

Lindon City Planning Commission Staff Report



June 13, 2017

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, June 13, 2017**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **7:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. The agenda will consist of the following:

AGENDA

Invocation: By Invitation

Pledge of Allegiance: By Invitation

1. Call to Order

2. Approval of minutes

Planning Commission 05/23/2017

3. Public Comment

(25 minutes)

4. Continued Public Hearing — General Plan Amendment, ~725 North 2800 West

Mark Weldon, WICP West Orem #3 (3/4), LLC, requests a General Plan Land Use Map Amendment from Commercial to Mixed Commercial, on property (~north 5.5 acres) located at ~725 North 2800 West, and identified by Utah County Parcel ID #13:063:0085.

Recommendations will be forwarded to the City Council. (Pending Ordinance 2017-3-O).

(20 minutes)

5. Continued Public Hearing — Zone Map Amendment, ~725 North 2800 West

Mark Weldon, WICP West Orem #3 (3/4), LLC, requests approval of a Zone Map Amendment from General Commercial Auto (CG-A8) to Mixed Commercial (MC), on property (~north 5.5 acres) located at ~725 North 2800 West, and identified by Utah County Parcel ID #13:063:0085. Recommendations will be forwarded to the City Council. (Pending Ordinance 2017-4-O).

(30 minutes)

6. Major Subdivision — Parkview Towns at Anderson Farms Subdivision, ~300 North 1610 West

Ken Watson, on behalf of Ivory Development, LLC, seeks preliminary approval of a twenty-nine (29) lot townhome subdivision, including dedication of public streets, at approximately 300 North 1610 West, in the Anderson Farms Planned Development (AFPD) zone. Recommendations will be forwarded to the City Council for final approval.

(15 minutes)

7. Minor Subdivision — Washburn Industrial Subdivision, Plat A, 500 North Geneva Rd.

Jeremy Washburn requests preliminary approval of a one lot subdivision plat consisting of 2.8 acres (Utah County Parcel #14:064:0148), with road dedication on 500 North, in the Mixed Commercial zone.

(15 minutes)

8. Site Plan — Washburn Spec Building, 500 North Geneva Rd.

Jeremy Washburn requests approval of a 37,209 square foot office/warehouse building to be located at approximately 500 N. Geneva Rd., (Lot 1, Plat A, Washburn Industrial Subdivision), in the Mixed Commercial zone.

(15 minutes)

9. Architecture (Building Elevation) Review – Zyto, 1172 West 700 North

Tia Crow, Tom Stuart Construction, requests building elevation review and approval for an office building (3 story, 46,060 square feet), at 1172 West 700 North, in the Lindon Village Commercial (LVC) zone. The site plan was previously approved by the Planning Commission on January 13, 2015.

(15 minutes)

10. Concept Review — Utah County Chiropractic, 790 North 200 East

Shirl A. Stone requests concept review of a proposed chiropractic office with health and wellness services to be located at 790 North 200 East (identified by Utah County Parcel ID # 52:782:0001), in the R1-20 Residential Zone.



Scan or click here for link to download agenda & staff report materials.

Notice of Meeting

Lindon City Planning Commission



I 1. New Business from Commissioners

I2. Planning Director Report

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 hours notice.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindoncity.org websites.

Posted By: Hugh Van Wagenen

Date: June 9, 2017

Time: 12:00 p.m.

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Item I: Call to Order

June 13, 2017 Lindon City Planning Commission Meeting

Roll Call:

Sharon Call
Steve Johnson
Rob Kallas
Charlie Keller
Mike Marchbanks
Mike Vanchiere
Bob Wily

Item 2: Approval of Minutes

May 23, 2017 Planning Commission Minutes

Item 3: Public Comment

1 - Subject _____
Discussion

2 - Subject _____
Discussion

3 - Subject _____
Discussion

Item 4: Public Hearing — General Plan Map Amendment, Mountain Tech 3/4, ~725 North 2800 West

Applicant: Mark Weldon
Presenting Staff: Hugh Van Wagenen

General Plan: Commercial
Current Zone: General Commercial A8 (CG-A8)

Property Owner: WICP West Orem #3
Address: ~725 North 2800 West
Parcel ID: 13:063:0085
Area Size: ~5.5 acres requested change

Type of Decision: Legislative
Council Action Required: Yes

Related Item: File 17-014-3

SUMMARY OF KEY ITEMS

1. Whether to recommend approval of a request to change the General Plan designation of the subject property from Commercial to Mixed Commercial.

MOTION

I move to recommend (approval, denial, continue) Ordinance 2017-3-O with the following conditions (if any):

- 1.



OVERVIEW

This item was reviewed but not acted on in the May 9, 2017 Planning Commission meeting and continued again from the May 23, 2017 meeting. Located on the Lindon border with American Fork this property is currently surrounded by General Commercial property to the south and east and Mixed Commercial property to the north. The Mixed Commercial property to the north was rezoned in 2015 from General Commercial to Mixed Commercial in order to accommodate development of a flex office/warehouse project. Meeting minutes from the June 24, 2014 and

July 14, 2015 Planning Commission meetings were requested to understand and review why the property directly north of the subject property was reclassified as Mixed Commercial property. Those minutes can be accessed at www.lindoncity.org and have been provided to the Planning Commission.

The current development proposal would construct a flex office/warehouse as part of a corporate campus concept (see attachment #3) if the General Plan and zoning designations were approved. Flex office/warehouse typically serves businesses that require space in which light assembly, packaging, and shipping activities will occur. The conceptual layout shows this land as part of the larger Mountain Tech campus. Building 1 is operational (office) with building 2 (office) under construction. Building 3 would be the flex space that this application would allow to happen while Building 4 would be an additional office on the corner of 600 North (PG Boulevard) and 2800 West. A parking deck is also being envisioned on the site.

The applicant's proposed use for the flex building is not allowed in the CG zone, but it is in the MC zone. The applicant will request the appropriate zoning under the next item on the agenda. City Code requires that any zone change must be consistent with the City's General Plan Designation. The current General Plan designation is Commercial, so the General Plan map must first be modified for the rezone request to be possible. Accordingly, the applicant is requesting that the General Plan designation be changed to Mixed Commercial to permit the zone change and allow the desired uses.

FINDINGS OF FACT

1. The General Plan currently designates the property under the category of Commercial. This category includes retail and service oriented businesses, and shopping centers that serve community and regional needs.
2. The applicant requests that the General Plan designation of the property be changed to Mixed Commercial, which includes the uses in the General Commercial designation, as well as light industrial and research and business uses.

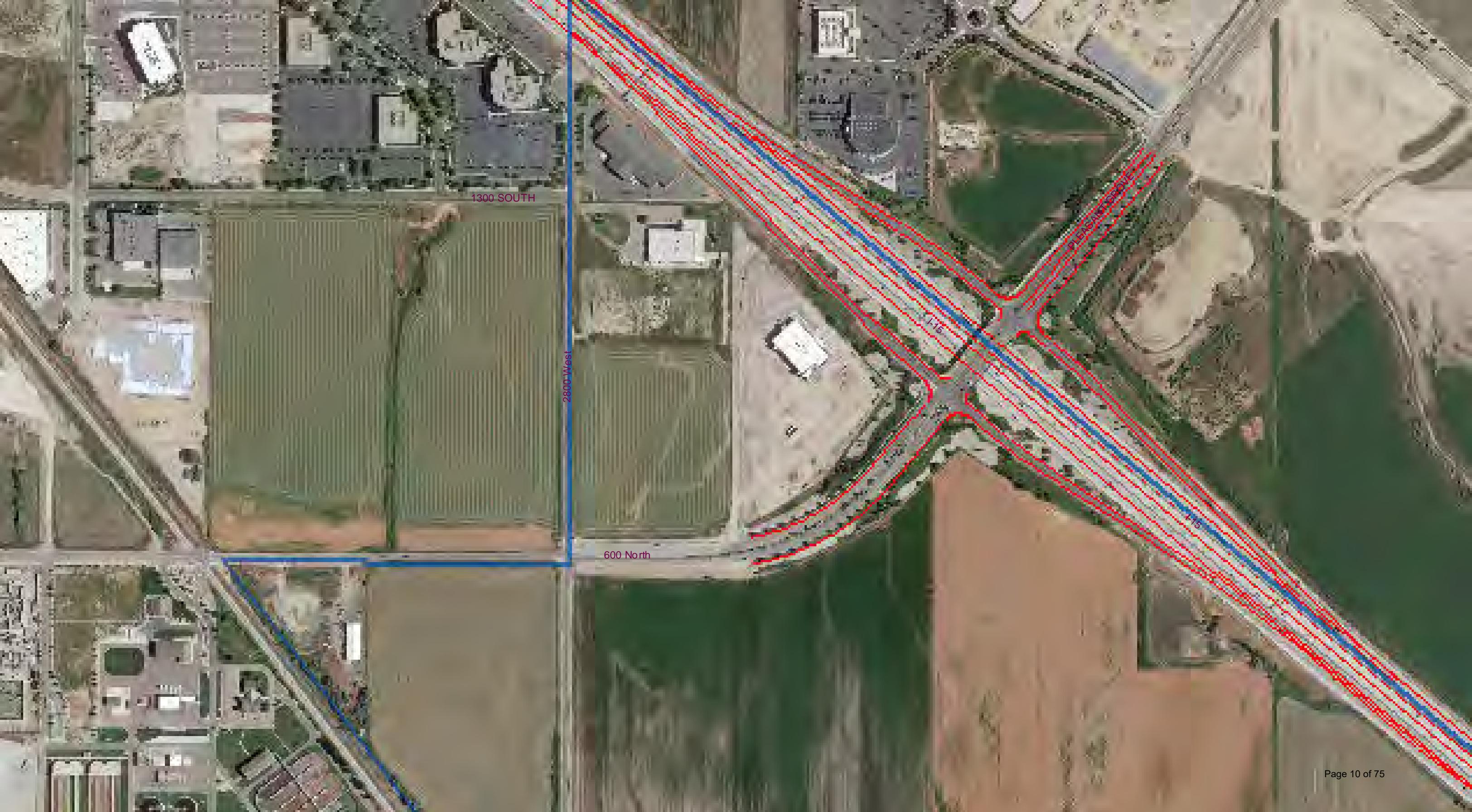
ANALYSIS

1. Relevant General Plan policies to consider in determining whether the requested change will be in the public interest:
 - a. It is the purpose of the commercial area to provide areas in appropriate locations where a combination of business, commercial, entertainment, and related activities may be established, maintained, and protected.
 - b. Commercial use areas should be located along major arterial streets for high visibility and traffic volumes.
 - c. The goal of commercial development is to encourage the establishment and development of basic retail and commercial stores which will satisfy the ordinary and special shopping needs of Lindon citizens, enhance the City's sales and property tax revenues, and provide the highest quality goods and services for area residents.
 - i. Objectives of this goal are to:

1. Expand the range of retail and commercial goods and services available within the community.
 2. Promote new office, retail, and commercial development along State Street and 700 North.
- d. Applicable city-wide land use guidelines:
- i. The relationship of planned land uses should reflect consideration of existing development, environmental conditions, service and transportation needs, and fiscal impacts.
 - ii. Transitions between different land uses and intensities should be made gradually with compatible uses, particularly where natural or man-made buffers are not available.
 - iii. Commercial and industrial uses should be highly accessible, and developed compatibly with the uses and character of surrounding districts.

ATTACHMENTS

1. Aerial photo of the proposed area to be re-classified
2. Current General Plan Land Use Map
3. Conceptual Site Plan
4. Photos of existing site
5. Draft Ordinance 2017-3-O



1300 SOUTH

2800 West

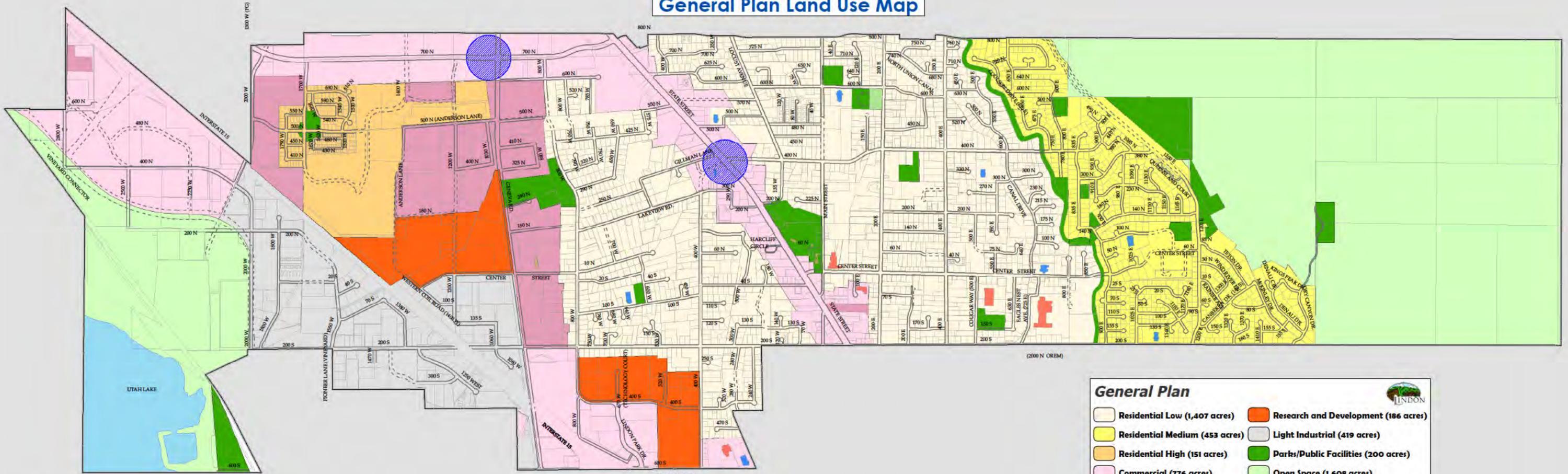
600 North

I-15

PLEASANT HARBOR BL

I-15

Lindon City General Plan Land Use Map



General Plan	
	Residential Low (1,407 acres)
	Residential Medium (453 acres)
	Residential High (151 acres)
	Commercial (776 acres)
	Mixed Commercial (312 acres)
	Research and Development (186 acres)
	Light Industrial (419 acres)
	Parks/Public Facilities (200 acres)
	Open Space (1,608 acres)
	Transit Node (33 acres)



Office & Warehouse



Office Building:
4 stories
Modern materials and open feel

Parking Structure
with Designed Facades, Building Connections and
Solar Panels and other renewal technologies

Existing Tech companies on Open Edge Campus, East
of Power Innovations



Warehouse & Office space:
Modern materials, R&D open feel,
Flexible Floor Plan

Office Building:
4 stories
Modern Materials, Transparency, Pedestrian Connection,
Timeless Beauty.





