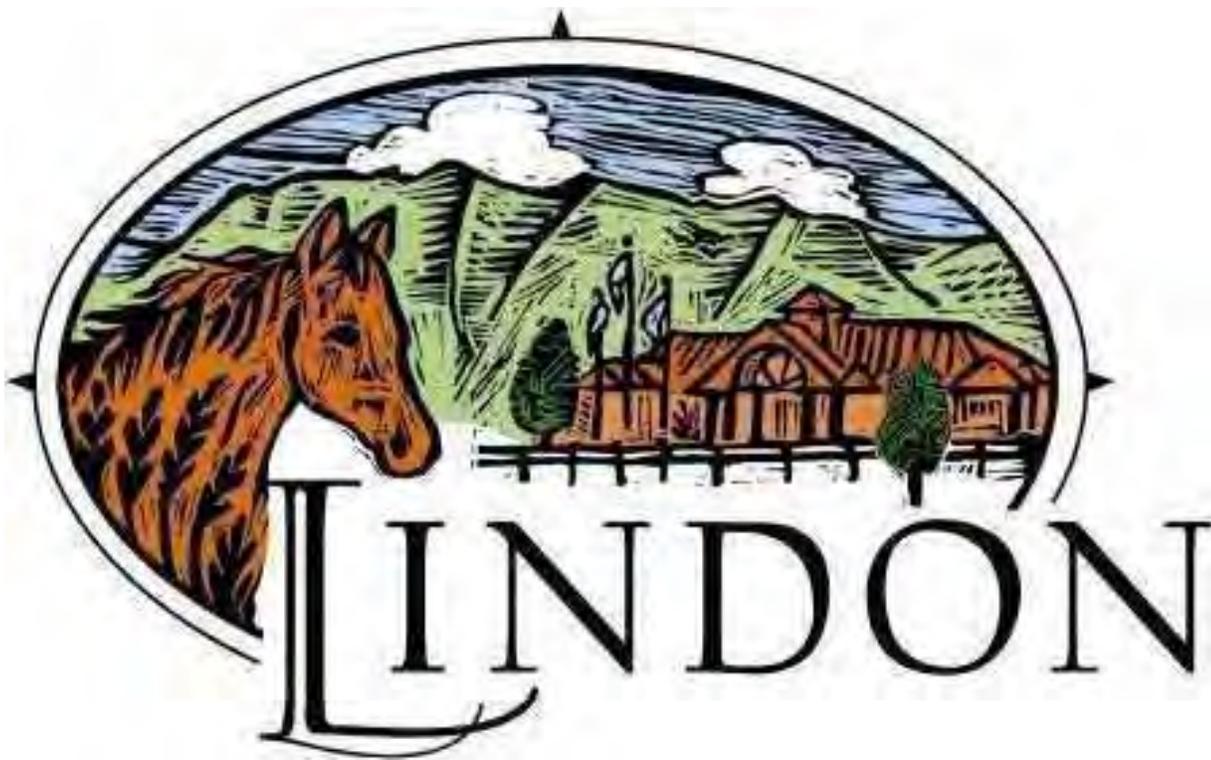


Lindon City Planning Commission Staff Report



July 14, 2020

Notice of Meeting
Lindon City Planning Commission



Item 1 – Call to Order

Sharon Call
Mike Marchbanks
Rob Kallas
Steve Johnson
Scott Thompson
Jared Schauers
Renee Tribe

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on Tuesday, July 14, 2020, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at 6:00 p.m. This meeting may be held electronically to allow a commissioner to participate by video or teleconference. The agenda will consist of the following items:

Agenda

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. Call to Order
2. Approval of minutes
Planning Commission 6/23/2020
3. Public Comment
4. Minor Subdivision – **Lindon’s Edge** – 126 S. Main St.
Davis Design Build requests Minor Subdivision approval to subdivide existing parcels into three lots at 126 South Main street in the General Commercial (CG) zone. *(15 minutes)*
5. Plat Amendment – Jacobson Subdivision Plat D
Sean Shah with Coco Development requests a plat amendment to the Jacobson Subdivision. Located at 1350 W. 200 S. in the Light Industrial (LI) zone. *(10 minutes)*
6. Major Subdivision – Coco Development – 1350 W. 200 S.
Sean Shah with Coco Development requests Major Subdivision approval to divide an existing building into twenty commercial condominium units at 1350 West 200 South in the Light Industrial (LI) zone. *(20 minutes)*
6. New Business from Commissioners
7. Planning Director Report
- General City updates

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 **hours’ notice**.

The above notice/agenda was posted in three public places within Lindon City limits and on the State <http://www.utah.gov/pmn/index.html> and City www.lindoncity.org websites.

**The duration of each agenda item is approximate only*

Posted By: Kathryn Moosman, City Recorder

Date: 7/10/2020

Time: 5:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Item 4: Minor Subdivision – Lindon’s Edge 126 South Main Street

Date: July 14, 2020
Applicant: Davis Design Build
Presenting Staff: Anders Bake

General Plan: Commercial
Current Zone: General Commercial (CG)

Property Owner: Castle Park
Properties LLC & Lindon’s Edge LLC.

Address: 126 South Main St.
Parcel IDs: 45:424:0001, 14:069:0012,
14:069:0264, 14:069:0295, 14:069:0304,
14:069:0303, 14:069:0302

Existing Parcel Sizes: 4.24, 0.42, 0.18,
0.25, 0.41, 0.16, 0.16 acres
Proposed Lot Sizes: 3.41, 0.73, 1.69
acres

Type of Decision: Administrative
Council Action Required: No



Overview

1. Davis Design Build is petitioning to subdivide the existing parcels into three lots.
2. One lot **will contain the Castle Park event venue and two lots will contain the Lindon’s Edge office park** that is currently under construction.
3. On February 12, 2019 The Planning Commission approved a plat amendment application that would have combined the existing parcels into one lot. This plat was never recorded. The plans have been abandoned and replaced with the proposed three-lot subdivision.

Motion

I move to (approve, deny, continue) the applicant’s request for Minor Subdivision approval of **Lindon’s Edge Plat “A”** at 126 South Main Street with the following conditions:

1. The applicant will continue to work with City staff to make all technical corrections as necessary to the engineering documents and plat prior to recording;
2. Prior to plat recording and occupancy of any new development within this plat, the applicant **must update the final plat Mylar to include notarized signatures of owners’ consent to** dedication; and obtain signatures of all entities indicated on the subdivision plat attached hereto;
3. The plat will meet relevant specifications as found in the Lindon City Development Manual;
4. Prior to selling any of the lots, the applicant will either record site maintenance and shared parking documents or file for a condominium plat to also include the condominium declaration and Covenants, Conditions and Restrictions.
5. All items of the staff report.

Surrounding Zoning and Land Use

North: General Commercial (CG) – commercial businesses and storage units

East: General Commercial (CG) – commercial businesses

South: General Commercial (CG), Residential (R1-20) – Island Style Dance Studio and single family

West: Residential (R1-20) – single family residential

Lot Requirements – General Commercial Zone

Required	Lot 1	Lot 2	Lot 3	Compliant
Minimum lot size: 20,000 sq/ft	31,973 sq/ft	73,399 sq/ft	151,197 sq/ft	Yes

Subdivision Requirements

Required	Complaint
No single lot shall be divided by municipal or county boundary lines, roads, alleys, or other lots.	Yes
Side lot lines shall be at right angles or radial to street lines.	Yes
Sidewalks, curbs and gutters shall be provided on both sides of all streets to be dedicated to the public	Yes, curb, gutter and sidewalk will be provided on the west side of Main as part of the previously approved site plan.
Easements shall follow rear and side lot lines whenever practical and shall have a minimum total width of 15 feet apportioned equally in abutting properties.	Yes, 15 to 20-foot easements
Underground utilities and piped sanitary sewerage shall be provided by the subdivider.	Yes
No lot shall be created which is more than three times as long as it is wide.	Yes

Engineering Requirements

The City Engineer is working through technical issues related to the plat and will conduct a final review if the planning commission approves the subdivision.

Exhibits

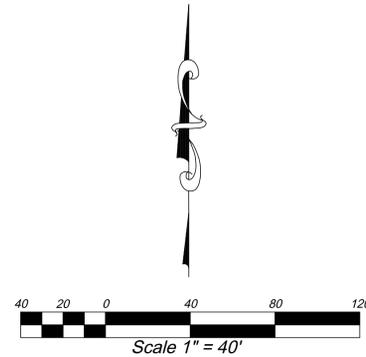
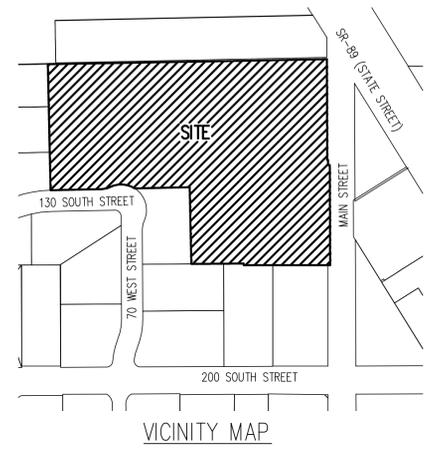
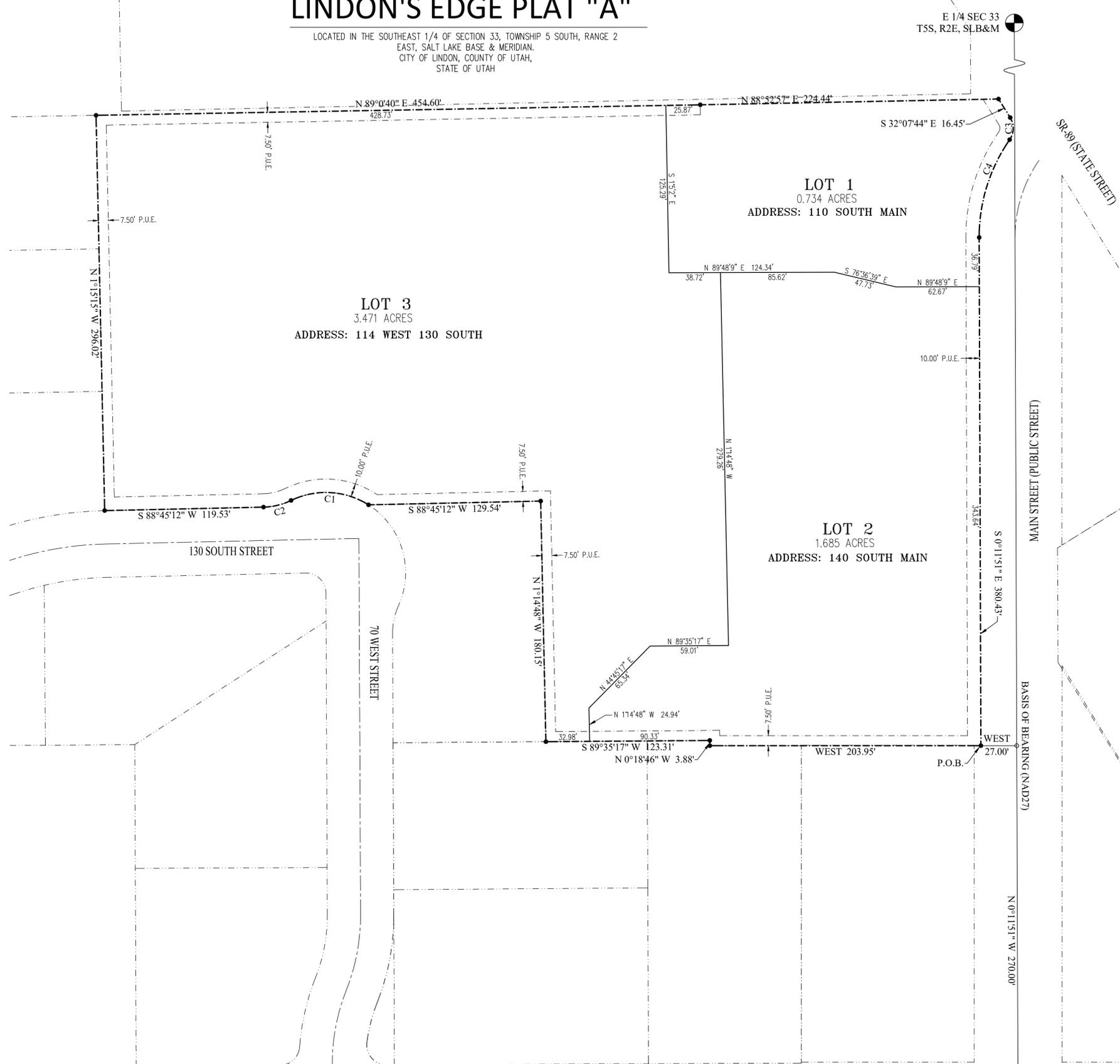
1. Aerial Image with Parcels
2. Plat
3. Site plan (for reference)

Exhibit 1



LINDON'S EDGE PLAT "A"

LOCATED IN THE SOUTHEAST 1/4 OF SECTION 33, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE & MERIDIAN.
CITY OF LINDON, COUNTY OF UTAH,
STATE OF UTAH



SURVEYOR'S CERTIFICATE
I, AARON D. THOMAS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6418780, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNER, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE, CORRECT AND ACCURATE.

BOUNDARY DESCRIPTION
Beginning at a point located North 0°11'51" West along section line 270.00 feet and West 27.00 feet from the Southeast Corner of Section 33, Township 5 South, Range 2 East, Salt Lake Base and Meridian; thence along the northerly boundary of Lindon Treasury Plat "B" and extension thereof the following three courses and distances: 1) West 203.95 feet, 2) North 0°18'46" West 3.88 feet, and 3) South 89°35'17" West 123.31 feet; thence along the arc of a 60.00 foot radius curve to the left 60.92 feet through a central angle of 58°10'38" (chord bears North 86°46'41" West 58.34 feet); thence along the arc of a 50.00 foot radius curve to the right 21.48 feet through a central angle of 24°37'12" (chord bears South 76°26'36" West 21.32 feet); thence South 88°45'12" West 129.54 feet; thence North 1°15'15" West 296.02 feet; thence North 89°00'40" East 454.60 feet; thence North 88°52'57" East along a fence line and extension thereof a distance of 224.44 feet; thence South 32°07'44" East 16.45 feet; thence along the arc of a 15.00 foot radius curve to the right through a central angle of 67°06'01" for 17.57 feet (chord bears South 01°24'49" West 16.58 feet); thence along the arc of a 127.00 foot radius curve to the left through a central angle of 35°09'12" for 77.92 feet (chord bears South 17°22'45" West 76.70 feet); thence South 0°11'51" East 380.43 feet to the point of beginning.
Area = 5.8907 Acres

AARON D. THOMAS (See Seal Below) _____ DATE _____

OWNER'S DEDICATION
KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED OWNER OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS PLAT, HAVE CAUSED A SURVEY AND THIS PLAT TO BE MADE OF THE PROPERTY AND HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS AND EASEMENTS, AND DO HEREBY DEDICATE THE STREETS AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE PUBLIC. THE UNDERSIGNED OWNERS CONSENTS TO RECORDATION OF THIS PLAT.
IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS _____ DAY OF _____, A.D. 20____

BY: _____

ACKNOWLEDGMENT
STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING CERTIFICATE AND DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT THEY DID EXECUTE THE SAME IN THE CAPACITY INDICATED.

Commission Number _____ Signed (A Notary Public Commissioned in Utah)
Commission Expires _____ Print Name of Notary _____

ACCEPTANCE BY LEGISLATIVE BODY
THE CITY OF LINDON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, A.D. 20____.

MAYOR _____ CITY ATTORNEY _____
PLANNING COMMISSION CHAIR _____ PLANNING DIRECTOR _____
CITY ENGINEER (See Seal Below) _____ CITY RECORDER (See Seal Below) _____

OCCUPANCY RESTRICTION NOTICE
IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITHIN THIS SUBDIVISION WITHOUT FIRST HAVING OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY THE CITY OF LINDON.

CONDITIONS OF APPROVAL

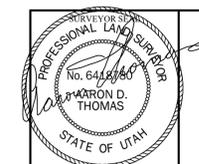
LINDON'S EDGE PLAT "A"
INCLUDING A VACATION OF LOT 1 OF LINDON TREASURY PLAT "A"
LINDON CITY _____ UTAH COUNTY, UTAH
SCALE: 1" = 40' FEET

LAND SURVEYOR: **AZTEC ENGINEERING INC.**
491 N. 450 W.
OREM, UT. 84057
(801) 224-7308

CURVE TABLE

CURVE	RADIUS	LENGTH	DELTA	CHORD	BEARING
C1	60.00	60.92	58°10'38"	58.34	N. 86°46'41" W
C2	50.00	21.48	24°37'12"	21.32	S. 76°26'36" W
C3	15.00	17.57	67°06'1"	16.58	S. 1°24'49" W
C4	127.00	77.92	35°09'12"	76.70	S. 17°22'45" W

SE COR SEC 33
T5S, R2E, SLB&M
ELEV = 4735.85



NOTARY PUBLIC SEAL _____
CITY ENGINEER SEAL _____
CITY RECORDER SEAL _____
COUNTY RECORDER _____

UTILITY KEYED NOTES

- CONNECT TO EXISTING 8" SEWER MAIN AND CONST. 4' SSMH, RIM=4719.21, RIM TO MATCH EXISTING ASPHALT, EXISTING 8" IE THRU=4709.17, 8" IE IN=4709.40 PATCH AND REPAIR ASPHALT OR CURB OR SIDEWALK PER CITY SPECIFICATIONS.
- CONST. 56.4 L.F. 8" PVC SEWER @ S=1.2%
- CONST. 4' SSMH, RIM=4720.31, 8" IE IN=4710.28, 8" IE OUT=4710.08
- CONST. 335 L.F. 8" PVC SEWER @ S=1.4%
- CONST. 4' SSMH, RIM=4725.25, 8" IE OUT=4714.97, 4" IE IN=4715.30
- CONST. 170 L.F. 8" PVC SEWER @ S=1.2%
- CONST. 4' SSMH, RIM=4722.12, 8" IE IN=4712.52, 8" IE OUT=4712.32
- CONST. 254 L.F. 8" PVC SEWER @ S=0.4%
- CONST. 4' SSMH, RIM=4724.01, 8" IE OUT=4713.54
- CONST. 4" PVC SEWER LATERAL @ S=2% MIN.
- CONST. SEWER CLEANOUT
- FIELD LOCATE AND CONNECT TO EXISTING SEWER LATERAL. INSTALL CLEANOUT AT CONNECTION.
- FIELD LOCATE AND HOT TAP CONNECT TO EXISTING WATER MAIN. INSTALL 8" GATE VALVE AT CONNECTION.
- CONNECT 2" WATER SERVICE TO EXISTING WATER MAIN.
- CONST. 2" WATER SERVICE LINE
- CONST. 1" WATER SERVICE LINE.
- FIELD LOCATE AND CONNECT TO EXISTING 1" WATER SERVICE LINE. FIELD VERIFY THE EXISTING SERVICE AND IF THE EXISTING SERVICE IS GALVANIZED OR IN POOR CONDITION, SERVICE LINE IS TO BE KILLED AT THE MAIN PER LINDON CITY POLICES, STANDARDS, AND SPECIFICATIONS, AND A NEW SERVICE LINE AND METER IS TO BE INSTALLED FROM THE MAIN.
- CONST. 2" WATER METER
- CONST. 4" FIRE LINE
- CONST. FIRE HYDRANT
- CONST. 6" WATER LINE
- CONST. 8" WATER LINE
- CONST. 8" TEE WITH GATE VALVES MOUNTED TO TEE. SEE PLAN VIEW FOR NUMBER OF VALVES AT CONNECTION POINT
- CONST. 8" 90° BEND
- CONST. 8" TEE WITH 6" REDUCER AND 6" GATE VALVE MOUNTED TO TEE
- CONST. PARKING LOT LIGHT
- CONST. TRANSFORMER
- CONST. 8" 45° BEND
- INSTALL 8" GATE VALVE AT THE RIGHT-OF-WAY LINE TO DELINEATE PRIVATE VS. PUBLIC OWNERSHIP
- CONST. NEW WASHINGTON POST-TOP LIGHT PER LINDON CITY STANDARD DRAWING 23a
- REPLACE EXISTING LIGHT POLE WITH NEW WASHINGTON POST-TOP LIGHT PER LINDON CITY STANDARD DRAWING 23a

NOTES TO CONTRACTOR

- CONTRACTOR TO FIELD VERIFY ALL EXISTING CURB & GUTTER, STORM DRAIN, & SEWER ELEVATIONS OR INVERTS PRIOR TO CONSTRUCTION AND NOTIFY ENGINEER WHEN ELEVATIONS OR INVERTS DO NOT MATCH PLANS.
- THE LOCATION OF EXISTING UNDERGROUND UTILITIES IS SHOWN IN APPROXIMATE LOCATIONS. THE CONTRACTOR SHALL DETERMINE THE EXACT LOCATION OF ALL EXISTING UTILITIES BEFORE COMMENCING WORK. HE AGREES TO BE FULLY RESPONSIBLE FOR ANY AND ALL DAMAGES WHICH MIGHT BE OCCASIONED BY HIS FAILURE TO EXACTLY LOCATE AND PRESERVE AND ALL UNDERGROUND UTILITIES, WHETHER OR NOT SUCH FACILITIES ARE SHOWN ON THESE PLANS.

TELECOMMUNICATION NOTES:

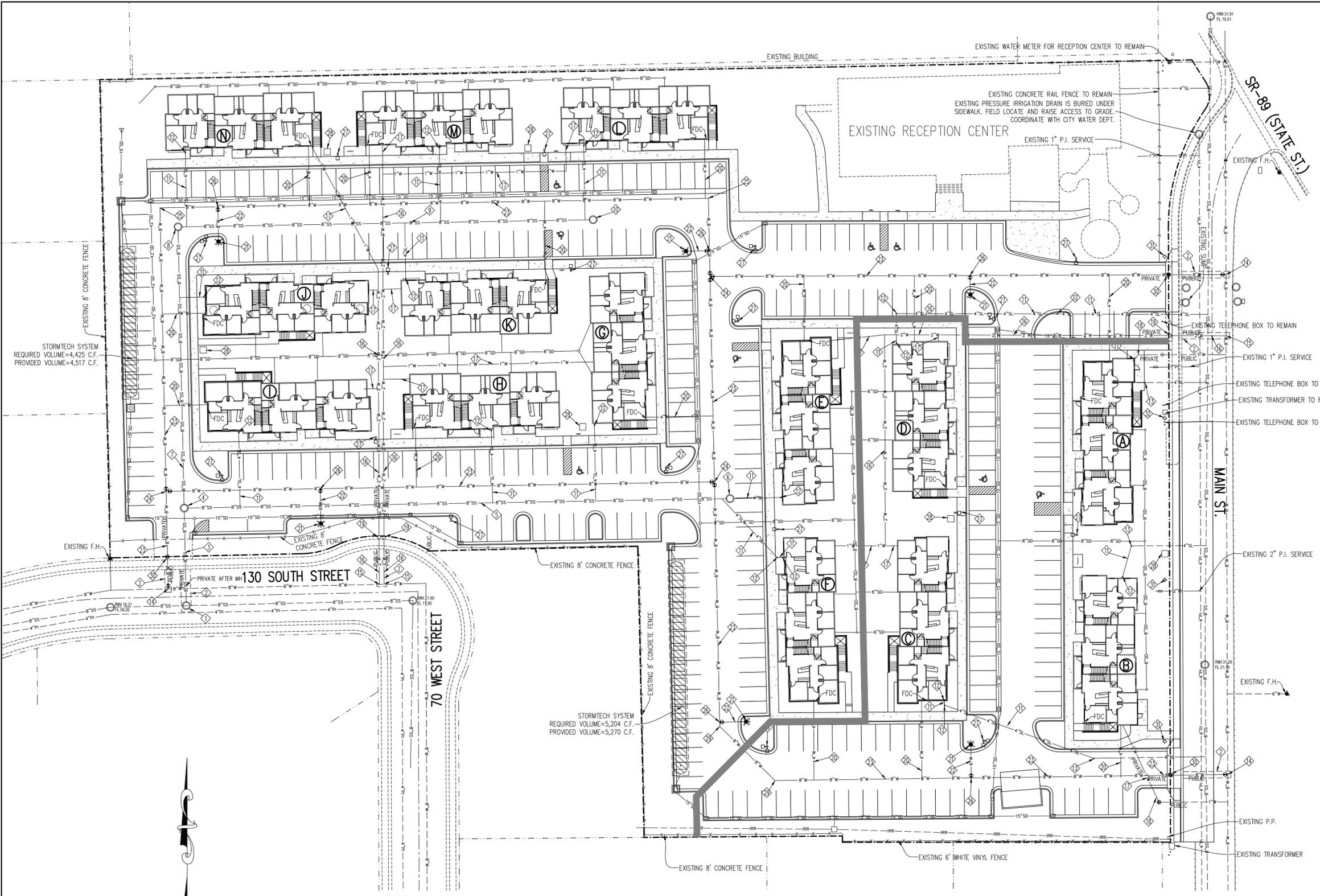
- TELECOMMUNICATION CONDUIT SHALL BE INSTALLED TO SERVE THIS SITE. RUN THE CONDUIT TO THE SITE FROM AN EXISTING SERVICE BOX AT A NEARBY SITE AS SHOWN IN THE UTOPIA DESIGN. RUN THE CONDUIT WITHIN THE PUBLIC RIGHT-OF-WAY OR SECURE EASEMENTS TO RUN IT ON PRIVATE PROPERTY. LAY THE CONDUIT AT A MINIMUM DEPTH OF COVER OF 24"
- INSTALL ONE ORANGE 3/4" DIAMETER SDR-11 HDPE CONDUIT MEETING ASTM 3035, OR DIFFERENT QUANTITIES AND SIZES AS SHOWN IN THE UTOPIA DESIGN. A TWELVE GAUGE SOLID THIN TRACER WIRE SHALL BE INSTALLED INSIDE ALL CONDUITS ACCORDING TO NESC STANDARDS. TELECOMMUNICATIONS CONDUIT SHALL INCLUDE A 3" CAUTION TAPE INSTALLED IN THE PIPELINE TRENCH APPROX. 12" BELOW THE GROUND SURFACE, WITH THE WORDS "CAUTION: FIBER OPTIC CABLE" PRINTED ON IT.

UTILITY LEGEND

- FIRE HYDRANT
- CULINARY WATER
- STORM DRAIN PIPE ADS
- BURIED POWER LINE
- TELEPHONE LINE
- GAS LINE
- EASEMENT LINE



Know what's Below. Call before you dig.



PRIVATE UTILITY NOTE

- ALL UTILITY LINES REGARDLESS OF SIZE, LOCATED OUTSIDE OF THE PUBLIC RIGHT-OF-WAY ARE CONSIDERED PRIVATE AND WILL BE PRIVATELY OWNED AND MAINTAINED IN PERPETUITY. NOTES HAVE BEEN ADDED TO THE LINES NEAR THE RIGHT-OF-WAY TO DEFINE WHERE THE OWNERSHIP TRANSITIONS.
- ALL STORM DRAIN IS ON-SITE AND WILL BE PRIVATELY OWNED AND MAINTAINED.
- SEWER OWNERSHIP TRANSITIONS FROM PUBLIC TO PRIVATE AT THE CONNECTION MANHOLE IN 130 SOUTH STREET AS NOTED ON THE PLANS.
- LINDON CITY IS GRANTED PERMISSION TO ENTER THE PROPERTY TO ACCESS AND TEST FIRE HYDRANTS. MAINTENANCE OF THE FIRE HYDRANTS IS THE RESPONSIBILITY OF THE PRIVATE SYSTEM OWNER.



Scale 1" = 30'

REVISIONS

Rev.	Date	Description
1	01/10/19	REVISED AS PER CITY COMMENTS FROM REVIEW 1
2	02/04/19	MODIFIED BUILDINGS FRONTING MAIN STREET
3	03/05/19	RELOCATED AND COMBINED DUMPSTER ENCLOSURES & FIXED CITY REDLINES
4	05/31/19	MODIFIED FIRE LINE LOCATIONS & MODIFIED SEWER TO BUILDING D

Castle Park Properties, LLC
110 South Main, Lindon, UT 84042



David W. Peterson, P.E., License #270593
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com

LINDON'S EDGE		UTAH
LINDON		Scale: 1" = 30'
126 S. MAIN		Date: 11/05/18
Drawn by: D.W.P.	UTILITY PLAN	C3
Designed by: D.W.P.		
Checked by: D.W.P.		

Item 5: Plat Amendment – Jacobson Subdivision Plat “D” Amended 1350 W. 200 S.

Date: July 14, 2020

Applicant: Coco Development, LLC

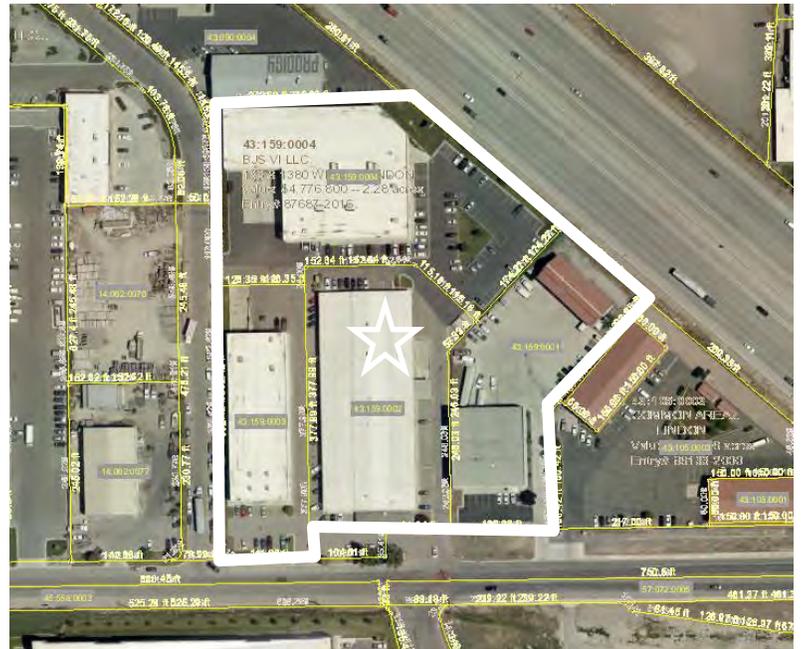
Presenting Staff: Michael Florence

General Plan: Light Industrial
Current Zone: Light Industrial

Property Owner: Coco Development
Lindon, LLC
Address: 1350 W. 200 S.

Parcel IDs: 43:159:0002

Type of Decision: Administrative
Council Action Required: No



Overview

1. **Coco Development, LLC is petitioning for a plat amendment to the Jacobson Subdivision Plat “D.”**
2. The only change to the plat is that there is an existing loading dock on the east side of Lot 2 which encroaches into the cross parking/access and drainage easement.
3. Coco Development, LLC recently purchased the building and lot 2. They want to make sure that the plat accurately reflects the existing site.
4. The other property owners in the Jacobson Subdivision will need to sign the plat.
5. Coco Development, LLC intends to create commercial condominiums with the building on lot 2.

Surrounding Zoning and Land Use

North: Light Industrial (LI) zone – office/warehouse

South: Light Industrial (LI) zone – office/warehouse

East: Light Industrial (LI) zone – office/warehouse

West: Light Industrial (LI) zone – office/warehouse

Subdivision Standards

Lindon City Code 17.32.00 references Utah Code for requirements amending a subdivision plat. Under Utah Code 10-9a-608, an applicant may petition the Land Use Authority (Planning Commission) to amend

10-9a-608. Vacating, altering, or amending a subdivision plat.

(1) (a) A fee owner of land, as shown on the last county assessment roll, in a subdivision that has been laid out and platted as provided in this part may file a written petition with the land use authority to request a subdivision amendment.

(b) Upon filing a written petition to request a subdivision amendment under Subsection (1)(a), the owner shall prepare and, if approved by the land use authority, record a plat in accordance with Section 10-9a-603 that:

- (i) depicts only the portion of the subdivision that is proposed to be amended;

- (ii) includes a plat name distinguishing the amended plat from the original plat;
- (iii) describes the differences between the amended plat and the original plat; and
- (iv) includes references to the original plat.

Engineering Requirements

The City Engineer is working through technical issues related to the plat and will conduct a final review if the planning commission approves the plat amendment.

Findings of Fact

- The Jacobson Commercial Subdivision Plat D was recorded February 21, 2006
- The proposed plat amendment modifies the existing plat to account for the existing loading dock which is located in the cross parking/access and drainage easement on lot 2.

Motion

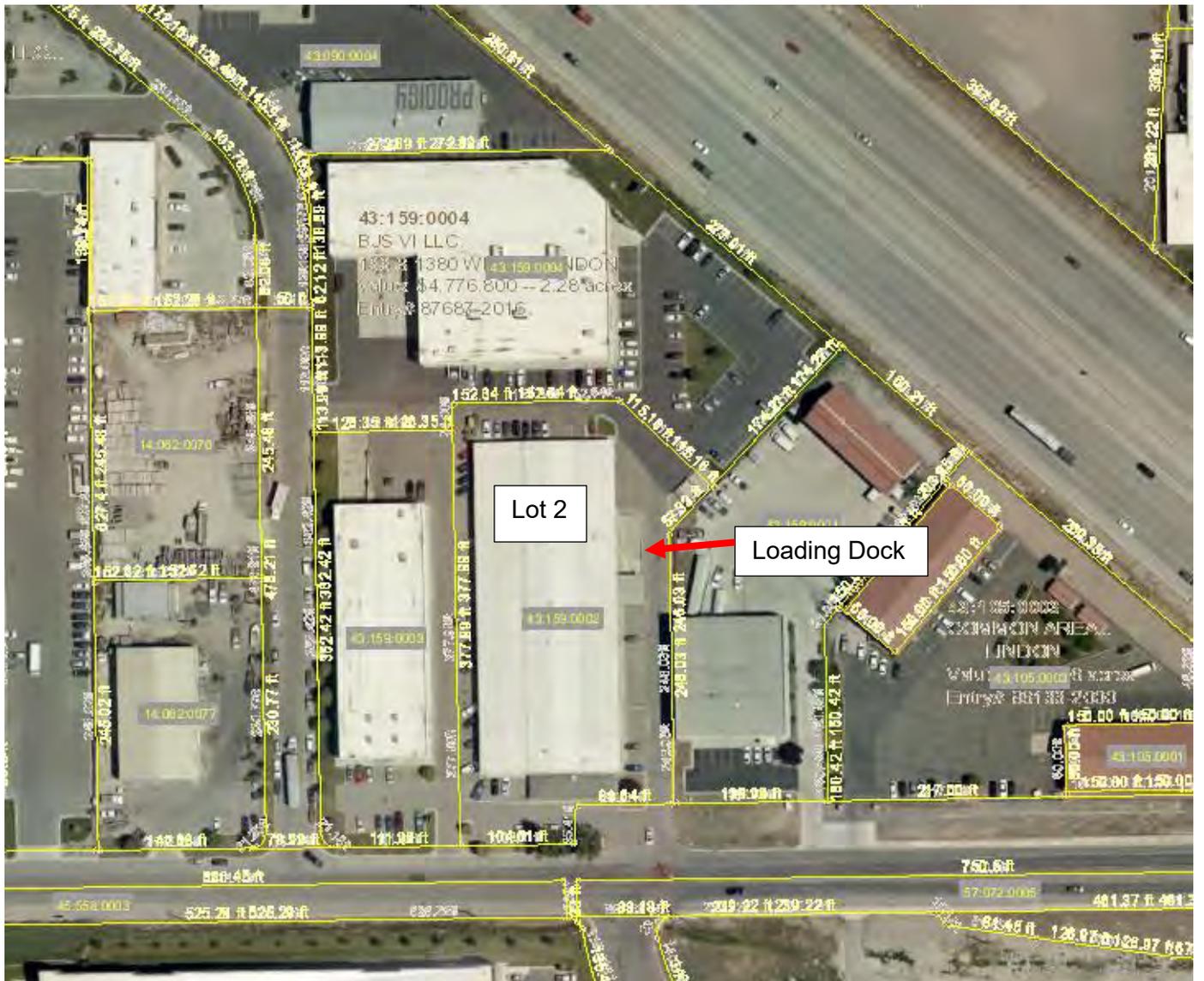
I move to (approve, deny, continue) the applicant's **request for preliminary approval of Jacobson Subdivision Plat "D" Amended** with the following conditions:

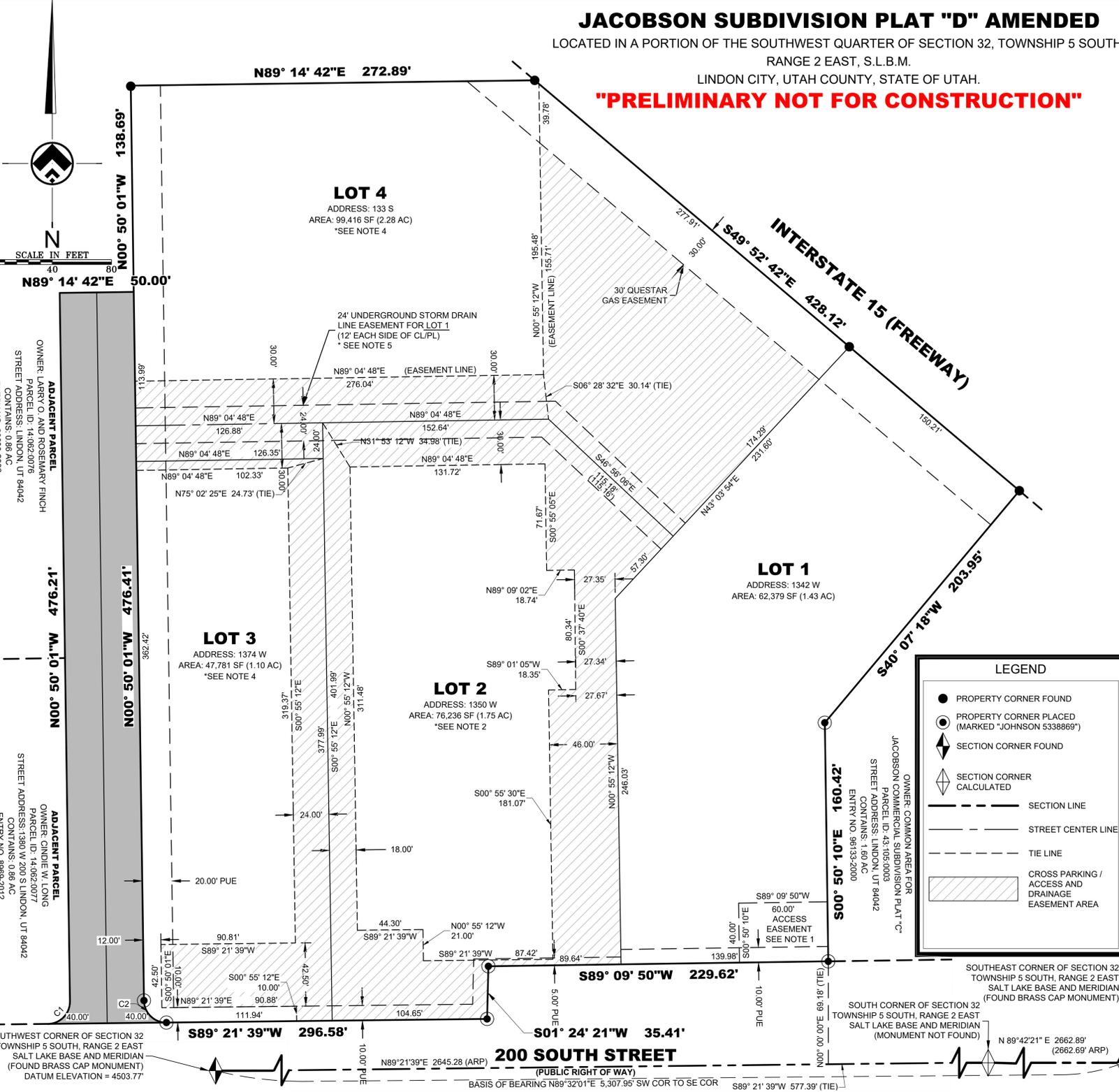
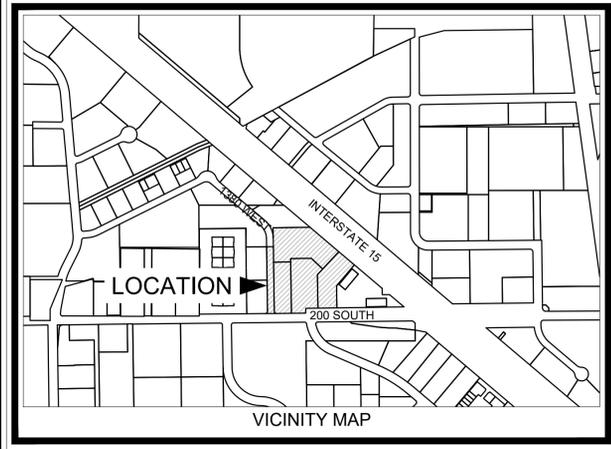
1. The applicant will continue to work with City staff to make all technical corrections as necessary to the plat prior to recording;
2. Prior to plat recording, the applicant will update the final plat Mylar to include notarized signatures **of owners' consent to dedication; and obtain signatures of all entities indicated on the subdivision plat** attached hereto;
3. All items of the staff report.

Exhibits

1. Aerial Image with Parcels
2. Proposed Plat Amendment
3. Current Plat

Exhibit 1 – Aerial Photo





UTILITY NOTES:
 WITH THE EXCEPTIONS NOTED BELOW, CULINARY WATER, SECONDARY WATER, SEWER, AND STORM WATER FACILITIES WITHIN THIS SITE PLAN ARE CONSIDERED PRIVATE AND THE DEVELOPMENT IS RESPONSIBLE TO ENSURE PROPER CONSTRUCTION, REPLACEMENT, REPAIR, OPERATION, AND MAINTENANCE ACCORDING TO CITY AND STATE STANDARDS. DEVELOPER ACKNOWLEDGES THE RIGHT OF THE CITY TO INSPECT AND TEST THESE FACILITIES AND MAKE NECESSARY REPAIRS AND/OR OTHER ACTIONS WHEN THE DEVELOPMENT FAILS TO DO SO. THE DEVELOPMENT WILL BE CHARGED FOR THESE ACTIONS. CULINARY WATER FACILITIES ARE CONSIDERED PART OF THE CITY'S PUBLIC WATER SYSTEM FOR THE PURPOSES OF TESTING AND REPORTING AS REQUIRED BY THE STATE OF UTAH.

SUBDIVISION NOTES:
 1. INDICATED ACCESS EASEMENT ON LOT 1 SHALL BECOME VALID ONLY IF IN THE FUTURE, WIDENING OF 200 SOUTH PROHIBITS THE ACCESS TO LOT 1 OF JACOBSON COMMERCIAL SUBDIVISION PLAT A.
 2. NOTICE OF DECLARATION OF COVENANTS CONDITIONS AND RESTRICTIONS FOR WASATCH POINTE BUSINESS PARK, THIS PROJECT WITH ITS LOTS, AND COMMON AREAS ARE SUBJECT TO CERTAIN COVENANTS, CONDITIONS, AND RESTRICTIONS FOR THE JACOBSON SUBDIVISION PLAT "D" AMENDED WHICH ARE RECORDED IN THE OFFICES OF THE UTAH COUNTY RECORDER. SAID COVENANTS, CONDITIONS AND RESTRICTIONS ARE INTENDED TO RUN WITH THE LAND AND TO BE BINDING UPON ALL HEIRS, SUCCESSORS OR ASSIGNS OF THE DECLARATION IN ACCORDANCE WITH THE RECORDED DECLARATION.
 3. OWNERS ASSOCIATION. THE WASATCH POINTE BUSINESS PARK IS GOVERNED BY THE WASATCH POINTE BUSINESS PARK OWNERS ASSOCIATION, INC., A UTAH NON-PROFIT CORPORATION ("ASSOCIATION") IN ACCORDANCE WITH THE DECLARATION.
 4. CROSS PARKING/ACCESS AND DRAINAGE EASEMENT. THE CROSS HATCHED AREAS SHOWN HEREIN AS THE "CROSS PARKING / ACCESS AND DRAINAGE EASEMENT" CREATE NON-EXCLUSIVE EASEMENTS FOR CROSS PARKING, INGRESS AND EGRESS UNDERGROUND UTILITIES AND SURFACE STORM DRAINAGE FOR THE BENEFIT OF LOTS 2, 3, AND 4. THE CROSS HATCHED AREAS SHOWN HEREIN AS THE "CROSS PARKING / ACCESS AND DRAINAGE EASEMENT" CREATE NON-EXCLUSIVE EASEMENT FOR UNDERGROUND UTILITIES FOR THE BENEFIT OF LOT 1. THE "CROSS PARKING / ACCESS AND DRAINAGE EASEMENT" SHALL BE MAINTAINED BY THE ASSOCIATION IN ACCORDANCE WITH THE DECLARATION.
 5. 24' STORM DRAIN EASEMENT. THE "24' STORM LINE EASEMENT SHOWN ON THE PLAT CREATES A NON-EXCLUSIVE EASEMENT FOR AN UNDERGROUND STORM WATER LINE FOR THE BENEFIT OF LOT 1. THE ASSOCIATION SHALL MAINTAIN THE 24' ACCESS EASEMENT IN ACCORDANCE WITH THE DECLARATION.
 6. OCCUPANCY RESTRICTION NOTICE IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITHIN THIS SUBDIVISION WITHOUT HAVING FIRST OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY LINDON CITY.

CURVE #	LENGTH (FT)	RADIUS (FT)	DELTA (°)	DIRECTION	CHORD (FT)
C1	23.60	15.00	90°09'50.12"	N44°14'54"E	21.24
C2	23.51	15.00	89°48'20.00"	N45°44'11"W	21.18

GENERAL NOTES

SURVEYOR'S CERTIFICATE
 I, DAVID B. JOHNSON, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR AND DO HOLD LICENSE NO. 5338869 AS PRESCRIBED UNDER LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED HEREON, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AS SHOWN ON THIS PLAT, HEREAFTER TO BE KNOWN AS **JACOBSON SUBDIVISION PLAT "D" AMENDED**. I FURTHER CERTIFY THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND MONUMENTED ON THE GROUND AS SHOWN ON THIS PLAT, AND COMPLIES WITH THE PROVISIONS OF SECTION 57-8-13(1) OF THE UTAH CONDOMINIUM OWNERSHIP ACT. I FURTHER CERTIFY THAT THE REFERENCE MARKERS SHOWN ON THIS CONDOMINIUM PLAT ARE LOCATED AS SHOWN AND ARE SUFFICIENT TO READILY RETRACE OR REESTABLISH THIS SURVEY.

BOUNDARY DESCRIPTION

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 17, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, LOCATED IN LINDON CITY, COUNTY OF UTAH, STATE OF UTAH, FURTHER DESCRIBED AS FOLLOWS:
 BEGINNING AT A POINT S89°21'39"W 577.39 FEET ALONG THE SECTION LINE AND NORTH 69.18 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 32, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF JACOBSON COMMERCIAL SUBDIVISION, PLAT "C"; THENCE ALONG THE BOUNDARY LINE OF LOT 2, JACOBSON COMMERCIAL SUBDIVISION PLAT "A", THE FOLLOWING TWO (2) COURSES: S89°09'50"W 229.62 FEET; S01°24'21"W 35.41 FEET TO THE SOUTH LINE OF SAID LOT 2; THENCE S89°21'39"W 296.58 FEET TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 15.00 FEET; THENCE ALONG THE ARC OF SAID CURVE 23.61 FEET THROUGH A CENTRAL ANGLE OF 90°11'40" (CHORD BEARS N44°15'49"E 21.25 FEET); THENCE N00°50'01"W 476.21 FEET; THENCE N89°14'42"E 50.00 FEET; THENCE ALONG THE BOUNDARY LINE OF SAID LOT 2, JACOBSON COMMERCIAL SUBDIVISION PLAT "A" THE FOLLOWING THREE (3) COURSES: N00°50'01"W 138.69 FEET; N89°14'42"E 272.89 FEET; S49°52'42"E 428.12 FEET TO THE WESTERLY LINE OF SAID JACOBSON COMMERCIAL SUBDIVISION, PLAT "C"; THENCE ALONG THE WESTERLY LINE OF SAID SUBDIVISION BOUNDARY THE FOLLOWING TWO (2) COURSES: S40°07'18"W 203.95 FEET; S00°50'10"E 160.42 FEET TO THE POINT OF BEGINNING.
 CONTAINING 7.13 ACRES, MORE OR LESS.

6/23/2020 DATE DAVID B. JOHNSON LICENSE NO. 5338869 (SEE SEAL)

THE BASIS OF BEARING FOR THIS SUBDIVISION IS NORTH 89°32'01" EAST BETWEEN THE SOUTHWEST CORNER OF SECTION 32 AND THE SOUTHEAST CORNER OF SECTION 32 TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN. THE DATUM FOR THIS SUBDIVISION IS NAD 83.

OWNER'S CERTIFICATE AND DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT THE UNDERSIGNED ARE THE OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, AND HEREBY CAUSE THE SAME TO BE SUBDIVIDED INTO LOTS, PARCELS AND STREETS, TOGETHER WITH EASEMENTS AS SET FORTH TO BE HEREAFTER KNOWN AS

JACOBSON SUBDIVISION PLAT "D" AMENDED

DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL ROADS AND OTHER AREAS SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY TO ANY AND ALL PUBLIC UTILITY COMPANIES A PERPETUAL, NON-EXCLUSIVE EASEMENT OVER THE PUBLIC UTILITY EASEMENTS SHOWN ON THIS PLAT THE SAME TO BE USED FOR THE INSTALLATION, MAINTENANCE AND OPERATION OF UTILITY LINES AND FACILITIES. THE UNDERSIGNED OWNERS ALSO HEREBY CONVEY ANY OTHER EASEMENT AS SHOWN ON THIS PLAT TO THE PARTIES INDICATED AND FOR THE PURPOSES SHOWN HEREON.

OWNER'S ACKNOWLEDGEMENT

STATE OF UTAH)
) SS
 COUNTY OF UTAH)
 THE FOREGOING INSTRUMENT WAS ACKNOWLEDGED BEFORE ME THIS _____ BY OWNER.
 OWNER _____ OWNER _____
 OWNER _____ OWNER _____
 NOTARY PUBLIC _____ COMMISSION NUMBER _____ MY COMMISSION EXPIRES _____

DRAWN BY: DBJ	CHECKED BY: DBJ	APPROVED BY: DBJ	SHEET: V-101 01 OF 01
PROJECT NO: 20-001	DATE: 2020-06-23	04 PRELIMINARY 06/23/20	03 PRELIMINARY 06/16/20
SCALE: 1"=40'		NO. REVISION	DATE

ACCEPTANCE BY LEGISLATIVE BODY
 THE CITY COUNCIL OF LINDON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS _____ DAY OF _____, 20____.
 MAYOR _____
 PLANNING COMMISSION CHAIR _____
 PLANNING DIRECTOR _____
 CITY ATTORNEY _____
 APPROVED _____ CITY ENGINEER (SEE SEAL)
 ATTEST _____ CITY RECORDER (SEE SEAL)

SIGNATURES

CLERK / RECORDER SEAL _____

NOTARY PUBLIC SEAL _____

CITY ENGINEER'S SEAL _____

SURVEYOR'S SEAL _____

CLIENT / OWNER INFORMATION:
BRIXTON PARTNERS
 118 E 126 75 S DRAPER, UTAH 84020
 SEAN SHAH sean@brixtonpartners.com 385-281-3851

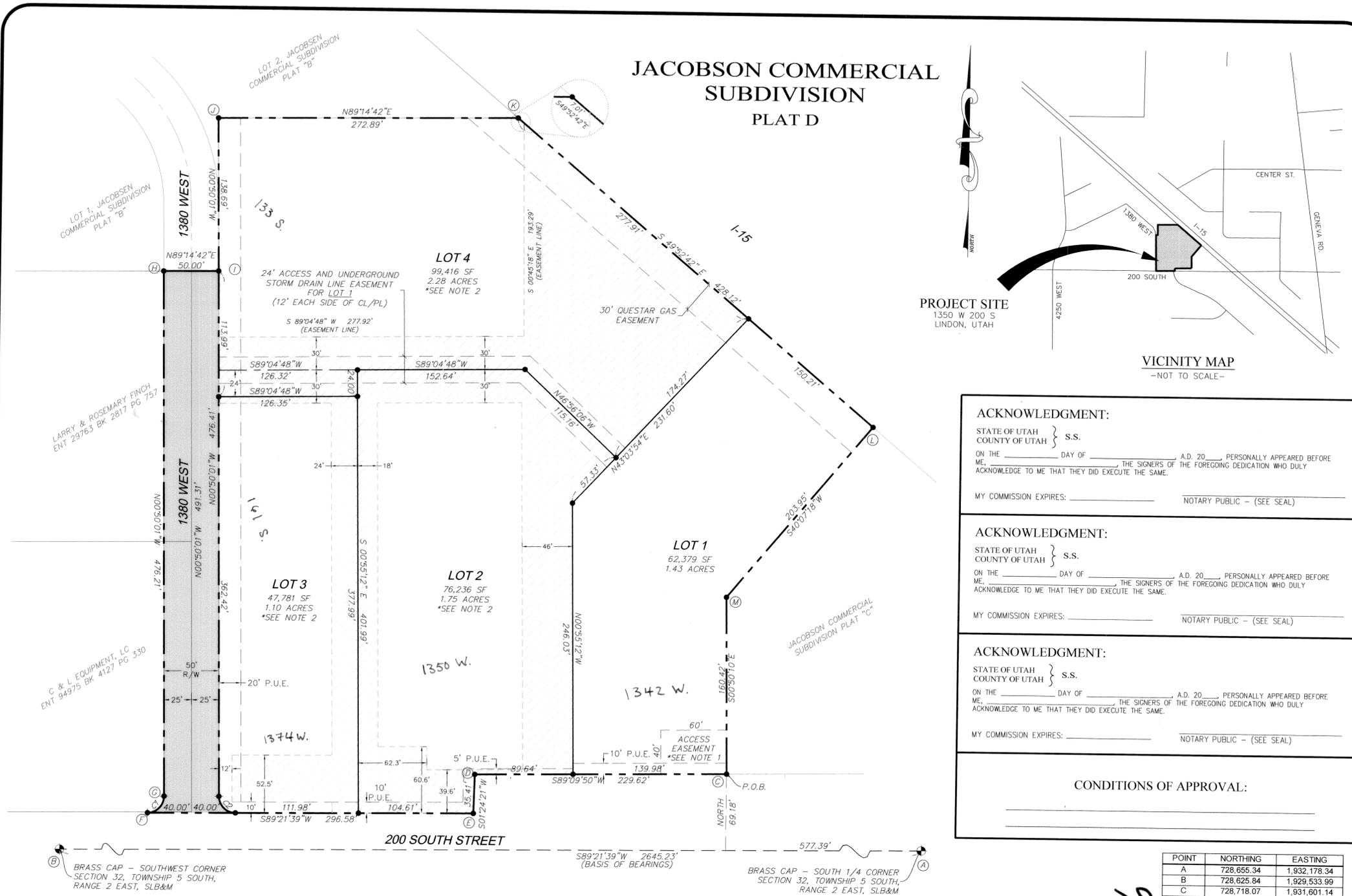
ENGINEER / SURVEYOR INFORMATION:
JOHNSON ENGINEERING
 4436 SOUTH 1025 EAST • SALT LAKE CITY, UTAH 84124
 www.johnsonengineeringinc.com Phone: 801-787-4569

SHEET INFORMATION:
JACOBSON SUBDIVISION PLAT "D" AMENDED
 LOCATED IN A PORTION OF THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 5 SOUTH, RANGE 2 EAST, S.L.B.M. LINDON CITY, UTAH COUNTY, STATE OF UTAH.

CONDITIONS OF APPROVAL _____

COUNTY RECORDER _____

X:\Active Projects\2001 Lindon Warehouse Condo\04 Design\Drawings\Design\Plan Sheets\VP-Survey\Jacobson Amended Preliminary Plat.dwg



JACOBSON COMMERCIAL SUBDIVISION PLAT D

PROJECT SITE
1350 W 200 S
LINDON, UTAH

VICINITY MAP
-NOT TO SCALE-

ACKNOWLEDGMENT:

STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, _____, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES: _____ NOTARY PUBLIC - (SEE SEAL)

ACKNOWLEDGMENT:

STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, _____, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES: _____ NOTARY PUBLIC - (SEE SEAL)

ACKNOWLEDGMENT:

STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE _____ DAY OF _____, A.D. 20____, PERSONALLY APPEARED BEFORE ME, _____, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES: _____ NOTARY PUBLIC - (SEE SEAL)

CONDITIONS OF APPROVAL:

POINT	NORTHING	EASTING
A	728,655.34	1,932,178.34
B	728,625.84	1,929,533.99
C	728,718.07	1,931,601.14
D	728,714.72	1,931,371.61
E	728,679.33	1,931,370.74
F	728,676.02	1,931,074.26
G	728,691.23	1,931,089.09
H	729,167.26	1,931,082.16
I	729,167.92	1,931,132.14
J	729,306.56	1,931,130.12
K	729,310.15	1,931,402.92
L	729,034.34	1,931,730.20
M	728,878.43	1,931,598.80

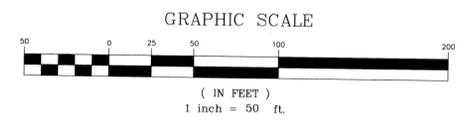
(UTAH STATE PLANE COORDINATES, NAD 27)

LEGEND

- BOUNDARY LINE
- - - SECTION LINE
- - - EASEMENT
- SET 5/8" REBAR W/CAP STAMPED LS #176695
- SECTION MONUMENT
- ▨ CROSS PARKING/ACCESS AND DRAINAGE EASEMENT
- ▩ AREA DEDICATED TO LINDON CITY AS RIGHT OF WAY

CURVE TABLE

CURVE	LENGTH	RADIUS	DELTA	TANGENT	CHORD	CHRD BRG
C1	23.67	15.00	90°11'40"	15.05	21.25	N44°15'49"E
C2	23.57	15.00	89°48'20"	14.95	21.18	S45°44'11"E



NOTES:

- INDICATED ACCESS EASEMENT ON LOT 1 SHALL BECOME VALID ONLY IF IN THE FUTURE, WIDENING OF 200 SOUTH PROHIBITS THE ACCESS TO LOT 1 OF JACOBSON COMMERCIAL SUBDIVISION PLAT A.
- DECLARATION OF CC&RS FOR WASATCH POINTE BUSINESS PARK. ALL OF LOTS 1, 2, 3 AND 4 SHOWN ON THIS PLAT ARE SUBJECT TO THAT CERTAIN DECLARATION AND AGREEMENT OF EASEMENTS, COVENANTS, CONDITIONS & RESTRICTIONS FOR WASATCH POINTE BUSINESS PARK ("DECLARATION"), RECORDED IN THE OFFICIAL RECORDS OF THE UTAH COUNTY RECORDER'S OFFICE.
- OWNERS ASSOCIATION.** THE WASATCH POINTE BUSINESS PARK IS GOVERNED BY THE WASATCH POINTE BUSINESS PARK OWNERS ASSOCIATION, INC., A UTAH NON-PROFIT CORPORATION ("ASSOCIATION") IN ACCORDANCE WITH THE DECLARATION.
- CROSS PARKING/ACCESS AND DRAINAGE EASEMENT.** THE CROSS HATCHED AREAS SHOWN HEREIN AS THE "CROSS PARKING/ACCESS AND DRAINAGE EASEMENT" CREATE NON-EXCLUSIVE EASEMENTS FOR CROSS PARKING, INGRESS AND EGRESS UNDERGROUND UTILITIES AND SURFACE STORM DRAINAGE FOR THE BENEFIT OF LOTS 2, 3 AND 4. THE CROSS HATCHED AREAS SHOWN HEREIN AS THE "CROSS PARKING/ACCESS AND DRAINAGE EASEMENT" CREATE NON-EXCLUSIVE EASEMENTS FOR UNDERGROUND UTILITIES FOR THE BENEFIT OF LOT 1. THE "CROSS PARKING/ACCESS AND DRAINAGE EASEMENT" SHALL BE MAINTAINED BY THE ASSOCIATION IN ACCORDANCE WITH THE DECLARATION.
- 24' ACCESS EASEMENT.** THE "24' ACCESS AND STORM LINE EASEMENT" SHOWN ON THE PLAT CREATES A NON-EXCLUSIVE EASEMENT FOR INGRESS AND EGRESS AND FOR AN UNDERGROUND STORM WATER LINE FOR THE BENEFIT OF LOT 1. THE ASSOCIATION SHALL MAINTAIN THE 24' ACCESS EASEMENT IN ACCORDANCE WITH THE DECLARATION.

SURVEYORS CERTIFICATE:

I, VICTOR E. HANSEN, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR AND THAT I HOLD CERTIFICATE NO. 176695 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.

Victor E. Hansen
VICTOR E. HANSEN RLS 176695
DATE: Nov. 18, 2005

BOUNDARY DESCRIPTION:

A PARCEL OF LAND LOCATED IN THE SOUTHWEST QUARTER OF SECTION 32, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, LOCATED IN LINDON CITY, COUNTY OF UTAH, STATE OF UTAH, FURTHER DESCRIBED AS FOLLOWS:
BEGINNING AT A POINT S89°21'39"W 577.39 FEET ALONG THE SECTION LINE AND NORTH 69.18 FEET FROM THE SOUTH 1/4 CORNER OF SAID SECTION 32, SAID POINT ALSO BEING THE SOUTHWEST CORNER OF JACOBSON COMMERCIAL SUBDIVISION, PLAT "C"; THENCE ALONG THE BOUNDARY LINE OF LOT 2, JACOBSON COMMERCIAL SUBDIVISION PLAT "A", THE FOLLOWING TWO (2) COURSES:
S89°09'50"W 229.62 FEET;
S01°24'21"W 35.41 FEET TO THE SOUTH LINE OF SAID LOT 2; THENCE S89°21'39"W 296.58 FEET TO THE BEGINNING OF A NON-TANGENT CURVE TO THE LEFT HAVING A RADIUS OF 15.00 FEET; THENCE ALONG THE ARC OF SAID CURVE 23.61 FEET THROUGH A CENTRAL ANGLE OF 90°11'40" (CHORD BEARS N44°15'49"E 21.25 FEET); THENCE N00°50'01"W 476.21 FEET; THENCE N89°14'42"E 50.00 FEET; THENCE ALONG THE BOUNDARY LINE OF SAID LOT 2, JACOBSON COMMERCIAL SUBDIVISION PLAT "A" THE FOLLOWING THREE (3) COURSES:
N00°50'01"W 138.69 FEET;
N89°14'42"E 272.89 FEET;
S49°52'42"E 428.12 FEET TO THE WESTERLY LINE OF SAID JACOBSON COMMERCIAL SUBDIVISION, PLAT "C"; THENCE ALONG THE WESTERLY LINE OF SAID SUBDIVISION BOUNDARY THE FOLLOWING TWO (2) COURSES:
S40°07'18"W 203.95 FEET;
S00°50'10"E 160.42 FEET TO THE POINT OF BEGINNING, CONTAINING 7.13 ACRES, MORE OR LESS.

OWNER'S DEDICATION:

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP, AND SUBJECT TO ANY CONDITIONS AND RESTRICTIONS STATED HEREON HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE STREETS, AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR THE PERPETUAL USE OF THE PUBLIC.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 19th DAY OF December, A.D. 2005
SUMMIT DEVELOPMENT AND MANAGEMENT, LLC BY: *Heath Johnston* ITS: MANAGING MEMBER, HEATH JOHNSTON
R+B Retirement LLC
Larry & Rosemary Finch REGINALD J. BUSSON, MEMBER
ACH LARRY C. FINCH *Rosemary Finch*
Collinsworth LLC *Duane Long* MEMBER

ACKNOWLEDGMENT:

STATE OF UTAH } S.S.
COUNTY OF UTAH }
ON THE 19th DAY OF December, A.D. 2005, PERSONALLY APPEARED BEFORE ME, _____, THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.
MY COMMISSION EXPIRES: 10-17-2007 *Yvonne Browning* NOTARY PUBLIC - (SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY:

THE CITY COUNCIL OF THE CITY OF LINDON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PUBLIC PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS 16th DAY OF February, A.D. 2006.
Jeff Deary Mayor
John N. Granger
Mark L. Christensen
APPROVED *Mark L. Christensen* ATTEST *Mark L. Christensen*
ENGINEER (SEE SEAL BELOW) CLERK-RECORDER (SEE SEAL BELOW)

CITY ATTORNEY APPROVAL:

Paul Z... 2-11-06
CITY ATTORNEY DATE

PLANNING COMMISSION APPROVAL:

APPROVED THIS 17th DAY OF February, A.D. 2006 BY THE LINDON CITY PLANNING COMMISSION.
Adam W. Cowie *Ann L. Vetter*
DIRECTOR - SECRETARY CHAIRMAN, PLANNING COMMISSION

JACOBSON COMMERCIAL SUBDIVISION PLAT D
BEING A VACATION OF LOT 2, OF JACOBSON COMMERCIAL SUBDIVISION PLAT "A" LINDON, UTAH COUNTY, UTAH SOUTHWEST QUARTER SEC. 32 T5S R2E SLB&M

SURVEYOR'S SEAL: *Victor E. Hansen*
NOTARY PUBLIC SEAL: *Yvonne Browning*
CITY-COUNTY ENGINEER SEAL: *Mark L. Christensen*
CLERK-RECORDER SEAL: *Mark L. Christensen*

11526

H&H ENGINEERING AND SURVEYING, INC.
938 S MAIN ST - PLEASANT GROVE, UT 84062
TEL: (801) 796-5196 FAX: (801) 796-5196

ENT # 200606
2006 FEB 21 4:11 PM
RECORDED FOR LINDON CITY CORPORATION
SN V4 SEC 32, T5S, R2E, SLB&M TU 055 04

Item 6: Brixton Heights Condominium Plat 1350 W. 200 S.

Date: July 14, 2020

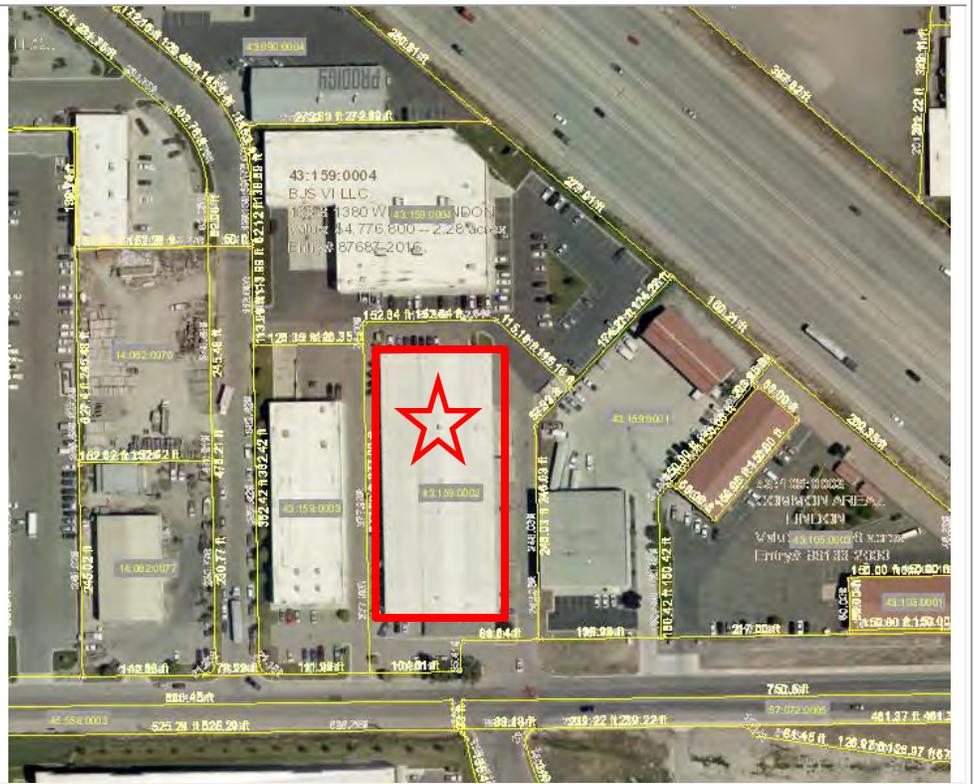
Applicant: Coco
Development, LLC
Presenting Staff:
Michael Florence

General Plan: Light
Industrial
Current Zone: Light
Industrial

Property Owners:
Coco Development
Lindon, LLC

Parcel ID's:
45:241:0001

Council Action
Required: Yes



SUMMARY OF KEY ISSUES

1. The applicants are seeking preliminary major subdivision approval for a 20-unit commercial condominium development;
2. Units range in size from 1,149 square feet to 3,825 square feet;
3. The building has a total square footage of 37,700 square feet;
4. The building is existing. The applicant is proposing to create the individual units and make improvements to those units;
5. Condominium developments follow Utah Code Title 57 Chapter 8 for dividing property as well as Lindon City major subdivision requirements and processes;

OVERVIEW

1. The applicant has provided letters from both an architect and an attorney stating that the application follows the Utah Condominium Code Title 57 Chapter 8. The letters are attached to this report;
2. The proposed development meets the one-acre minimum lot size requirement for the LI zone;
3. The applicant has provided a Condominium Declaration as well as Covenants, Conditions and **Restrictions (CC&R's) for the development**;
4. A condominium plat includes sheets identifying both the internal floor area and vertical space.

MOTION

I move to recommend (to approve, deny, or continue) the applicant's request for preliminary approval of the Brixton Heights Condominium Plat with the following conditions:

1. The applicant will continue to work with city staff to make all final corrections to the plat for recording;
2. Prior to plat recording the applicant will provide staff with a final plat mylar to include notarized **signatures of owner's consent to dedication** and obtain signatures of all entities indicated on the attached subdivision plat;
3. The plans and plat will meet and be constructed as per the relevant specifications as found in the Lindon City Development Manual;
4. Final Covenants, Conditions and Restrictions will be recorded with the subdivision plat;
5. All items of the staff report.

Surrounding Zoning and Land Use

North: Light Industrial – office/warehouse

South: Light Industrial – office/warehouse

East: Light Industrial – office/warehouse

West: Light Industrial – office/warehouse

Lot Requirements – Light Industrial Zone

Required	Compliant
Minimum lot size: one acre	Yes
Parking	<ul style="list-style-type: none">• The existing and amended Jacobson Subdivision plats have in place cross access and shared parking easements• Lot 1 has its own separate parking and parking is not counted towards the requirements for lots 2,3,4• The current parking count for the Lots 2, 3, and 4 is 169 stalls• The applicants are changing their parking layout for lot 2 and adding additional entryways into the building for the commercial condominiums. Currently, they have 60 stalls for the building and will be reducing that to 40.• The applicants provided a square footage and use breakdown for the buildings on Lots 2, 3, and 4. The total parking requirement for these lots is 150 stalls. See parking analysis and plan exhibits

Subdivision Requirements 17.76.070

Required	Compliant
For condominiums, three dimensional drawings of buildings and building elevations.	Yes
developer shall submit a written statement by an attorney who is licensed to practice in Utah. This written statement shall be the attorney's opinion that the condominium declaration, the subdivision plat and the other supporting documentation comply in all respects with the Utah Condominium Ownership Act (UCA Sec.	Yes

57-8-1, et seq.) as well as all applicable federal, state and local laws and ordinances and that when the office of the Utah County Recorder has recorded the condominium declaration and final plat, the proposed project will be a validly existing and lawful condominium project in all respects.	
---	--

Engineering Requirements

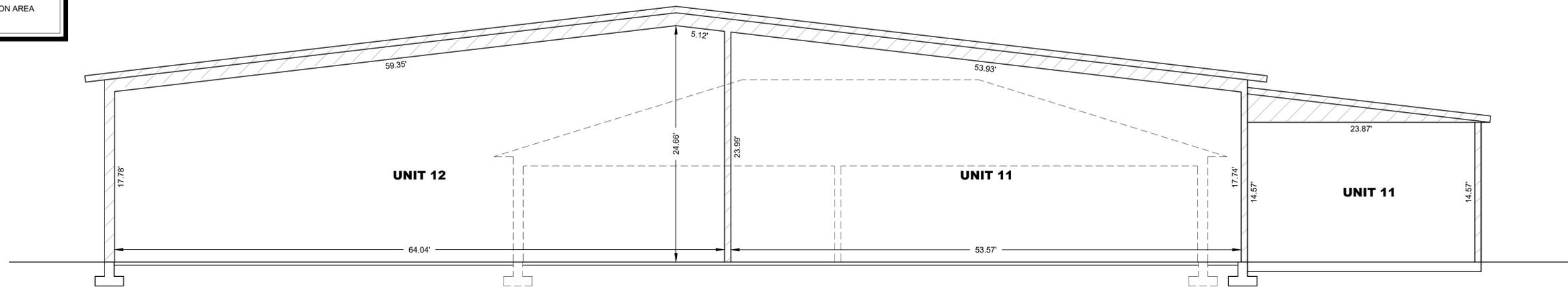
The City Engineer is working through technical issues related to the plat and civil engineering plans and will ensure all engineering related issues are resolved before final approval is granted.

EXHIBITS

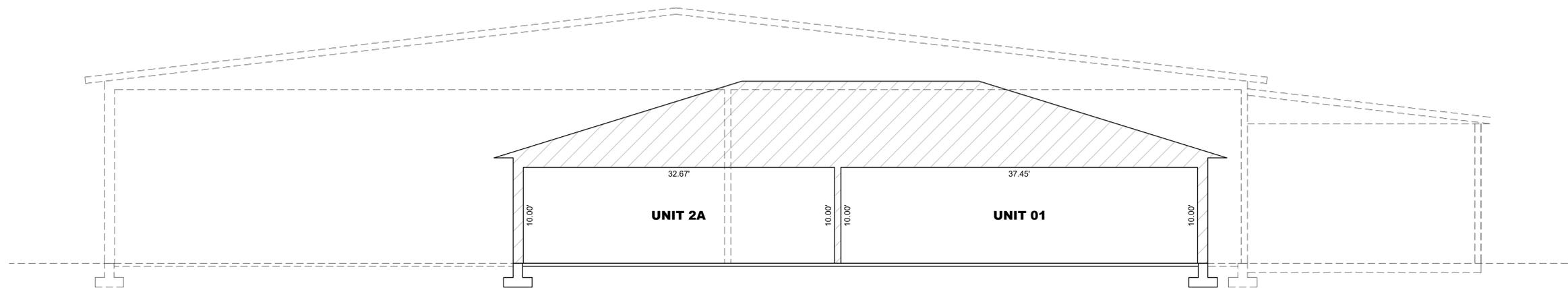
1. Aerial photo
2. Condominium plat
3. Site improvement plan
4. Existing parking analysis
5. Proposed parking plan
6. