OF SIDEWALK. DEVELOPER TO PROVIDE USABLE POWER.
- INSTALL NEW 5" CONCRETE SIDEWALK PER LUDOT STANDARD APP-5
- MONUMENT SIGN. PER SIGN PACKAGE
- EXISTING CURB AND GUTTER



SALT LAKE CITY
45 W. 10000 S., Suite 500
Sandy, UT 84070
Phone: 801.255.2529

LAYTON
Phone: 801.547.1100

TOOELE
Phone: 435.843.3590

CEDAR CITY
Phone: 435.865.1453

RICHFIELD
Phone: 435.806.2983

WWW.ENSIGNENG.COM

FOR:
HOLIDAY OIL
315 WEST 2100 SOUTH
WEST VALLEY CITY, UTAH
OWNER:
SCOTT WAGSTAFF
PHONE: 801.631.0434

**GENEVA ROAD
HOLIDAY OIL
725 NORTH GENEVA ROAD
LINDON CITY, UTAH**

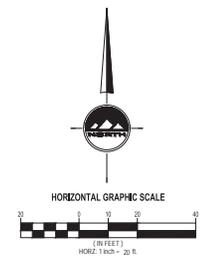


SITE PLAN SUBMITTAL

SITE PLAN

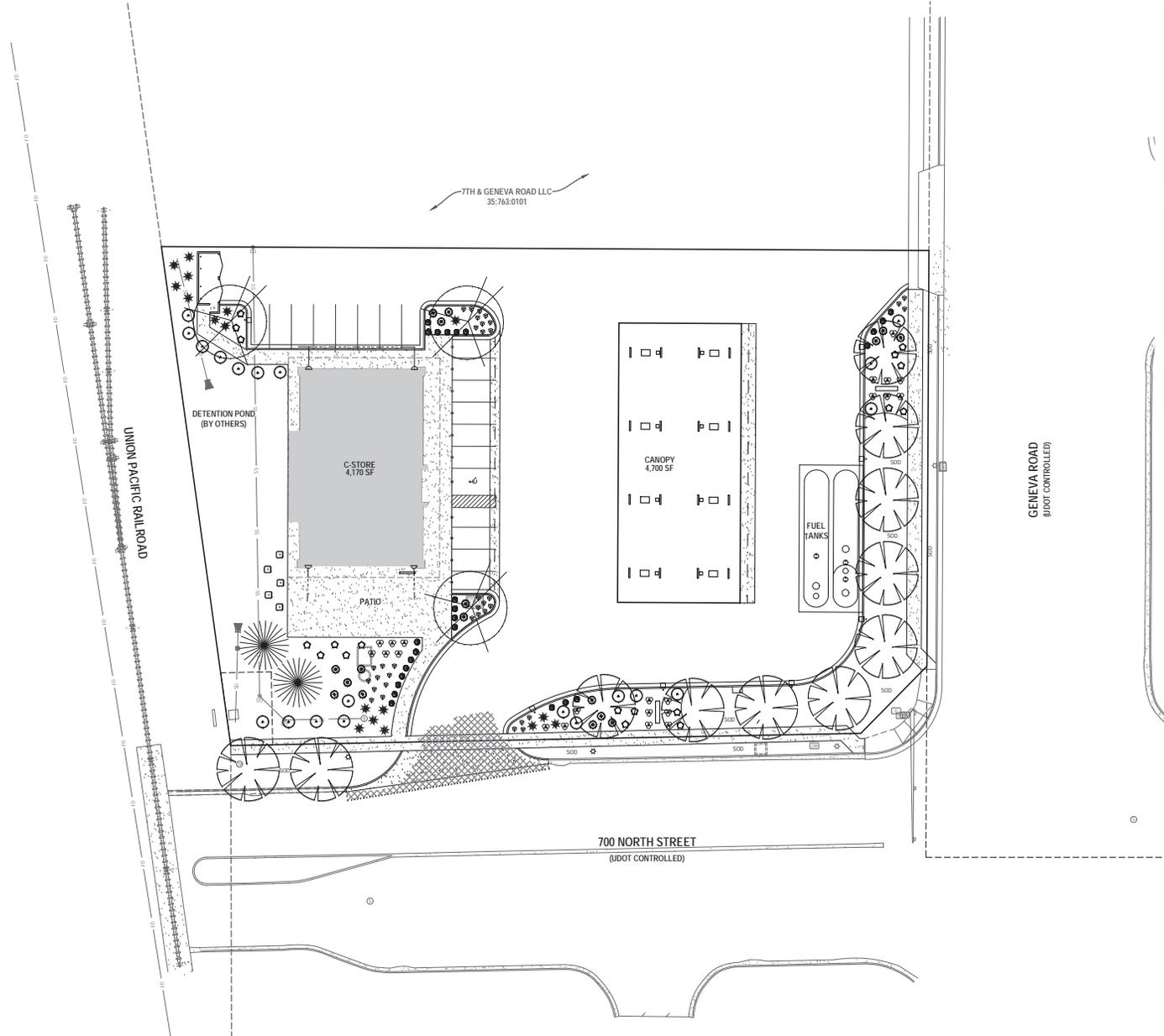
PROJECT NUMBER: 1920
DATE: 1/2024
DRAWN BY: J. Steinhilber
CHECKED BY: B. Page
PROJECT ENGINEER: C. Dunson

C1.0





BENCHMARK
 SOUTH QUARTER CORNER OF SECTION 29
 TOWNSHIP 3 SOUTH RANGE 3 EAST
 SALT LAKE BASE AND MERIDIAN
 ELEVATION = 4522.10'



Landscape

Trees

| Qty | Symbol | Common Name | Botanical Name | Plant Size |
|-----|--------|----------------------|--------------------------|------------|
| 2 | | Colorado Blue Spruce | <i>Picea pungens</i> | 6' Min. |
| 3 | | Eastern Redbud | <i>Cercis canadensis</i> | 2" Cal. |
| 11 | | Japanese Zelkova | <i>Zelkova serrata</i> | 2" Cal. |

Shrubs

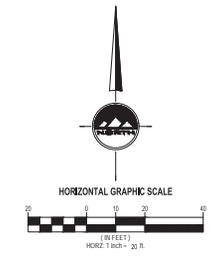
| Qty | Symbol | Common Name | Botanical Name | Plant Size |
|-----|--------|--------------------------|--|------------|
| 17 | | Barberry 'Crimson Pygmy' | <i>Berberis thunbergii atropurpurea nana</i> | 5 Gallon |
| 5 | | Boxwood, Littleleaf | <i>Buxus microphylla</i> | 5 Gallon |
| 18 | | Cinquefoil | <i>Potentilla fruticosa 'Abbotswood'</i> | 5 Gallon |
| 20 | | Winged Euonymus | <i>Euonymus alatus 'Green's Compacta'</i> | 5 Gallon |
| 17 | | Pine, Mugo | <i>Pinus mugo 'Compacta'</i> | 5 Gallon |
| 25 | | Fountain Grass | <i>Pennisetum setaceum</i> | 1 Gallon |

Annuals-Perennials

| Qty | Symbol | Common Name | Botanical Name | Plant Size |
|-----|--------|------------------|------------------------|------------|
| 35 | | Daylily | <i>Hemerocallis</i> | 1 Gallon |
| 22 | | Black-Eyed Susan | <i>Rudbeckia hirta</i> | 1 Gallon |

Landscape Notes: Install 4" metal edging between all planter bed and sod areas. In all planter bed areas, install 4" deep 2"-3" dia. Neptis Rock & Gravel color "Southwest" or equiv. decorative rock over weed barrier, top.

SITE LANDSCAPING = 14,939 SF.
 INTERIOR PARKING LOT LANDSCAPE = 788 SF.



SALT LAKE CITY
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 Phone: 801.547.1100

TOOELE
 Phone: 435.843.3590

CEDAR CITY
 Phone: 435.865.1453

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FOR:
 HOLIDAY OIL
 3115 WEST 2100 SOUTH
 WEST VALLEY CITY, UTAH
 CONTACT:
 SCOTT WAGSTAFF
 PHONE: 801.631.0434

GENEVA ROAD
HOLIDAY OIL
 725 NORTH GENEVA ROAD
 LINDON CITY, UTAH

SITE PLAN SUBMITTAL

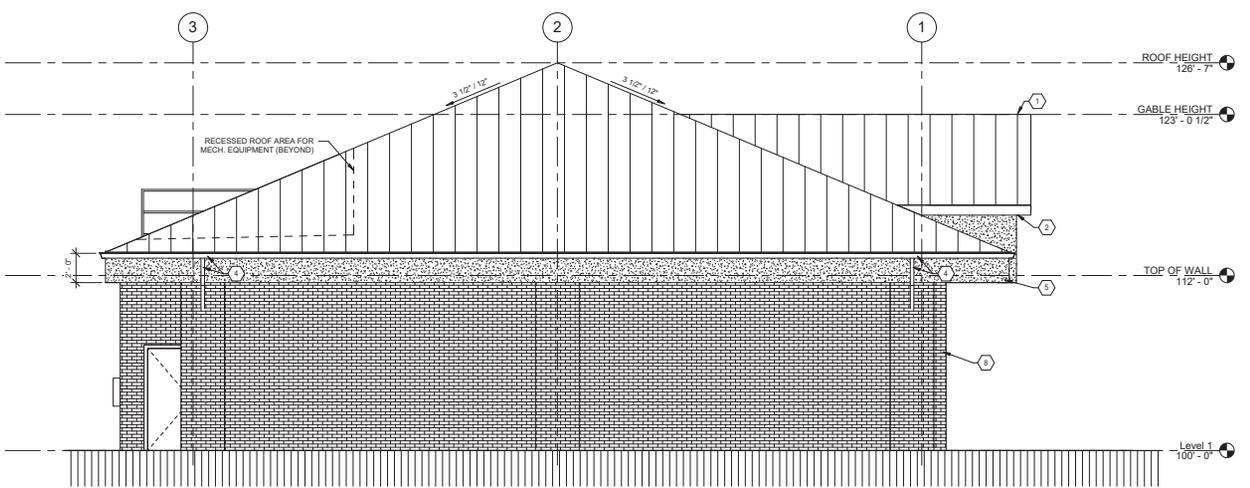
LANDSCAPE PLAN

PROJECT NUMBER: 1959
 DRAWN BY: J. Steed
 PROJECT MANAGER: C. Dunson
 PERRY SHELL
 CHECKED BY: B. Page

L1.0



1 FRONT ELEVATION
SCALE: 1/4" = 1'-0"



2 LEFT ELEVATION
SCALE: 1/4" = 1'-0"

- KEYED NOTES**
- 1 METAL STANDING SEAM ROOF (SCARLET RED).
 - 2 ALUMINUM FASCIA.
 - 3 SNOW CLIPS FRONT ONLY.
 - 4 RAIN GUTTER w/ DRAIN SPOUT INSIDE COLUMN.
 - 5 SYN. STUCCO ICBO #4327 OVER (2) LAYERS OF 30 MINUTE PAPER (HAVANA/CREAM).
 - 6 ALUMINUM FRAME STORE FRONT WINDOWS. SPANDREL GLASS ON LOWER PANES.
 - 7 EMERGENCY SHUT OFF.
 - 8 BRICK 'MT. RED'.
 - 9 RECESSED EIFS SIGN PANEL.
 - 10 MAN DOOR.
 - 11 12" TURTLE VENTS (20) REQUIRED.
 - 12 BOLLARD @ GAS METER. LOCATION TBD.
 - 13 BRICK SOLDIER COURSE ABOVE WINDOWS.

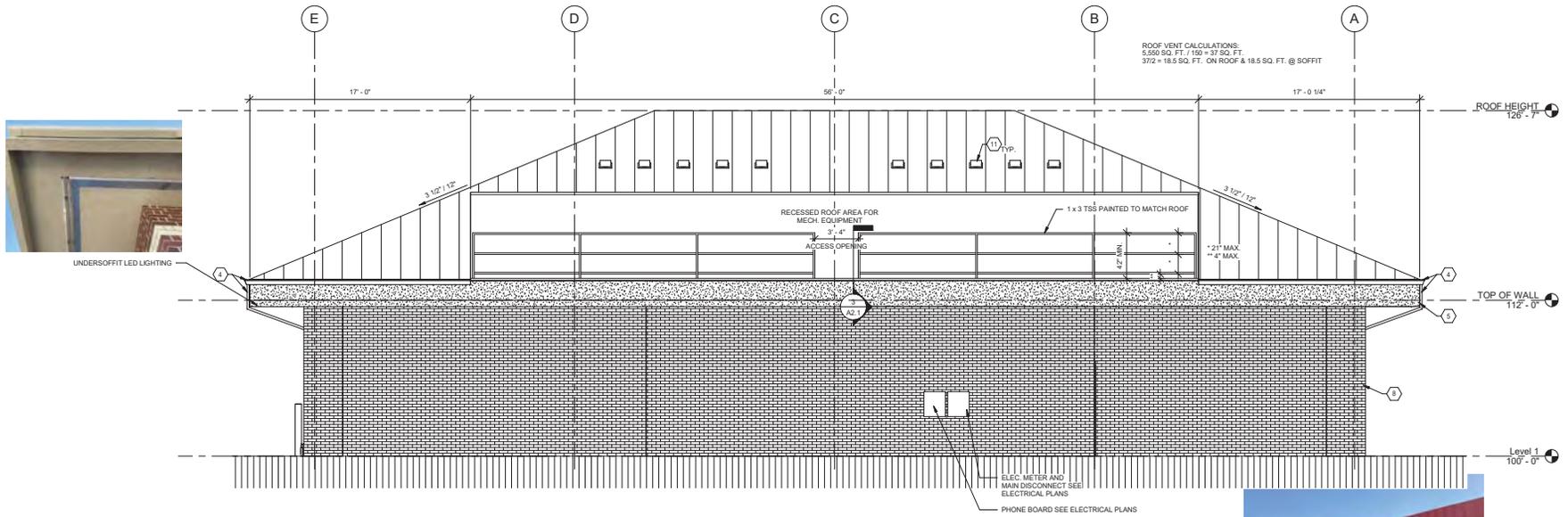


SIGNAGE SHALL HAVE A WHITE 2" LETTER ON A RED BACKGROUND AND SHALL BE INSTALLED ADJACENT TO THE EMERGENCY FUEL SHUT OFF SWITCH.

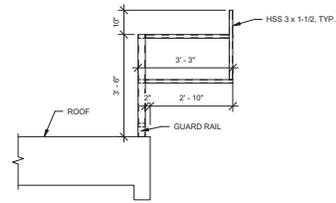
3 EMERGENCY SHUT OFF SIGN
SCALE: 3/4" = 1'-0"



ROOF VENT CALCULATIONS:
5,550 SQ. FT. / 150 = 37 SQ. FT.
37/2 = 18.5 SQ. FT. ON ROOF & 18.5 SQ. FT. @ SOFFIT



1 BACK ELEVATION
SCALE: 1/4" = 1'-0"

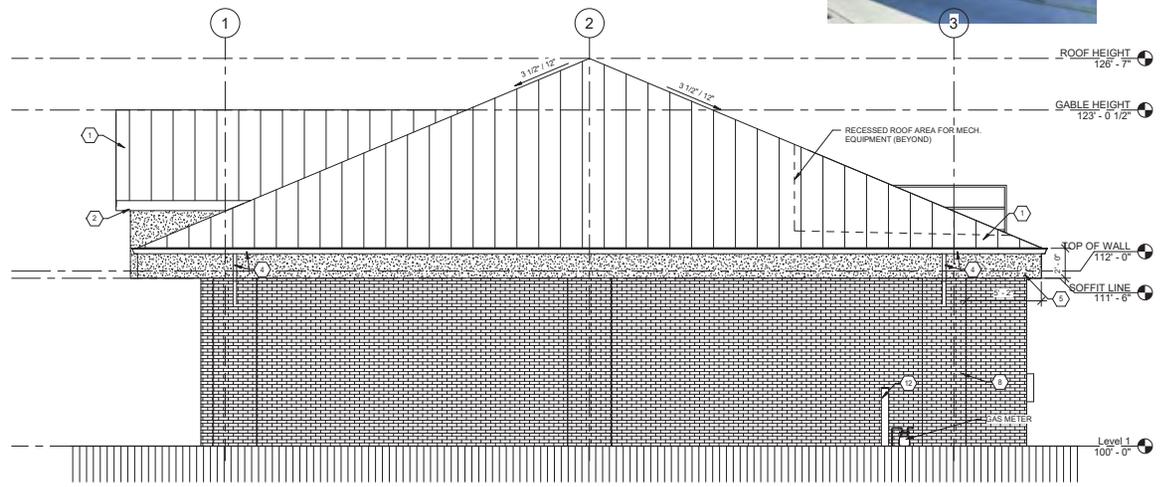


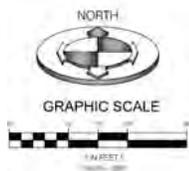
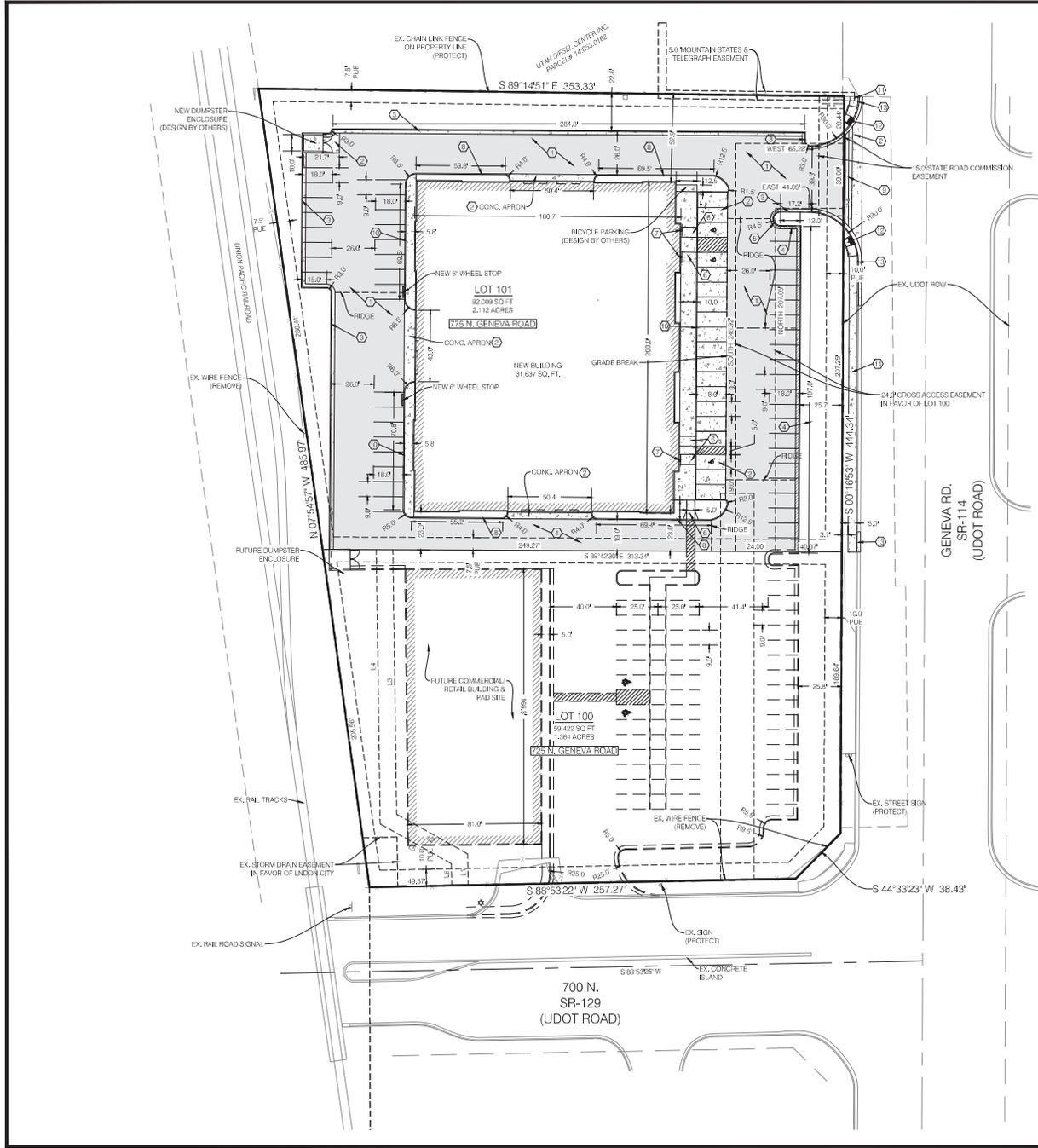
3 LADDER SUPPORT ARM
SCALE: 1/2" = 1'-0"

KEYED NOTES

- 1 METAL STANDING SEAM ROOF (SCARLET RED).
- 2 ALUMINUM FASCIA.
- 3 SNOW CLIPS FRONT ONLY.
- 4 RAIN GUTTER w/ DRAIN SPOUT INSIDE COLUMN.
- 5 SYN. STUCCO ICBO #4327 OVER (2) LAYERS OF 30 MINUTE PAPER (HAWAIIAN CREAM).
- 6 ALUMINUM FRAME STORE FRONT WINDOWS. SPANDREL GLASS ON LOWER PANES.
- 7 EMERGENCY SHUT OFF.
- 8 BRICK, MT. RED.
- 9 RECESSED EIFS SIGN PANEL.
- 10 MAN DOOR.
- 11 12" TURTLE VENTS (20) REQUIRED.
- 12 BOLLARD @ GAS METER. LOCATION TBD.
- 13 BRICK SOLDIER COURSE ABOVE WINDOWS.

2 RIGHT ELEVATION
SCALE: 1/4" = 1'-0"





CONSTRUCTION KEY NOTE REFERENCE

| NO. | DESCRIPTION | DETAIL |
|-----|--|----------|
| 1 | ASPHALT PAVEMENT WITH GRANULAR BASE | 1/CDT.01 |
| 2 | CONCRETE PAVEMENT WITH GRANULAR BASE | 1/CDT.01 |
| 3 | CONCRETE CURB AND GUTTER PER LINCOLN CITY STD #4 | 2/CDT.01 |
| 4 | RELEASE CURB & GUTTER | 3/CDT.01 |
| 5 | TRANSITION CURB & GUTTER | 3/CDT.01 |
| 6 | ADA RAMP | 1/CDT.02 |
| 7 | ADA SIGN | 1/CDT.02 |
| 8 | CONCRETE CURB PER LINCOLN CITY STD #4 | 4/CDT.01 |
| 9 | CONCRETE WATERWAY PER APWA #211 | 4/CDT.01 |
| 10 | INTEGRAL SEWERWALK | 2/CDT.01 |
| 11 | SIDEWALK PER UDOT STD #FA 5 | 1/CDT.04 |
| 12 | PEDESTRIAN RAMP PER UDOT STD #FA 4 | 2/CDT.04 |
| 13 | TYPE 1A CURB & GUTTER PER UDOT STD #GW 2A | 4/CDT.04 |

LOT 101 BICYCLE PARKING COUNT

| REQUIRED PARKING SPACES | BICYCLE SPACES REQUIRED (8% REQ'D PARKING SPACES) | NO. OF BICYCLE SPACES PROVIDED |
|-------------------------|---|--------------------------------|
| 65 | 5 | 6 |

LOT 101 AREA TABLE

| PARTICULARS | S.F. | % |
|-------------|--------|------|
| BUILDING | 31,637 | 34.4 |
| HARDSCAPE | 41,586 | 45.2 |
| LANDSCAPE | 18,786 | 20.4 |
| TOTAL | 92,009 | 100 |

LOT 101 PARKING COUNT

| BUILDING S.F. | MIN. # OF STALLS REQUIRED (SEE NOTES) | NO. OF STALLS PROVIDED (INCL. ADA) | ADA |
|---------------|---------------------------------------|------------------------------------|-----|
| 31,267 | 65 | 66 | 3 |

NOTES:
 PER LINCOLN CITY CODE:
 1. WAREHOUSE: 1 SPACE PER 300 SQUARE FEET OF GROSS FLOOR AREA
 2. OFFICE: 1 SPACE PER 350 SQUARE FEET
 3. NEW BUILDING: 10% OFFICE & 90% WAREHOUSE

LOT 100 AREA TABLE

| PARTICULARS | S.F. | % |
|-------------|--------|------|
| BUILDING | 4,485 | 7.8 |
| HARDSCAPE | 39,498 | 69.5 |
| LANDSCAPE | 15,441 | 25.9 |
| TOTAL | 69,422 | 100 |

LOT 100 PARKING COUNT

| PARTICULARS | STANDARD | ADA |
|----------------|----------|-----|
| PARKING STALLS | 30 | 2 |
| TOTAL | 32 | |

NOTE:
 THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA).

NOTE:
 ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLING SYSTEM WITH A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING. UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.

NOTE:
 WATER METERS ARE TO BE LOCATED BEHIND BACK OF WALK OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE. NOT LOCATED BEHIND FENCED AREAS OR UNDER COVERED PARKING.

NOTE:
 LINCOLN STANDARD SPECIFICATIONS AND DRAWINGS APPLY TO CONSTRUCTION OF PUBLIC IMPROVEMENTS THAT WILL BE OWNED OR MAINTAINED BY LINCOLN CITY AND TAKE PRECEDENCE OVER OTHER STANDARDS.

NOTE:
 SLOPE ACROSS THE ACCESSIBLE PARKING STALLS & ACCESS ISLE SHALL NOT EXCEED A 1:48 (2.08%) SLOPE. THE MAX GRADE DIFFERENCE BETWEEN THE ASPHALT SURFACE, ACCESSIBLE RAMP, AND SIDEWALK SHALL NOT EXCEED 1/4 INCH VERTICAL OR 1/2 INCH WHEN BEVELED. THE ACCESSIBLE MEANS OF EGRESS INCLUDING THE DRIVEWAY PORTION SHALL NOT EXCEED A SLOPE OF 1:20 (5.0%) & A CROSS SLOPE OF 1:48 (2.08%). ALL EXTERIOR DOORWAY ACCESS REQUIRE AN EXTERIOR LANDING 60 INCHES IN LENGTH WITH A SLOPE NOT EXCEEDING A 1:48 (2.08%) SLOPE.

NOTE:
 SAWCUT WIDTH, LOCATIONS AND TIE-IN ELEVATIONS IN EXISTING HARDSCAPE ARE APPROXIMATE. CONTRACTOR TO FIELD VERIFY LOCATION AND EXTENT OF SANICUTTING PHICS TO CONSTRUCTION. NOTIFY CIVIL ENGINEER IF REVISIONS ARE REQUIRED. SEE NOTE 58 ON CON.01 FOR FURTHER DETAIL.

NOTE:
 LOT 100 IMPROVEMENTS SHOWN ARE ALL PROPOSED AND ARE SHOWN FOR INFORMATION ONLY. LOT 100 WILL SUBMIT FOR A SEPARATE SITE PLAN REVIEW FOR CITY APPROVAL.

FLOOR DRAIN NOTE:
 NO FLOOR DRAINS (OTHER THAN IN RESTROOMS) WILL BE PRESENT WITHIN THE BUILDING.

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BENCHMARK CIVIL

BLACKHURST BUSINESS PARK
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 LINDON CITY, UTAH

1906155

SITE PLAN

CSP.01
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