ORDINANCE NO. 2017-3-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING PORTIONS OF THE LINDON CITY GENERAL PLAN LAND USE MAP FROM COMMERCIAL TO MIXED COMMERCIAL AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Municipal Council of Lindon City finds it is necessary to amend portions of the Lindon City General Plan Land Use Map, specifically the property generally located at 725 North 2800 West, otherwise identified by a portion of Utah County Parcel #13:063:0085 (See map labeled as Exhibit A) from Commercial to Mixed Commercial, finding that approval of such would benefit the City; and

WHEREAS, the City finds it is necessary to amend the General Plan Land Use Map to accommodate a growing industry within the City; and

WHEREAS, the property in question is currently adjacent to Mixed Commercial property and associated uses; and

WHEREAS, the Planning Commission recommended adoption of revised provisions, and the revision of such provisions will assist in carrying out general plan goals related to the promotion of businesses and industry within the City, and said changes are compatible with land use guidelines as found in the General Plan; and

WHEREAS, a public hearing was held May 23, 2017 to receive public input and comment and no adverse comments were received; and

WHEREAS, the Council held a public hearing June 6, 2017 to consider the request; and

WHEREAS, the current General Plan Land Use Map should be amended to provide such provisions to the Municipal Code of Lindon City.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Lindon City, Utah County, State of Utah, the Lindon City General Plan Land Use Map is hereby amended and will read as follows:

SECTION I:

See Exhibit A showing parcel changing from Commercial to Mixed Commercial on the Lindon City General Plan Land Use Map.



SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

SECTION III: Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

SECTION IV: This ordinance shall take effect immediately upon its passage and posting as provide by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this _____ day of _____, 2017.

Jeff Acerson, Mayor

ATTEST:

Kathryn A. Moosman,
Lindon City Recorder

SEAL

Item 5: Public Hearing — Zone Map Amendment Mountain Tech 3/4, ~725 North 2800 West

Applicant: Mark Weldon
Presenting Staff: Hugh Van Wagenen

General Plan: Commercial
Current Zone: General Commercial A8
(CG-A8)

Property Owner: WICP West Orem #3
Address: ~725 North 2800 West
Parcel ID: 13:063:0085
Area Size: ~5.5 acres requested change

Type of Decision: Legislative
Council Action Required: Yes

Related Item: File 17-013-3

SUMMARY OF KEY ITEMS

1. Whether to recommend approval of a request to change the zoning map of the subject property from Commercial to Mixed Commercial.

MOTION

I move to recommend (approval, denial, continue) Ordinance 2017-4-O with the following conditions (if any):

- 1.



OVERVIEW

This item was reviewed but not acted on in the May 9, 2017 Planning Commission meeting and continued without review from the May 23, 2017 meeting. Located on the Lindon border with American Fork this property is currently surrounded by General Commercial property to the south and east and Mixed Commercial property to the north. The Mixed Commercial property to the north was rezoned in 2015 from General Commercial to Mixed Commercial in order to accommodate development of a flex office/warehouse project. Meeting minutes from the June 24, 2014 and July 14, 2015 Planning Commission meetings were requested to understand and review why the property directly north of the subject property was reclassified as Mixed

Commercial property. Those minutes can be accessed at www.lindoncity.org and have been provided to the Planning Commission.

The current development proposal would construct a flex office/warehouse if the General Plan and zoning designations were approved. Flex office/warehouse typically serves businesses that require space in which light assembly, packaging, and shipping activities will occur. The conceptual layout (see attachment #3) shows this land as part of the larger Mountain Tech campus. Building 1 is operational (office) with building 2 (office) under construction. Building 3 would be the flex space that this application would allow to happen while Building 4 would be an additional office on the corner of 600 North (PG Boulevard) and 2800 West. A parking deck is also being envisioned on the site.

The applicant's proposed use for the flex building is not allowed in the CG zone, but it is in the MC zone. Consequently, the applicant requests that the lot be rezoned to the MC zone, subject to approval of a supporting General Plan Map amendment.

FINDINGS OF FACT

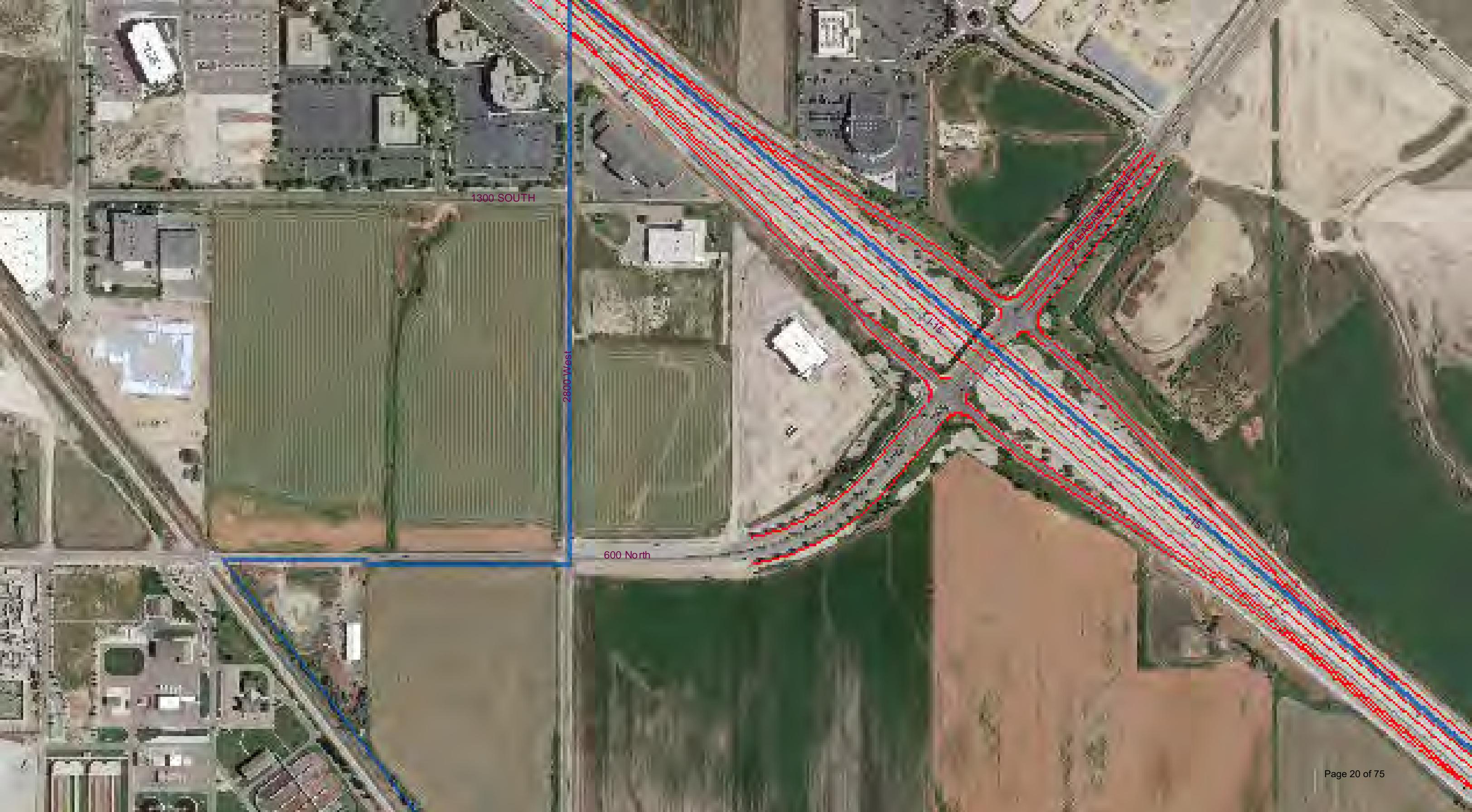
1. The current general plan designation does not permit the subject lots to be rezoned from CG to MC. This item is contingent upon the approval, by the City Council, of Item 7 involving the General Plan designation of the property.

ANALYSIS & CONCLUSIONS

- Subsection 17.04.090(2) of the Lindon City Code establishes the factors to review when considering a request for a zone change. The subsection states that the "planning commission shall recommend adoption of a proposed amendment only where the following findings are made:
 - The proposed amendment is in accord with the master plan of Lindon City;
 - Changed or changing conditions make the proposed amendment reasonably necessary to carry out the purposes of the division."
- The stated purpose of the General Commercial Zone is to "promote commercial and service uses for general community shopping." Further, the "objective in establishing commercial zones is to provide areas within the City where commercial and service uses may be located."
- The purpose of the Mixed Commercial Zone is to "provide areas in appropriate locations where low intensity light industrial (contained entirely within a building), research and development, professional and business services, retail and other commercial related uses not producing objectionable effects may be established, maintained, and protected.

ATTACHMENTS

1. Aerial photo of the proposed area to be rezoned
2. Current Zoning Map
3. Conceptual Site Plan
4. Draft Ordinance 2017-4-O



1300 SOUTH

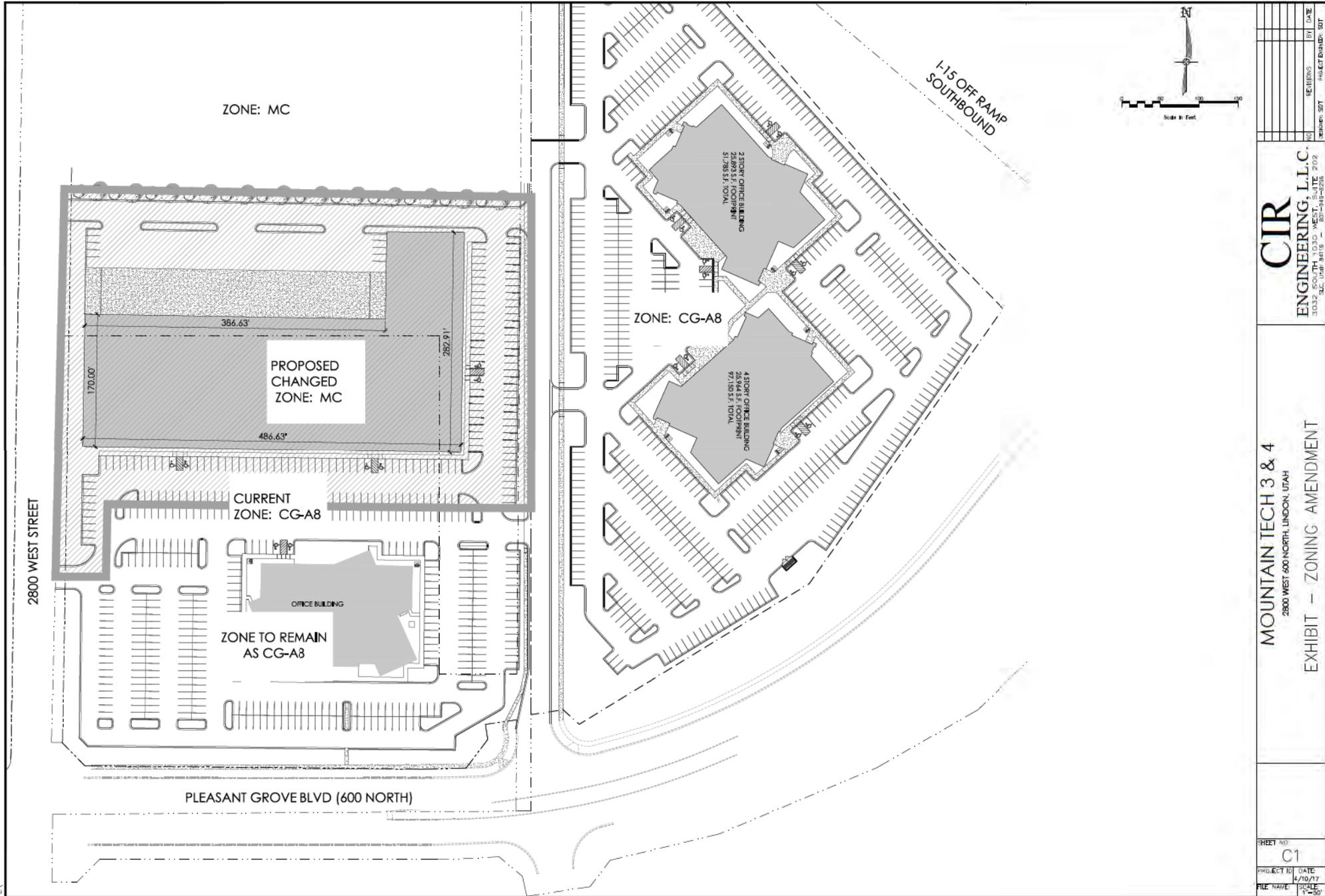
2800 West

600 North

I-15

PLEASANT HARBOR

I-15

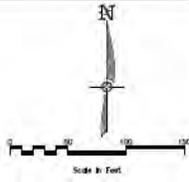


SHEET NO.	C1
PROJECT ID	DATE
FILE NAME	SCALE

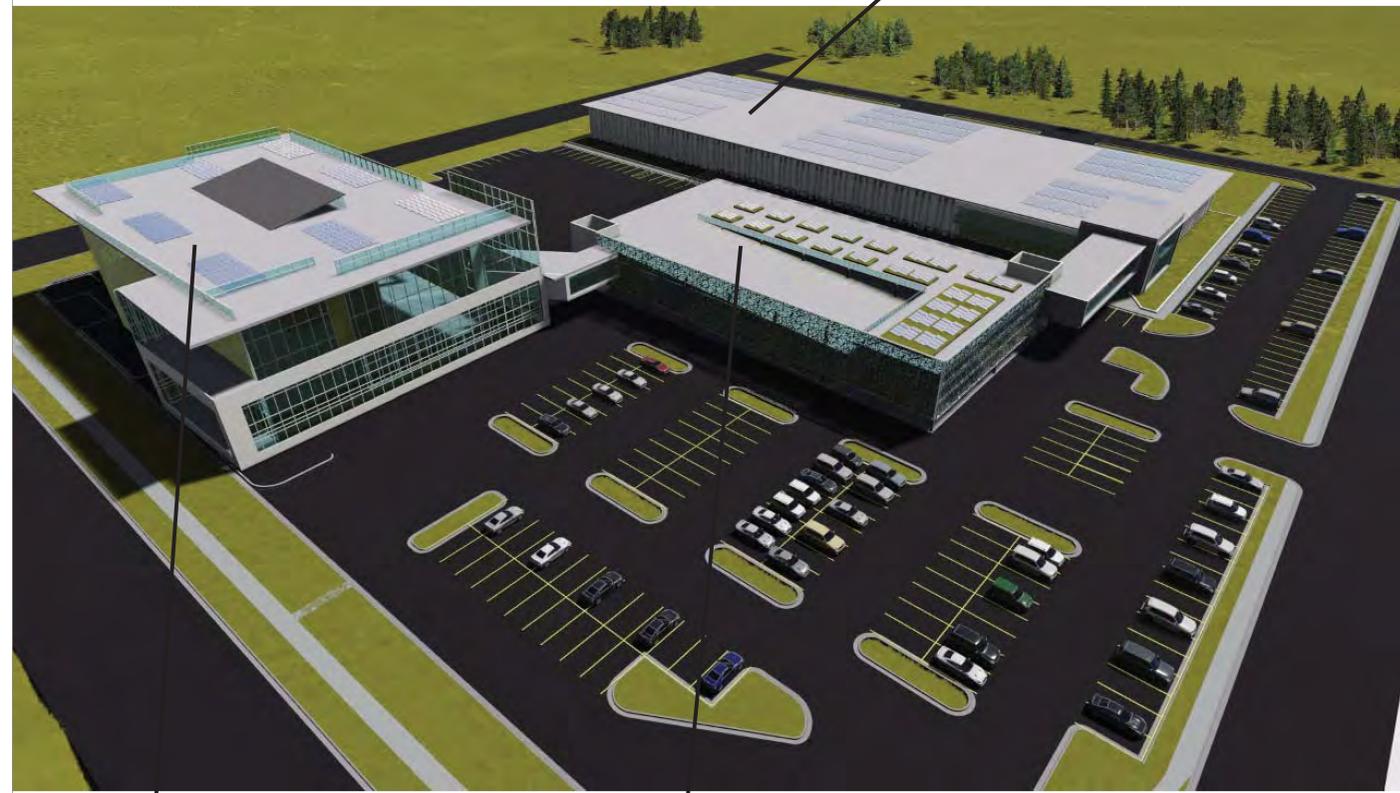
MOUNTAIN TECH 3 & 4
 2800 WEST 600 NORTH, LINDON, UTAH
 EXHIBIT – ZONING AMENDMENT

CIR
ENGINEERING I.L.L.C.
 3105 SOUTH MAIN STREET, SUITE 202
 SALT LAKE CITY, UTAH 84119
 TEL: 313-443-1234
 FAX: 313-443-1235
 WWW.CIR-UTAH.COM

DATE	BY	REVISIONS	PROJECT NUMBER



Office & Warehouse



Office Building:
4 stories
Modern materials and open feel

Parking Structure
with Designed Facades, Building Connections and
Solar Panels and other renewal technologies

Existing Tech companies on Open Edge Campus, East
of Power Innovations



Warehouse & Office space:
Modern materials, R&D open feel,
Flexible Floor Plan

Office Building:
4 stories
Modern Materials, Transparency, Pedestrian Connection,
Timeless Beauty.

ORDINANCE NO. 2017-4-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING PORTIONS OF THE LINDON CITY ZONING MAP FROM COMMERCIAL TO MIXED COMMERCIAL AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Municipal Council of Lindon City finds it is necessary to amend portions of the Lindon City Zoning Map, specifically the property generally located at 725 North 2800 West, otherwise identified by a portion of Utah County Parcel #13:063:0085 (See map labeled as Exhibit A) from General Commercial to Mixed Commercial, finding that approval of such would benefit the City; and

WHEREAS, the City finds it is necessary to amend the Zoning Map to accommodate a growing industry within the City; and

WHEREAS, the property in question is currently adjacent to Mixed Commercial property and associated uses; and

WHEREAS, the Planning Commission recommended adoption of revised provisions, and the revision of such provisions will assist in carrying out general plan goals related to the promotion of businesses and industry within the City, and said changes are compatible with land use guidelines as found in the General Plan; and

WHEREAS, a public hearing was held May 23, 2017 to receive public input and comment and no adverse comments were received; and

WHEREAS, the Council held a public hearing June 6, 2017 to consider the request; and

WHEREAS, the current Zoning Map should be amended to provide such provisions to the Municipal Code of Lindon City.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Lindon City, Utah County, State of Utah, the Lindon City Zoning Map is hereby amended and will read as follows:

SECTION I:

See Exhibit A showing parcel changing from Commercial to Mixed Commercial on the Lindon City Zoning Map.



Exhibit A

SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

SECTION III: Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

SECTION IV: This ordinance shall take effect immediately upon its passage and posting as provide by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this _____ day of _____, 2017.

 Jeff Acerson, Mayor

ATTEST:

 Kathryn A. Moosman,
 Lindon City Recorder

SEAL

Item 6: Major Subdivision — Parkview Towns at Anderson Farms approx. 300 North 1610 West

<p>Applicant: Ivory Development, LLC Presenting Staff: Hugh Van Wagenen</p> <p>General Plan: Residential High Current Zone: Anderson Farms Planned Development zone</p> <p>Property Owners: Ivory Development, LLC Address: ~300 North 1610 West Parcel IDs: portion of 14:063:0071 Subdivision Acreage: 2.9 acres</p> <p>Type of Decision: Administrative Council Action Required: Yes</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none"> Whether to recommend approval of a 29 lot residential townhome subdivision in the Anderson Farms Planned Development zone. <p><u>MOTION</u></p> <p>I move to recommend (<i>approval, denial, continuance</i>) of the applicant’s request for approval of a 29 lot residential townhome subdivision with the following conditions (if any):</p> <ol style="list-style-type: none"> Developer be responsible to pump groundwater collected by the land drain system until the groundwater pump station is operational. Off-site sewer, ground water, and pressure irrigation system pump station and off-site sewer force main and pressure irrigation line shall be constructed and functional before any homes can be occupied or culinary water service is provided to any homes.
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BACKGROUND

- This is the third phase of the Anderson Farms Planned Development which was approved by Development Agreement between Lindon City and Ivory Development, LLC in June of 2016. Parkview Towns consists of 29 townhome units in what is considered Parcel C of the Anderson Farms concept plan.

DISCUSSION & ANALYSIS

Development of Anderson Farms is governed by the Anderson Farms Master Development Agreement. All standards are referred to here are a part of that Agreement.

Lot Requirements

- The average lot size of the townhomes is 1,577 s.f. with the largest lot being 1,691 s.f. and the smallest being 1, 474 s.f. These lots are consistent with the concept plan for the townhomes.
- This is the first phase of the townhomes, which will eventually consist of 125 units.

Street Improvements

- New roads will be built to serve the subdivision, however they will be private roads and or drives. Please refer to the attached cross sections for details.

Utility Requirements

- This plat will require a combination sewer, ground water, and pressure irrigation system pump station with associated off-site lines to be built (they were also required for Plat A). Once built, this infrastructure will serve the remainder of the development. These systems will need to be operational before any certificates of occupancy are approved. Please see the motion above for recommended conditions of approval.

Other Requirements

- No park improvements are required at this time.

MOTION

1. See above

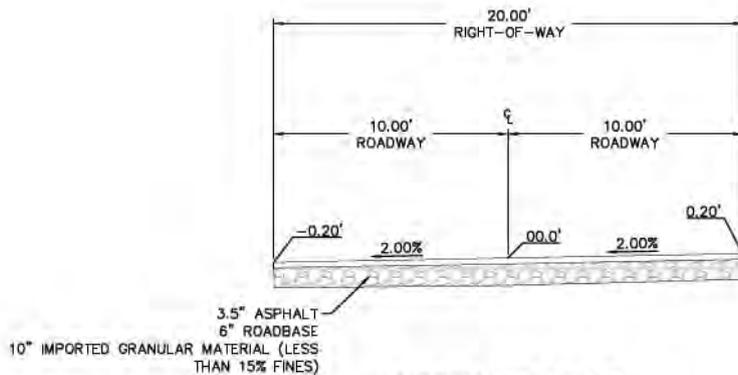
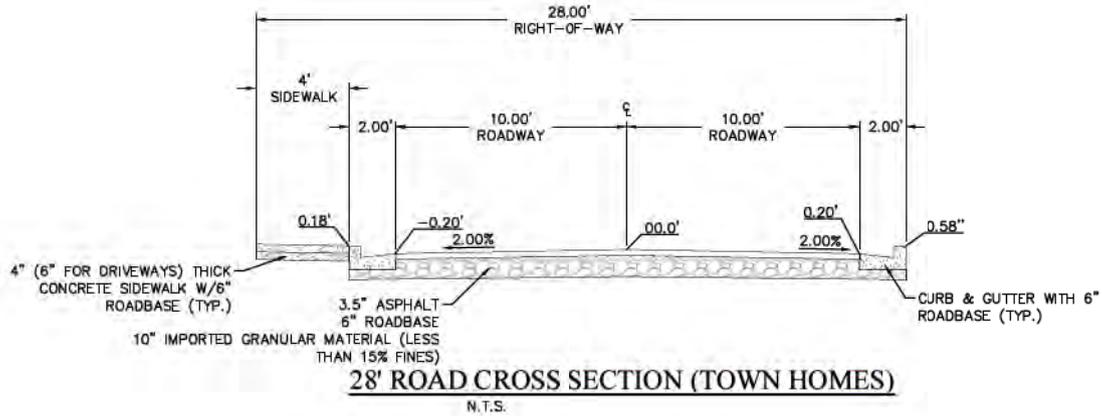
ATTACHMENTS

1. Aerial photo of the proposed subdivision.
2. Preliminary Parkview Towns at Anderson Farms Plat
3. Photo of existing site
4. Overall townhome concept (Parcel C)
5. Street cross sections
6. Off-site utility maps



Parkview Towns @ Anderson Farms
29 Townhomes on 2.9 acres
~300 North 1610 West





20' PRIVATE DRIVE

N.T.S.



LEI
 A Utah Corporation
ENGINEERS SURVEYORS PLANNERS
 3302 N. Main Street
 Spanish Fork, UT 84660
 Phone: 801.798.0855
 Fax: 801.798.2993
 office@lei-eng.com
 www.lei-eng.com

ANDERSON FARMS - PLAT "A" PRELIMINARY PLAN
 LINDON, UTAH
 OFFSITE SEWER PLAN

LEGEND

- EX. 8" PRESSURE SEWER LINE
- 8" PRESSURE SEWER LINE
- 10" PRESSURE SEWER LINE
- EX. 18" GRAVITY SEWER LINE
- EX. GRAVITY SEWER LINE
- PROPOSED GRAVITY SEWER LINE (SIZE TO BE DETERMINED)

REVISIONS	
1.	
2.	
3.	
4.	
5.	

IVORY HOMES
 3340 NORTH CENTER STREET
 LINDON, UT, 84043
 (801) 497-9800

LEI PROJECT #
 2013-1845
 DRAWN BY:
 BLS
 CHECKED BY:
 GDM
 SCALE:
 1" = 300'
 DATE:
 6/3/2016

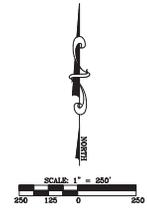
SHEET
7

U:\LAND DESKTOP PROJECTS\13-HAS ANDERSON FARMS\DWG\13-HAS OFFSITE S-100-100-ARISEL.DWG 6/3/2016 8:47 AM



ENGINEERS
SURVEYORS
PLANNERS

3302 N. Main Street
Spanish Fork, UT 84660
Phone: 801.798.0855
Fax: 801.798.9393
office@lei-eng.com
www.lei-eng.com



LEGEND	
	4" PROPOSED PI LINE
	6" EXISTING PI LINE
	6" PROPOSED PI LINE
	8" PROPOSED PI LINE
	10" PROPOSED PI LINE

- NOTES**
1. VALVES ARE NOT SHOWN ON THIS PLAN FOR CLARITY PURPOSES. AS PRELIMINARY PLANS ARE COMPLETED, VALVES, AND OTHER REQUIRED INFRASTRUCTURE WILL BE SHOWN ACCORDING TO LINDON CITY STANDARDS.
 2. EXISTING IRRIGATION WELLS TO BE ABANDONED PER DEVELOPMENT FRASING.
 3. OFFSITE PI CONNECTION TO BE COMPLETED ACCORDING TO SCHEDULE WITHIN MASTER DEVELOPMENT AGREEMENT.

ANDERSON FARMS - PLAT "A" PRELIMINARY PLAN
LINDON, UTAH
OFFSITE PRESSURE IRRIGATION PLAN

REVISIONS	
1.	
2.	
3.	
4.	
5.	

LEI PROJECT #
2013-1845
DRAWN BY:
BLS
CHECKED BY:
GDM
SCALE:
1" = 200'
DATE:
6/3/2016

SHEET
8

Item 7: Minor Subdivision — Washburn Industrial Plat A ~500 North Geneva Road

<p>Applicant: Jeremy Washburn Presenting Staff: Hugh Van Wagenen</p> <p>General Plan: Mixed Commercial Current Zone: Mixed Commercial (MC)</p> <p>Property Owner: Betty Washburn, Washburn Family Revocable Trust Address: ~500 North Geneva Road Parcel ID: 14:064:0148 Size: 2.8 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether to approve a one lot subdivision in the MC zone. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a one lot subdivision to be known as Washburn Industrial Plat A with the following conditions (if any):</p> <ol style="list-style-type: none">1. Ditch piping will not begin until appropriate permits are obtained from the Corp of Engineers.2. Any changes along Geneva Road required by UDOT will be incorporated into the improvements.
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BACKGROUND

1. This plat will leave a remainder parcel of approximately 10.9 acres. The remainder parcel is not included in the subdivision plat because it can be further subdivided.

DISCUSSION & ANALYSIS

Lot Requirements

- Minimum lot size in the MC zone is 1 acre (43,560 sq. ft.). The lot created by this subdivision will be 2.8 acres

Frontage Requirements

- Lot 1 is a corner lot and has well over the 100 feet of frontage required at 370 feet along Geneva Road and 383 feet on 500 North.

Public Improvements

- 500 North will be improved with asphalt widening, curb, gutter and a four foot sidewalk.
- The existing irrigation/storm drain ditch along Geneva Road will be piped.

Other Requirements

- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted.

MOTION

1. See above

ATTACHMENTS

1. Aerial photo of the proposed subdivision
2. Photo of site
3. Preliminary subdivision plan



Washburn Spec Building Site Plan
Washburn Industrial Subdivision Plat A
~500 North Geneva Road
2.8 acres



Item 8: Site Plan — Washburn Spec Building I ~500 North Geneva Road

<p>Applicant: Jeremy Washburn Presenting Staff: Hugh Van Wagenen</p> <p>General Plan: Mixed Commercial Current Zone: Mixed Commercial (MC)</p> <p>Property Owner: Betty Washburn, Washburn Family Revocable Trust Address: ~600 North Geneva Road Parcel ID: Part of 14:064:0148 Lot Size: 2.8 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none"> Whether the request for site plan approval of 37,209 square foot office/warehouse in the MC zone. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant’s request for site plan approval with the following conditions (if any):</p> <ol style="list-style-type: none"> Washburn Industrial Plat A be recorded. Ditch piping will not begin until appropriate permits are obtained from the Corp of Engineers. Any changes along Geneva Road required by UDOT will be incorporated into the improvements.
--	---

BACKGROUND

- The applicant proposes to construct a 37,209 square feet of storage unit space with 1,438 s.f. for the office and 1,438 s.f. for the caretaker dwelling for a total of 86,026 s.f. on what will be Lot 1 of Washburn Storage Plat A.
- The lot is located in the Mixed Commercial zone.
- The area has historically been used as pasture.
- Road improvements, including asphalt widening, curb, gutter, and sidewalk installation along 600 North are being taken care of with the Washburn Storage Plat A subdivision.

DISCUSSION & ANALYSIS

Parking Standards

Requirements:

- General Office requires 1 space for every 350 square feet.
- Warehousing in the MC zone requires 1 space for every 500 square feet.
- Bike parking in the MC zone requires an 8% ratio to required vehicular stalls up to 16 bike stalls.

Provided:

- Total provided vehicle spaces is **80** which meets what is required for a 37,209 s.f. building with 6,000 s.f. of office and 31,209 s.f. of warehouse.
- Bike parking: **8** stalls are being provided at the west side of the building..

Landscaping Standards

Landscaped Strip Along Frontage

The required 20 foot landscape strip along 500 North and Geneva Road is being provided with the requisite trees every 30 feet on center. The landscape strip on Geneva Road will incorporate a detention basin and mountain bike single track. The trees along Geneva Road are existing. If for some reason

these trees are removed at UDOT's request, the plan will need to incorporate trees appropriately after working with City staff.

Interior Landscaping

Interior landscaping must be provided at 40 square feet per required stall with one tree per 10 stalls. With the proposed 80 stalls, that equates to 3,200 square feet and 8 trees required. There is 4,180 s.f. of landscaping and 8 trees provided.

Required Open Space

The MC zone requires a minimum of 15% open space on the site. This site requires 18,295 s.f. of open space and 21,072 s.f. is provided.

Building Perimeter Landscaping

The required 5 foot landscape strip around the perimeter of the buildings per MC zone standards is being provided except where loading docks are located.

Architectural Standards

For the MC zone the architectural design requirement states that concrete tilt-up buildings shall comply with the following standards:

- a. Painted or colored concrete exteriors are permitted. The shade of each color must be consistent.
- b. Bare concrete exteriors are not permitted.
- c. The exterior of a concrete tilt-up building shall be finished with additional architectural details such as entrance canopies, wrought iron railings and finishes, shutters, multi-level porches, metal shades, and metal awnings.

This is a concrete tilt-up building with specific colors called out in the elevations as Network Grey and Rock Bottom. All colors need to meet the color palette in the Design Guidelines (attachment six). Please see the attached elevations in attachment four. Entrance canopies, entrance pop outs, windows and tilt wall reveals provide architectural accents for the building.

The building is within the 48 foot height limit in the LI zone, the highest point of the parapet wall being about 34 feet.

Engineering Standards

There are some engineering issues that will need to be resolved before the plans are finalized and staff will ensure all requirements are met.

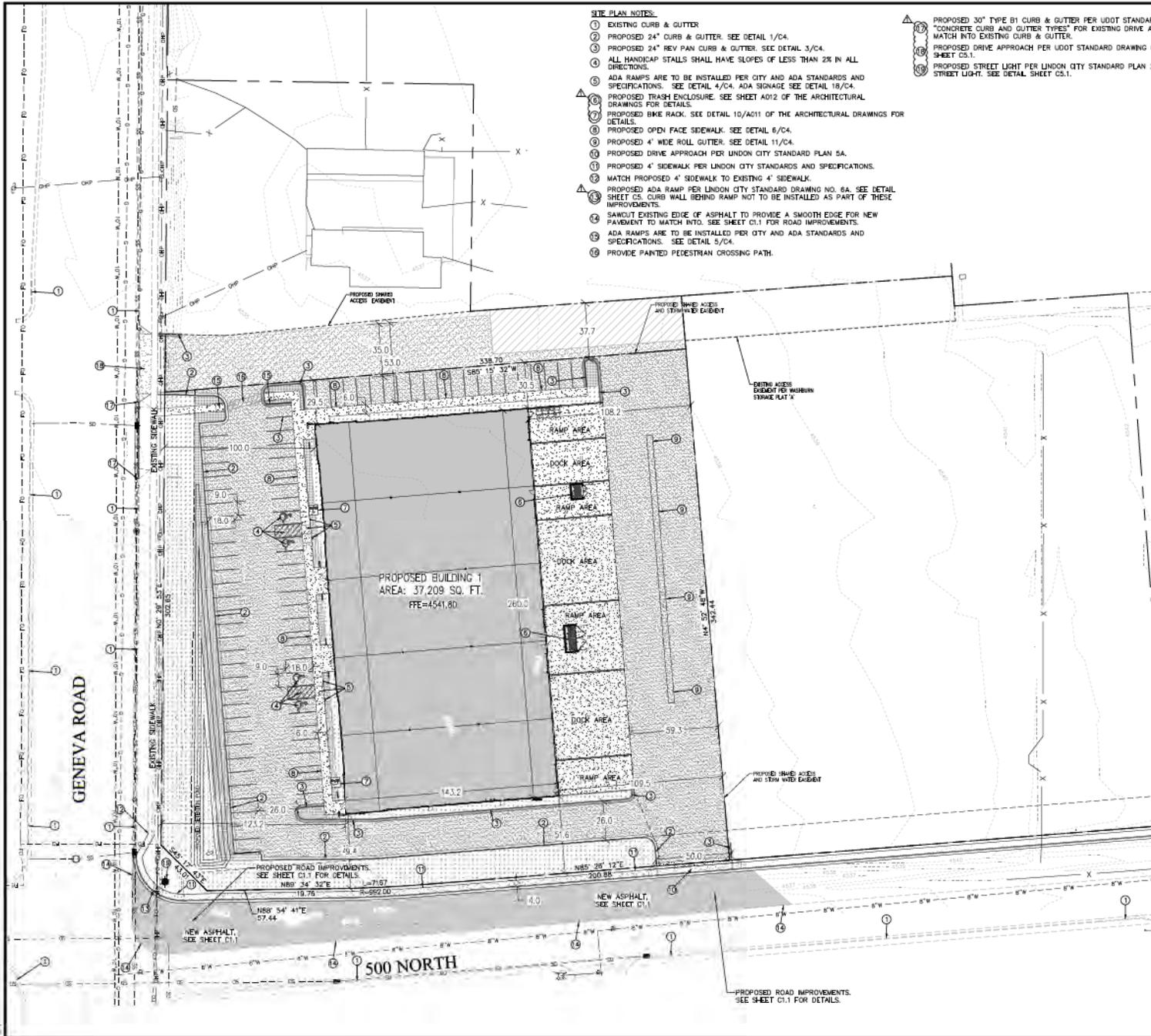
ATTACHMENTS

1. Aerial photo of the site and surrounding area.
2. Photograph of the existing site.
3. Site Plan
4. Landscaping Plan
5. Architectural Elevations
6. Color Palette



Washburn Spec Building Site Plan
Washburn Industrial Subdivision Plat A
~500 North Geneva Road
2.8 acres

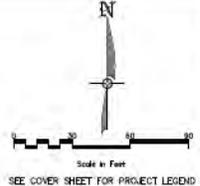




SITE PLAN NOTES:

- 1 EXISTING CURB & GUTTER
- 2 PROPOSED 24" CURB & GUTTER. SEE DETAIL 1/C4.
- 3 PROPOSED 24" WIDE PAN CURB & GUTTER. SEE DETAIL 3/C4.
- 4 ALL HANDICAP STALLS SHALL HAVE SLOPES OF LESS THAN 2% IN ALL DIRECTIONS.
- 5 ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 4/C4. ADA SIGNAGE SEE DETAIL 18/C4.
- 6 PROPOSED TRASH ENCLOSURE. SEE SHEET A012 OF THE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 7 PROPOSED BIKE RACK. SEE DETAIL 10/A011 OF THE ARCHITECTURAL DRAWINGS FOR DETAILS.
- 8 PROPOSED OPN FACE SIDEWALK. SEE DETAIL 6/C4.
- 9 PROPOSED 4" WIDE ROLL GUTTER. SEE DETAIL 11/C4.
- 10 PROPOSED DRIVE APPROACH PER LINDON CITY STANDARD PLAN 5A.
- 11 PROPOSED 4" SIDEWALK PER LINDON CITY STANDARDS AND SPECIFICATIONS.
- 12 MATCH PROPOSED 4" SIDEWALK TO EXISTING 4" SIDEWALK.
- 13 PROPOSED ADA RAMP PER LINDON CITY STANDARD DRAWING NO. 8A. SEE DETAIL SHEET CS. CURB WALL BEHIND RAMP NOT TO BE INSTALLED AS PART OF THESE IMPROVEMENTS.
- 14 SAWCUT EXISTING EDGE OF ASPHALT TO PROVIDE A SMOOTH EDGE FOR NEW PAVEMENT TO MATCH INTO. SEE SHEET C1.1 FOR ROAD IMPROVEMENTS.
- 15 ADA RAMPS ARE TO BE INSTALLED PER CITY AND ADA STANDARDS AND SPECIFICATIONS. SEE DETAIL 5/C4.
- 16 PROVIDE PAINTED PEDESTRIAN CROSSING PATH.

- 17 PROPOSED 30" TYPE BY CURB & GUTTER PER UDOT STANDARD DRAWING 092.
- 18 "CONCRETE CURB AND GUTTER TYPED" FOR EXISTING DRIVE APPROACH REPLACEMENT. MATCH INTO EXISTING CURB & GUTTER.
- 19 PROPOSED DRIVE APPROACH PER UDOT STANDARD DRAWING 094A. SEE DETAIL SHEET CS.1.
- 20 PROPOSED STREET LIGHT PER LINDON CITY STANDARD PLAN 23B. "ESPLANADE STREET LIGHT. SEE DETAIL SHEET CS.1.



LOT AREAS:

LOT	SQ. FT. LOTS	SQ. FT. LOTS
1	12,401.64 (0.28 ACRES)	12,401.64 (0.28 ACRES)
2	37,209.00 (0.85 ACRES)	37,209.00 (0.85 ACRES)
3	2,072.00 (0.05 ACRES)	2,072.00 (0.05 ACRES)
4	6,805.00 (0.16 ACRES)	6,805.00 (0.16 ACRES)
5	3,875.00 (0.09 ACRES)	3,875.00 (0.09 ACRES)
6	6,442.50 (0.15 ACRES)	6,442.50 (0.15 ACRES)
7	1,944.00 (0.04 ACRES)	1,944.00 (0.04 ACRES)

NOTE: 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION DRAWING.

PARKING REQUIREMENTS:

LOT	AREA SF	LOT AREA	REQUIREMENTS
001	4,800 SF	12,401.64 (0.28 ACRES)	10 (100%)
	8,000 SF	37,209.00 (0.85 ACRES)	10 (100%)
	8,000 SF	2,072.00 (0.05 ACRES)	10 (100%)
	8,000 SF	6,805.00 (0.16 ACRES)	10 (100%)
	8,000 SF	3,875.00 (0.09 ACRES)	10 (100%)
	8,000 SF	6,442.50 (0.15 ACRES)	10 (100%)
	8,000 SF	1,944.00 (0.04 ACRES)	10 (100%)

NOTE: 1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION DRAWING.

2. ALL TRUCK CONSTRUCTION TO COMPLY WITH LINDON CITY STANDARDS, BE LINDON CITY SIGNED DRAWING.

PARCEL IDENTIFICATION:

LOT NUMBER: 14-04-01-01
ADDRESS: 500 NORTH GENEVA ROAD LINDON CITY, UTAH

LANDSCAPING AREAS:

REQD PARKING LANE: 3,000 SF (0.07 ACRES) PER 400 SF PER 100 SF PER 100 SF PROVIDED

NOTE:

1. PARKING AREA DOES NOT INCLUDE TRUCK WAITING AREA OR LANSCAPED BUFFER AREA DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE TRUCK WAITING AREA, TRUCK CURB & GUTTER OR LANSCAPED AREAS OUTSIDE OF THE PARKING AREAS. SEE PLAN FOR SPECIFIC DIMENSIONS FOR LANDSCAPED AREAS.
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION DRAWING.

NO.	REVISIONS	BY	DATE

CIR ENGINEERING, L.L.C.
3052 S. WILSON BLVD. WEST JORDAN, UT 84088
TEL: 801.438.1111 FAX: 801.438.1112

WASHBURN SPEC BUILDING 1
GENEVA ROAD & 500 NORTH, LINDON, UTAH

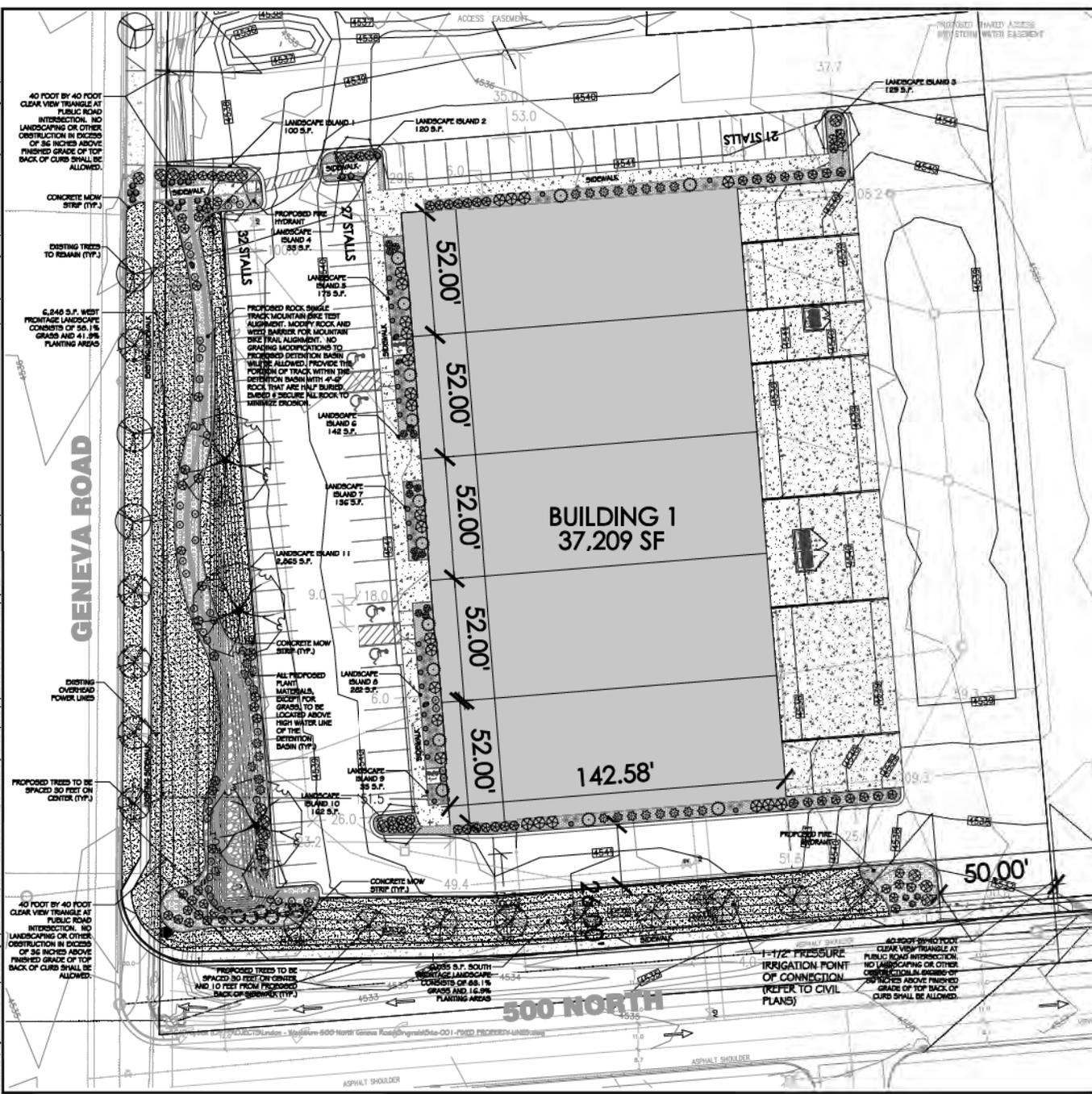
SITE PLAN



SHEET NO. **C1.0**
PROJECT NO. **A1065-01** DATE **04/03/17**
FILE NAME: **PS-1-IMP** SCALE: **1"=30'**



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PLANT SCHEDULE PROJECT SITE

TREES	BOTANICAL NAME / COMMON NAME	CONT.	CAL.	QTY.
	Koelha grandidentata / Dogwood Maple	B & D	2C/4	5
	Geukia tinctoria ssp. 'Shademaster' TM / Shademaster Loast	B & D	2C/4	3
	Pinus caleyana 'Chandler' / Chandler Pine	D & D	2C/4	14
	Berberis thunbergii 'Dagadee' / Dagadee Red Barberry	2 gal		24
	Calamagrostis canadensis 'Laf Forester' / Feather Reed Grass	2 gal		49
	Elymus alatum 'Compact' / Compact Burning Bush	5 gal		24
	Hemerocallis x 'Pardon Me' / Pardon Me Daylily	1 gal		15
	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal		20
	Juncus horizontalis / Creeping Juniper	5 gal		14
	Juncus horizontalis 'Bar Harbor' / Bar Harbor Creeping Juniper	2 gal		14
	Muhlenbergia gracillima 'Gracillima' / Maiden Grass	2 gal		29
	Panicum horridum 'Little Bunny' / Little Bunny Fountain Grass	2 gal		58
	Rhus aromatica 'Adam Arden' / Adam Arden Sumac	5 gal		25
	Rhus aromatica 'Gro-Low' / Gro-Low Pagoda Sumac	5 gal		4

EXISTING TREES

EXISTING DECIDUOUS TREES OF VARIOUS SIZES AND SPECIES OFF PROPERTY AND WITHIN THE ROAD RIGHT-OF-WAY

MATERIALS / ROCK

	BLUE GRASS BLEND - REFER TO NOTES AND DETAILS SHEET	15,009 S.F.
	2" MINIMUM DEPTH OF 3/4" TO 1 1/2" OF COLORED CRUSHED ROCK (GRAYS, WHITES & BLACKS) OVER DOWNT 3" WEED BARRIER	4,044 S.F.
	2" MINIMUM DEPTH OF 1 1/2" TO 2 1/2" OF COLORED CRUSHED ROCK (GRAYS, WHITES & BLACKS) WITH 10% OF 2" MINUS (GRAYS, WHITES & BLACKS) OVER DOWNT 3" WEED BARRIER	4,306 S.F.
	2" MINIMUM DEPTH OF 4" TO 6" OF COLORED CRUSHED ROCK (GRAYS, WHITES & BLACKS) OVER DOWNT 3" WEED BARRIER	1,930 S.F.
	CONCRETE MOW STRIP - REFER TO SHEET L-2	
	6-12 OF LANDSCAPE BULDER	4 (RQ)

NOTES:

- SEE SHEET L-2 FOR LANDSCAPE NOTES AND DETAILS.
- LANDSCAPE MATERIAL SQUARE FOOTAGES INCLUDE AREAS WITHIN THE PUBLIC RIGHT-OF-WAY.
- DECIDUOUS TREES TO BE A MINIMUM OF 6 FEET IN HEIGHT AND 2" CALIPER MEASURED 4 FEET ABOVE GRADE WHEN PLANTED.
- CLEAR VIEW AREA AT STREET INTERSECTIONS IS TO BE MAINTAINED ALONG THE PROPERTY LINE AND ADJACENT FRONT FACE OF CURB OF DRIVEWAY.
- WRITTEN AUTHORIZATION FROM THE SUPERINTENDENT OF PARKS SHALL BE REQUIRED PRIOR TO PLANTING OR REMOVAL OF ANY TREE LOCATED ON PROPERTY OWNED AND MAINTAINED BY UNION CITY. THE WRITTEN AUTHORIZATION SHALL ADDRESS CONCERNS INCLUDING, BUT NOT LIMITED TO:
 - THE SPECIES, OPTIMUM PLANTING SEASON AND LOCATION OF EACH TREE.
 - THE IMPACT OF THE TREE ON PUBLIC AND PRIVATE UTILITY FACILITIES.
 - ANY SPECIAL CONDITIONS OR PROTECTIVE MEASURES DEEMED NECESSARY.
- ALL WORK DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT.
- CONTRACTOR TO REFER TO THE DOCUMENTS WHAT YOU SHOULD KNOW ABOUT TREES - UNION CITY TREE PLANTING GUIDE - THE VALUE OF TREES.
- ALL ROCK MULCH MATERIALS TO BE APPROVED BY OWNERS REPRESENTATIVE PRIOR TO DELIVERY.

WASHBURN SPEC BUILDING 1
LANDSCAPE PLAN
 510 NORTH GENEVA LONDON, UTAH 84042

Foresite
 Design Group, LLC

PROJECT PROFESSIONAL DOM

SHEET: **L-1**
 FILE NAME: SCALES: 1" = 30'
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1 3D VIEW
A200



2 3D VIEW
A200

aeurbia
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10075 SOUTH 4600 WEST SUITE 100, WEST VALLEY CITY, UT 84113
PHONE: 801.766.0456 - FAX: 801.578.6488
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REGISTERED ARCHITECT
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STATE OF UTAH

WASHBURN SPEC BUILDING 1
FEZZARI
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3 3D VIEW
A201

- EXTERIOR ELEVATION COLOR:**
- # PAINTED CONCRETE TILT UP PANEL, SW70/2 NETWORK GREY
 - # PAINTED CONCRETE TILT UP PANEL, SW70/2 ROCK BOTTOM
 - # GRAY GLASS WITH REFLECTIVE COATING
 - # GRAY SPANDREL GLASS TO MATCH COLOR AND JOCK OF STANDARD STOREFRONT SYSTEM GLASS
 - # JOCK OUT PANEL FOR FUTURE PAINT SIMILAR TO SURROUNDING PANEL
- GENERAL EXTERIOR FINISH NOTES:**
1. ALL EXTERIOR CONCRETE WALLS THAT REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
 2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
 3. SEE DETAILS ON A500 FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
 4. CALLK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
 5. REFER TO MECHANICAL COM-CHK FOR GLAZING STANDARDS.
 6. SPANDREL GLAZING TO MATCH EXTERIOR FINISH OF REGULAR GLAZING.

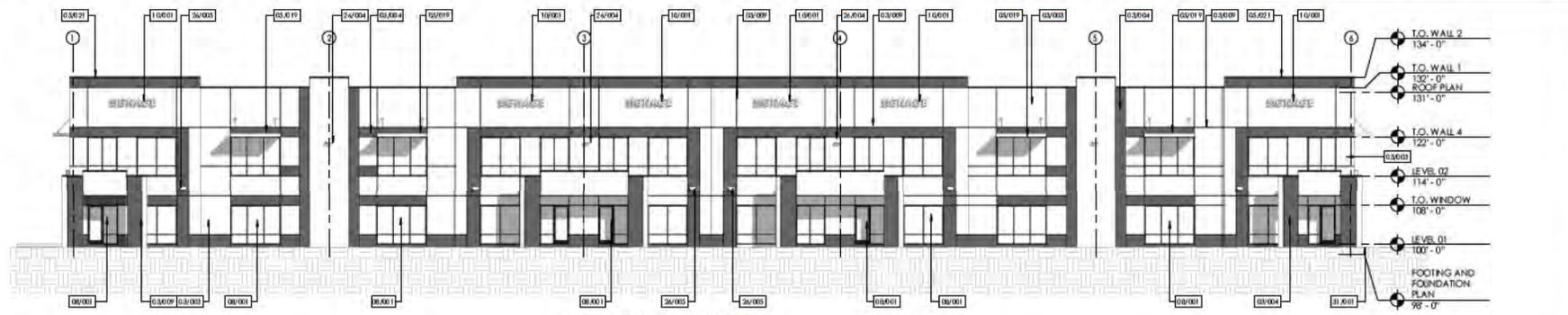
KEYNOTE LEGEND	
03/003	IF PAINTED CONCRETE TILT UP EXTERIOR WALL, LIGHT GREY COLOR
03/004	IF PAINTED CONCRETE TILT UP EXTERIOR WALL, DARK GREY COLOR
03/007	CONCRETE FOUNDATION WALL, SEE STRUCTURAL FOR SIZE AND REINFORCING
03/008	CONCRETE REINFORCING WALL, SEE STRUCTURAL FOR SIZE AND REINFORCING
03/009	TYPICAL IF CONCRETE REVEAL, SEE DETAILS
03/013	CONCRETE TILT UP PANEL, JOINT, CASI AND SEAL
03/019	POWDER COATED METAL CANOPY WITH CANOPY TRUCK BACK, PROVIDE SLOPE TO DRAIN
04/001	TOP METAL CAP FLASHING, PROVIDE SUBMITTAL FOR APPROVAL
04/001	STOREFRONT WINDOW/DOOR SYSTEM - PROVIDE SUBMITTAL FOR APPROVAL
04/002	HOLLOW METAL FRAME AND DOOR, SEE SCHEDULES
04/003	OVERHEAD VERTICAL LIFT DOCK DOOR, SEE DOOR SCHEDULES
04/004	OVERHEAD VERTICAL LIFT GRADE LEVEL DOOR, SEE DOOR SCHEDULES
11/001	BUILDING SIGNAGE, TO BE REVIEWED AND APPROVED WITH SEPARATE PERMIT (PROVIDE 2-BOX FOR FUTURE WIRE AND POWER)
24/001	ELECTRICAL SWITCHGEAR, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
24/004	EXTERIOR WALL FACILITY LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
24/005	EXTERIOR WALL UP/DOWN LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
31/001	EXTERIOR GROUNDING AND DRAINAGE, SEE CIVIL DRAWINGS
32/001	PIPE BOLLARD, SEE SHEET A104 FOR DETAILS AND FLAGGING

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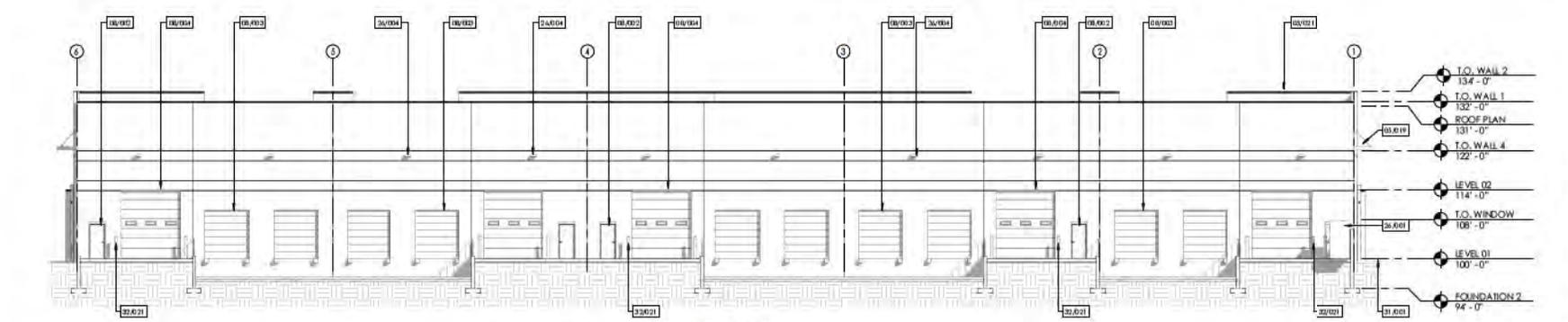
1075 SOUTH GENEVA ROAD SUITE 100
LONDON, UTAH 84301
PHONE: 401.726.6456 FAX: 801.978.6456
WWW.PAGE: 9 9 U R B I . C O M

DESIGNED AND APPROVED
174600
JAMES SCHWAB
STATE OF UTAH

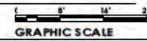
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2 BUILDING ELEVATION
3/32" = 1'-0"



1 BUILDING ELEVATION
3/32" = 1'-0"



WASHBURN SPEC BUILDING 1

FEZZARI

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AE2017.022

BUILDING ELEVATIONS

DATE: 6/01/2017

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3 3D VIEW
A202

- EXTERIOR ELEVATION COLOR:**
- PAINTED CONCRETE 1LT UP PANEL, SW702 NETWORK GREY
 - PAINTED CONCRETE 1LT UP PANEL, SW702 ROCK BOTTOM
 - HGRY GLASS WITH REFLECTIVE COATING
 - HGRY SPANDREL GLASS TO MATCH COLOR AND LOOK OF STANDARD STOREFRONT SYSTEM GLASS
 - WINDOW OUT PANEL, FOR FUTURE, PAINT SIMILAR TO SURROUNDING PANEL
- GENERAL EXTERIOR FINISH NOTES:**
1. ALL EXTERIOR CONCRETE WALLS SHAL REQUIRE PAINTING SHALL BE SACK AND PATCHED PRIOR TO PAINTING.
 2. REFER TO ELECTRICAL SHEETS FOR ALL EXTERIOR LIGHTING AND COORDINATE ALL NECESSARY POWER LOCATIONS APPROPRIATELY.
 3. SEE DETAILS ON ASD FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
 4. CALK AND SEAL ALL EXTERIOR JOINTS WITH APPROVED POLYURETHANE SEALANT.
 5. REFER TO MECHANICAL COM-CHECK FOR GLAZING STANDARDS, & STANDARD GLAZING TO MATCH EXTERIOR FINISH OF REGULAR GLAZING.

KEYNOTE LEGEND	
02/002	8" PAINTED CONCRETE 1LT UP EXTERIOR WALL LT. GREY COLOR
02/004	8" PAINTED CONCRETE 1LT UP EXTERIOR WALL DARK GREY COLOR
02/009	TYPICAL 2" CONCRETE REVEAL LINE, SEE DETAILS
02/019	POWDER COATED METAL CANOPY WITH CABLE TIEBACK, PROVIDE SLOPE TO DRAIN
02/021	TOP METAL CAP FINISHING, PROVIDE SUBMITAL FOR APPROVAL
02/023	DOOR CASIMER, SEE DETAILS ON SEE DETAILS
02/021	STOREFRONT WINDOW/DOOR SYSTEM - PROVIDE SUBMITAL FOR APPROVAL
02/022	HOLLOW METAL FRAME AND DOOR, SEE SCHEDULES
02/021	GASMIER, SEE MECHANICAL DRAWINGS FOR MORE INFORMATION
02/021	ELECTRICAL SWITCH GEAR, SEE ELECTRICAL DRAWINGS FOR MORE INFORMATION
02/024	EXTERIOR WALL PACK LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
02/025	EXTERIOR WALL UPDOWN LIGHT FIXTURE, SEE ELECTRICAL DRAWINGS
02/026	EXTERIOR GRABBAR AND DRAINAGE, SEE CIVIL DRAWINGS

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174660
JAMES SCHWAB
Professional Engineer
STATE OF UTAH

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WASHBURN SPEC BUILDING 1

FEZZARI

510 NORTH GENEVA ROAD LONDON, UTAH

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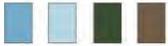
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IV. Utah Mountain Desert Color Palette



Utah Mountain Desert Color Palette

Primary Colors

Item 9: Architectural Review — ZYTO Technologies 1172 West 700 North

<p>Applicant: Tia Crow, Tom Stuart Construction Presenting Staff: Hugh Van Wagenen</p> <p>General Plan: Commercial Current Zone: Lindon Village Commercial</p> <p>Property Owners: Braceridge Partners LLC, et al Address: 1172 West 700 North Parcel ID: 53:539:0001 Lot Size: 2.3 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none"> Whether to approve changes to the architectural treatments of the ZYTO building as constructed versus what was approved. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for approval of architectural changes from the approved site plan elevations. (if any):</p> <ol style="list-style-type: none">
---	--

BACKGROUND

- The applicant received Planning Commission site plan approval to construct a 46,060 square foot office building on January 13, 2015.
- The Planning Commission approval included the presented building elevations including architectural treatments.
- Upon completion of the exterior of the building it became evident that the approved elevations were not followed.
- A temporary certificate of occupancy was issued April 24, 2017 after a cash bond was posted in the amount of \$44,495.20 to cover architectural treatments that had not been completed.

DISCUSSION & ANALYSIS

Architectural Standards

Building Materials

Discrepancies from the approved elevations and what was actually built are displayed in attachment 1 and include Granite Veneer columns on all sides of the building, aluminum awnings on the south and north elevations. Café seating on the west elevation was not constructed because tenant plans changes upon build out and no café was constructed.

Building Color

The paint color on the building is white. White is not an approved color in the Commercial Design Standards color palette. The color palette has been included as attachment 3 for your reference.

STAFF RECOMMENDATION

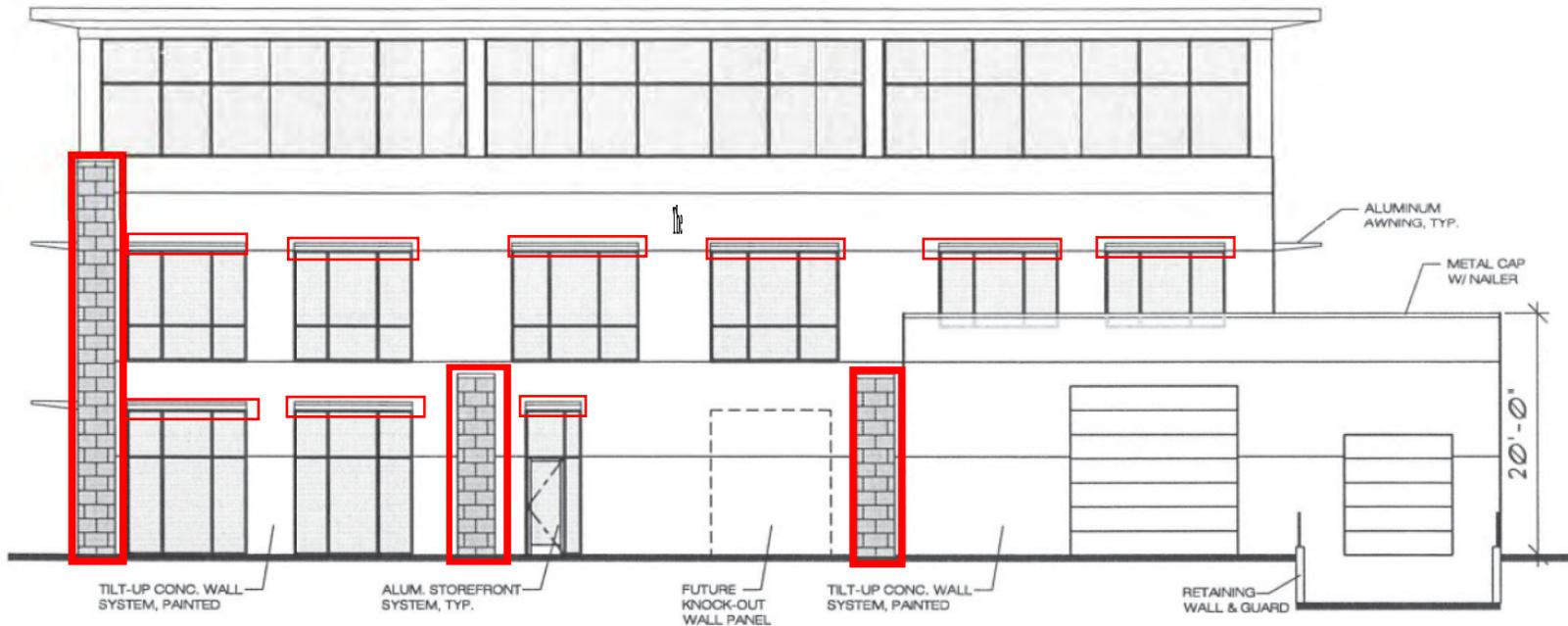
Other projects have been required to repaint buildings when they have not met original approvals and/or the color palette. Tom Stuart Construction was also the developer on the adjacent TAMS building and failed to comply with approved building elevations on that project. With regards to the ZYTO building, staff recommends Tom Stuart Construction follow through with what was presented and approved by the Planning Commission regarding site plan elevations.

ATTACHMENTS

1. Discrepancies to approved elevations
2. Constructed building photographs
3. Commercial Design Guidelines color palette

Items in red not complete.

OF
45'-4"
NC.
ANEL
33'-0"
LINE
30'-0"
OW
25'-2"
LINE
16'-0"
REFRONT
12'-0"
OR
08'-0"
LOOR LINE
00'-0"



NORTH ELEVATION



**SAMUEL
BRADY**
ARCHITECTS

200 E. South T
Suite 160
Salt Lake City,
(801) 595-1755
FAX: (801) 595

RETAINING WALL AND GUARDRAIL SYSTEM, PAINTED

TILT-UP CONC. WALL SYSTEM, PAINTED

ALUM. STOREFRONT SYSTEM, TYP.

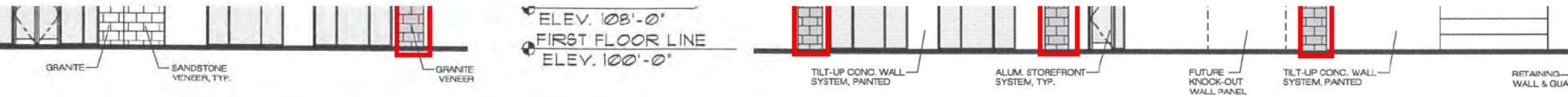
SANDSTONE VENEER, TYP.

WEST ELEVATION

Items in red not complete.



EAST ELEVATION



ELEV. 108'-0"
 FIRST FLOOR LINE
 ELEV. 100'-0"



NORTH ELEVATION

Items in red not complete.



WEST ELEVATION

Items in red not complete.



- T.O. ROOF ELEV. 145'
- T.O. CONCRETE WALL PANEL ELEV. 133'
- 3RD FL. L ELEV. 130'
- T.O. WINDOW ELEV. 125'
- 2ND FL. L ELEV. 116'
- T.O. STORE ELEV. 112'
- T.O. DOOR ELEV. 108'
- FIRST FLOOR ELEV. 100'

CORNER VIEW SOUTHWEST



WEST BUILDING ENTRY SOUTHWEST

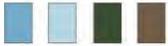








IV. Utah Mountain Desert Color Palette



Utah Mountain Desert Color Palette

Primary Colors



Primary Color	Swatch 1	Swatch 2	Swatch 3	Swatch 4	Swatch 5
Blue	Light Blue	Medium Blue	Dark Blue	Very Dark Blue	Black
Grey	Light Grey	Medium Grey	Dark Grey	Very Dark Grey	Black
Brown	Light Brown	Medium Brown	Dark Brown	Very Dark Brown	Black
Green	Light Green	Medium Green	Dark Green	Very Dark Green	Black
Yellow	Light Yellow	Medium Yellow	Dark Yellow	Very Dark Yellow	Black
Tan	Light Tan	Medium Tan	Dark Tan	Very Dark Tan	Black

Concept Review — Chiropractic (Stone) 790 N. 200 E.

<p>Applicant: Shirl A. Stone (Utah County Chiropractic) Presenting Staff: Brandon Snyder</p> <p>Type of Decision: None Council Action Required: No</p>	<p><u>SUMMARY OF KEY ITEMS</u></p> <ol style="list-style-type: none">1. This is a concept review to receive feedback from the Planning Commission and City Council regarding the applicant’s proposal. <p><u>MOTION</u> No motion necessary.</p>
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OVERVIEW

A Concept Review allows applicants to quickly receive Planning Commission and/or City Council feedback and comments on proposed projects. No formal approvals or motions are given, but general suggestions or recommendations are typically provided. Although not mandatory, a Concept Review is recommended for all large development projects.

The proposal is for property located at 790 North 200 East in the R1-20 Residential zone. The general plan designation for the property is Residential Low. The property is Lot 1, Plat A, of the STX2 Subdivision. The subdivision was approved on 10/20/1998 and recorded 09/03/1999 (refer to file 98-448-0). The property has most recently been used by Priddis Music for a music recording business. A Conditional Use Permit was approved by the Lindon City Planning Commission for Priddis Music on October 13, 1999 (refer to file 00-097-1). The Lindon City ordinances in effect at that time (October 1998), allowed Professional Offices (when harmonious with the general character of the district where located), in the residential zones by way of a conditional use permit. The staff report, minutes and site plan from 1999 are attached.

The applicant would like to utilize the property for a chiropractic office. Services offered would also include health and wellness classes. The applicant would like to hold classes weekly. Each class would possibly have 10-20 attendees and would be held in the evening beginning at 7 PM. It is unclear at this time if the applicant would utilize the existing residence as a dwelling unit or an office. The applicant will provide further comment regarding the proposal and options under which to consider it. Presently Lindon City Codes no longer allow professional offices in the residential zones. Business activities are regulated by Lindon City Code 17.04.400 Home Occupations (attached). The applicant and staff have discussed the concern that the proposal would not comply with the current home occupation regulations. Concerns include: number of employees, hours of operation, number of vehicular trips/traffic generated, and parking. Given the unique history of the parcel, the applicant would like feedback from Lindon City regarding other options to accommodate his proposal. The proposal would possibly require changes to Lindon City Code or designation of a new overlay zone.

The current Lindon City Standard Land Use Table does not specifically list chiropractic services. The most similar uses listed, are not permitted in residential zones (Massage Therapy/Personal Care Health Spa & Medical, Dental, and Health Clinic Services / small, outpatient type services). The standard land use table provides for the regulation and administration of land uses in the

various zones in the City. Section II of the Land Use Table describes the purpose and intent of the R1-20 as follows: R1-20 (Residential-Low). It is the purpose of this zone to provide areas of low density, residential neighborhoods of essentially spacious and un-crowded character to promote the benefits of open, rural atmosphere, and to provide for areas where larger animals are permitted.



(Present zoning)





The Lindon City General Plan indicates the following:

Community Vision

It is Lindon City’s community vision to provide for a strong, positive civic image and identity within a clean and attractive physical setting which seeks to preserve a high quality, open, rural living atmosphere which is also receptive to compatible services and amenities provided by some elements of urban living.

The Objectives of this Community Vision are to:

- 1. Recognize and promote Lindon as a dynamic Utah County community with a distinctive rural environment consistent with its traditional, family-oriented values...

- 5. Maintain the quality of existing and future neighborhoods and land use areas within the City through preservation of animal rights, community beautification, improved parks & trails, and other pursuits relating to provident living, recognizing all segments of our community (age, economic status, etc.).

Residential Land Uses include a range of residential classifications including low, medium, and high density. Density is expressed in dwelling units per acre (DU/AC) for single or multiple family dwellings. Zoning regulations may allow in residential areas a limited number of non-residential uses, such as places of worship, neighborhood parks, schools, etc. The goal of housing and residential areas in Lindon City is to provide a housing and living environment that supports and complements the unique rural quality and character of Lindon City. Objectives of this goal are as follows:

- 1. Maintain and enhance the pleasing appearance and environmental quality of existing residential neighborhoods by avoiding encroachment of land uses which would adversely impact residential areas (i.e. increased traffic, noise, visual disharmony, etc.) and by

providing adequate screening and buffering of any adjacent commercial or industrial development including parking and service areas.

These considerations yield three residential categories.

Residential-Low (2 or less DU/AC): It is the purpose of this category to provide areas of low density residential neighborhoods of essentially spacious and uncrowded character to promote the benefits of an open, rural atmosphere, and to provide for areas where large animals are permitted. Includes area typically zoned as R1-20.

Lindon City Codes:

17.44.010 Purposes and Objectives.

The Single Family Residential Zones (R1) are established to provide areas for the encouragement and promotion of an environment for family life by providing for the establishment of one (1) family detached dwellings on individual lots that are separate and sheltered from non-residential uses found to be inconsistent with traditional residential lifestyles customarily found within Lindon City's single-family neighborhoods.

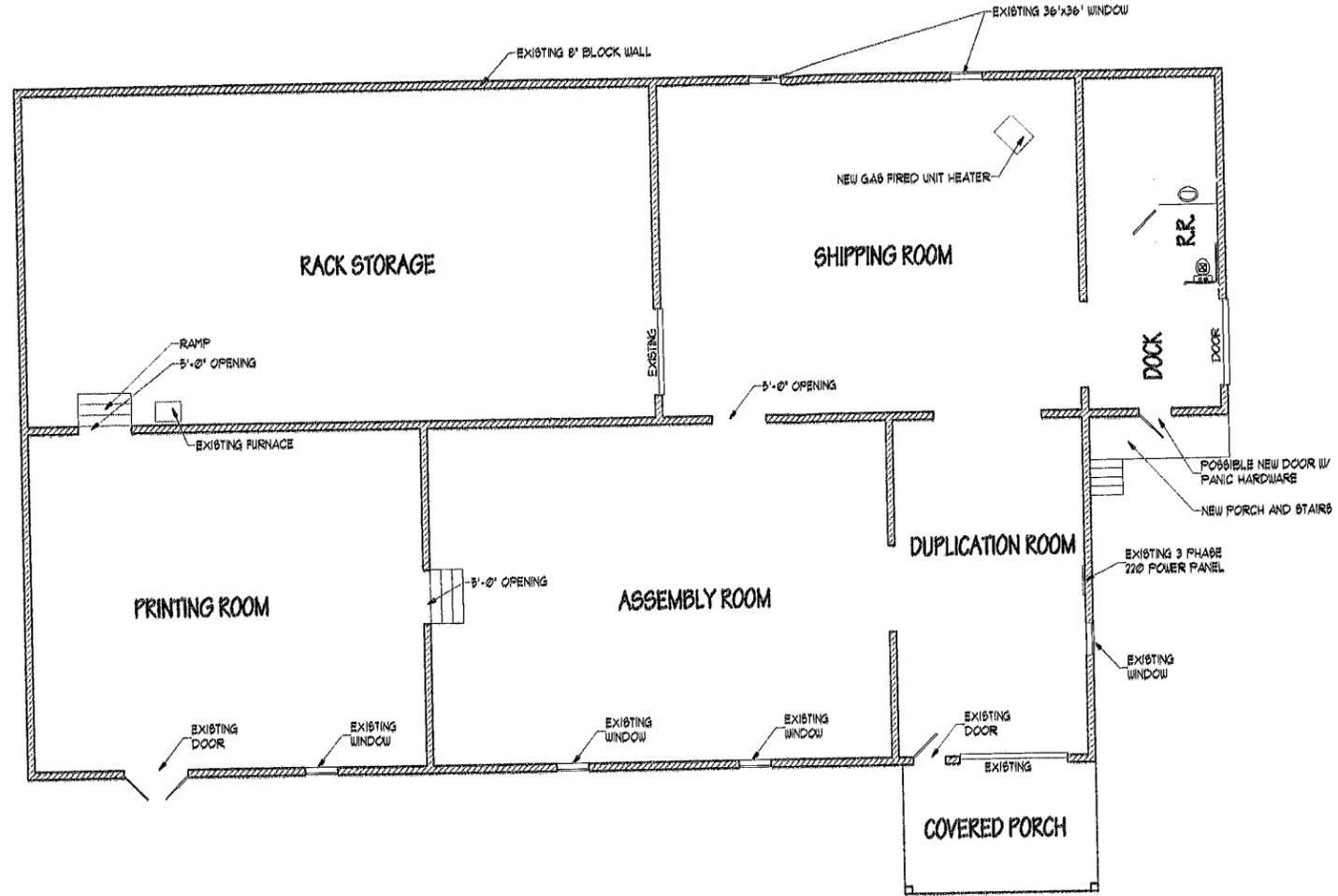
STAFF REVIEW

Discuss options, impacts, onsite parking, and residence

ATTACHMENTS

1. Priddis Music Site Plan
2. Priddis Music Staff Report and Minutes
3. Lindon City Codes (17.04.400 Home Occupations)

RECEIVED
 SEP 27 1999
 LINDON CITY
 COMMUNITY DEVELOPMENT



MAIN FLOOR PLAN
 SCALE: 1/4" = 1'-0"

project title	
REMODEL FOR RICK PRID	
PLANS PREPARED BY	
JAMES A. DAIN	
ARCHITECT	
382 EAST 400 NORTH 801-785-5650	LINDON, UT
DATE	SHEET NUMBER
SEPT. 1999	A2
REVISIONS	



Item 4 - Priddis Music 278 East 750 North Conditional Use Permit

APPLICANT: Rick Priddis
APPLICATION DATE: September 27, 1999
MASTER PLAN LAND USE DESIGNATION: Very Low Density Residential
ZONING DESIGNATION: R1-20

SUMMARY: This is a request for approval to operate a music recording business in an existing warehouse on a residential lot at the end of 200 E. 800 N.

BACKGROUND: The site in questions is currently owned by Terry Tomlinson and traditionally has been used as an apple warehouse for the orchards that used to be in the area. There is a small home on one side of the property that would be used as the office, and the warehouse will be used to manufacture and distribute product. They would provide off street parking for employees. Relatively few costumers visit the site. Staff is somewhat concerned that the warehouse part of the request conflicts with the residential ordinance. The ordinance provides for approval of professional offices when harmonious with the residential character of the neighborhood. Does the warehouse fit into this requirement? We have indicated to the applicant that he needs to notify all the neighbors around the project and include the Pleasant Grove side of the street.

MOTION: I move to (approve, deny, continue) the request by Rick Priddis for a conditional use permit to operate a music recording business on a residential lot with the following conditions (list if any):

- Lighting be compatible with neighborhood
- Existing warehouse
- sits below grade
- Has been made smaller then originally
- Bordered by Valley Center
- Light truck traffic one UPS + Delivery truck normally a week
- No outside storage

Motion by: Jim Peter

No. voting aye: 6

Second by: Marecia

No. voting nay: 0

Absent: 1

2 development. The Commission agreed a tour of the site would be most convenient November 1,
1999. The Commission discussed the noticing requirement. Since no business or decision is to be
4 made on the trip, noticing is not required.

6 4. Priddis Music - 278 East 750 North - Conditional Use Permit

8 This site in question is currently owned by Terry Tomlinson and traditionally has been
used as an apple warehouse for the orchards that used to be in the area. There is a small
10 home on one side of the property that would be used as the office, and the warehouse will
be used to manufacture and distribute products. They would provide off street parking for
12 employees. Relatively few customers visit the site. Staff is concerned that the warehouse
part of the request conflicts with the residential ordinance and the character of the
neighborhood. The ordinance provides for approval of professional offices when
14 harmonious with the residential character of the neighborhood.

16 Rick Priddis, of Priddis Music, addressed the Commission during a Public Comment
section of a previous Commission meeting. He is requesting approval to operate a music
18 recording business in an existing warehouse on a residential lot at the end of 200 E. 800 N. There
is a home and warehouse on the property currently. The home will be used as an office.

20 The ordinance was reviewed with the Commission by the Planning Director. A
professional office is allowed if it is harmonious with the neighborhood character. The warehouse
22 was originally used for fruit collection. Mr. Priddis and the owner, Mr. Tomlinson, have been
making renovations to the property.

24 The Commission asked about the nature of work to be preformed at the site. Mr. Priddis
explained that the warehouse would contract approximately twelve, mostly part time, employees
26 for tape assembly and CD production. The Commission inquired into necessary parking. The
property was reviewed and adequate parking is available.

28 The effect on the neighbors was questioned. The proposed business will not produce any
noise. Margie Luke, 1000 South 97 East, is an adjacent resident and acknowledged that the
30 business operations thus far have not been disruptive. She asked the Commission if the
conditional use permit would stay with the property even if the business moved. She was
32 apprehensive that another business may move into the same area and not be as neighbor-friendly
as Mr. Priddis' business will be. The Commission explained that the conditional use permit
34 must be reapplied for by the new occupants if Mr. Priddis' business moved if they are changing
the use. This is not a zone change, it only allows for this situation specifically. The Commission
36 noted the only reason this permit is being considered is because the building is already there. This
decision does not grandfather in any other pre-existing buildings in Lindon. The residents were
38 told that they may make complaints to the city if Mr. Priddis' business becomes disruptive.

The Commission wanted to know the extent of business operations planned for the site.
40 Mr. Priddis listed that the business will use one fork lift, be frequented daily by a UPS delivery
truck, and weekly by a delivery service truck. The Commission reminded Mr. Priddis that no
42 signs are permitted for the site. Mr. Priddis's business does not rely on retail sales, therefore the
sign restriction will not affect sales.

44 Mr. Priddis noted that improvements will be made to the interior and the exterior of the

2 warehouse. The adjacent residents present were supportive of the improvements already in
3 progress at the site. They did not want a fence installed between the homes and the business. The
4 Commission and the public agreed, such a fence would create less of a harmonious atmosphere in
5 the neighborhood.

6 The Commission wanted the reasons for the approving Mr. Priddis' permit clearly asserted
7 so not to create a precedence for other such requests: (1) the building is already existing (2) the
8 building is below the grade of the neighborhood (3) the building is being made smaller (4) there
9 will only be light truck traffic (5) the business will not create any noise (6) there will be no outside
10 storage.

11 After further discussion COMMISSIONER PETERS MOVED TO APPROVE THE
12 REQUEST BY RICK PRIDDIS FOR A CONDITIONAL USE PERMIT TO OPERATE A
13 MUSIC RECORDING BUSINESS ON A RESIDENTIAL LOT WITH THE FOLLOWING
14 CONDITION: LIGHTING AROUND THE BUILDING WILL BE SHIELDED.
15 COMMISSIONER PETERSON SECONDED THE MOTION. VOTING WAS UNANIMOUS
16 IN THE AFFIRMATIVE. THE MOTION CARRIED.

17 5. Rae Jeanne Memmott - 322 North 1130 East - Conditional Use Permit

18 This is a request for approval for an accessory apartment in an existing residential home.
19 Staff has no concerns with this request.

20
21 Kevin Smith, Planning Director, displayed the plans for Rae Jeanne Memmott's home.
22 She is requesting the Commission approve a third parking space for an accessory apartment. The
23 parking stall is proposed for the back side of the home, near the apartment entrance.

24 The Commission asked about the positioning of Mrs. Memmott's home. She answered
25 that the home is positioned in such a way to keep within setback requirements and the contouring
26 of the property. The general floor plan cannot be changed because of grading issues.

27 The proposed plans suggest an extended driveway around the side of the home to allow
28 for the apartment's additional parking. The Commission discussed the possibility of two separate
29 driveways opposed to one large concrete slab. Another possible solution to Mrs. Memmott's
30 parking situation is to expand the garage size from two to three cars. Mrs. Memmott explained
31 that she would need to talk to her builder before deciding. The Commission discussed the need
32 for a walkway to the apartment if the garage were expanded.

33 The Commission also discussed the possible need to revise the current ordinance to clarify
34 the intent for accessory apartment restrictions.

35 Mrs. Memmott has given notice to the required residents in the area. There has been no
36 response to her proposed accessory apartment.

37 After further discussion COMMISSIONER PETERS MOVED TO APPROVE THE
38 REQUEST BY RAE JEANNE MEMMOTT FOR A CONDITIONAL USE PERMIT FOR AN
39 ACCESSORY APARTMENT AT 722 EAST 550 NORTH WITH THE FOLLOWING
40 CONDITION: A THIRD PARKING SPACE BE SERVICED BY EITHER A SEPARATE
41 DRIVEWAY OFF 800 EAST OR THE CURRENT TWO CAR GARAGE BE EXPANDED TO
42 A THREE-CAR GARAGE WITH A WALKWAY ACCESS TO THE APARTMENT.
43 COMMISSIONER SOUTHARD SECONDED THE MOTION. VOTING WAS UNANIMOUS
44

17.04.400 Home occupation requirements.

1. The purpose and intent of this section of the Lindon City Code is to allow occupations, professions, activities, or uses that are clearly customary, incidental, and secondary to the residential use of the property and which do not alter the exterior of the property or affect the residential character of the neighborhood.
2. No [home occupation](#) shall be conducted without first obtaining a [home occupation](#) permit pursuant to this chapter and a business license pursuant to this chapter and the Lindon City Code chapter regulating businesses.
3. The Planning Director may grant a [home occupation](#) permit in the residential [zones](#), provided the use applied for meets all of the standards set forth in this Section.
4. A [home occupation](#) permit shall be obtained from the Planning Director before such [home occupation](#) is established. The permit shall have a fee as established per the Lindon City Fee Schedule.
5. As a matter of public policy, the City believes that commercial and industrial activities should be conducted in [zones](#) where such activities are specifically permitted. However, limited business activities may be conducted within residences located in any [zone](#) in the City if the business activity strictly complies with all of the following requirements:
 - a. Be clearly incidental to and secondary to the residential use of the [dwelling unit](#) and not occupy more than five hundred (500) square feet or twenty-five percent (25%) of the total floor space of such [dwelling unit](#), whichever is less. This requirement does not apply to accessory [buildings](#) approved as part of a [home occupation](#).
 - b. Be carried on entirely within the [dwelling unit](#) or accessory [structure](#) solely by one (1) or more of the residents of the immediate [family](#) who reside in the [dwelling unit](#) or employees as permitted in 5(c). For the purposes of this section, a [carport](#), patio, or breeze way is not considered to be part of the [dwelling unit](#). (This provision shall not prohibit the Utah State requirement for outside use by licensed day care/preschool facilities.)
 - c. [Home occupations](#) may have up to one (1) employee or part time equivalent to one (1) employee who does not live in the [dwelling unit](#) work at the home. Only one (1) non-resident employee shall work from the home at any given time. Such employee working at the home or coming to the home and moving to another job [site](#) associated with the [home occupation](#) shall be provided an off [street](#) parking stall on the [home occupation](#) owner's property. This employee shall be provided and required to use such parking on the business owner's property and off of a public [street](#).
 - d. Not have any external evidence of the [home occupation](#), (except as may be required by State law or City ordinance) nor any exterior displays, displays of goods, nor advertising signs (except as allowed by this section) visible from outside of the [dwelling unit](#). It shall not be permitted to conduct any activity outside the [dwelling unit](#) or to store materials or products outside the [dwelling unit](#) unless it is within an accessory [structure](#) approved as part of the [home occupation](#).

- e. Not have more than six (6) vehicles parked at the residence at any time, provided all of the vehicles can be parked legally, either in normal parking places on the [lot](#) occupied by the residence without parking in front of any other property. The six (6) vehicles specified above shall include the vehicles owned or operated by the residents, visitors or any other person using or visiting the home. Exceptions to this requirement may be granted by the Planning Director provided the applicant can clearly demonstrate that additional vehicles can be parked legally, either in normal parking places on the [lot](#) occupied by the residence containing the [home occupation](#) or by the curb directly in front of the residence without parking in front of any other property. In addition to the foregoing, the [home occupation](#) must not generate more than five (5) vehicles of traffic to the residence during any hour. The [home occupation](#) shall not generate any traffic before 7:30 a.m. or after 6:00 p.m. nor shall any vehicle weighing in excess of twenty four thousand (24,000) pounds, gross weight, travel to the residence for the purpose of servicing the [home occupation](#).
- f. Not emit noise, odor, dust, fumes, vibration, smoke, electrical interference or other interference with the residential use of adjacent properties.
- g. Comply with all City [building](#) and fire codes.
- h. Obtain a [home occupation](#) permit and a business license from the City.
- i. Shall have no more than one (1) sign, not larger than two and one-half (2.5) square feet, attached to the main [dwelling unit](#). The sign shall be aesthetically pleasing and made of similar materials and colors as the [building](#) to which it is attached. The sign shall not be directly lit.
- j. [Home occupation](#) owners shall be good neighbors and mindful of possible impacts their activities have on the residential character of the neighborhood. All [Home Occupation](#) permits are reviewable upon written complaint to the [Planning Commission](#). The [Planning Commission](#), in reviewing such complaints, shall have the authority to attach conditions to a [home occupation](#) to make it compatible with the surrounding neighborhood. If the [Planning Commission](#) makes a finding that the [home occupation](#) is not compatible with the surrounding neighborhood they shall have the authority to revoke such permit. (Ord. 2002-23, amended, 2002; Ord. 99-23, adopted, 2000)

Item 1 I: New Business (Planning Commissioner Reports)

Item 1 – Subject _____

Discussion

Item 2 – Subject _____

Discussion

Item 3 – Subject _____

Discussion

Item 12: Planning Director Report

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Adjourn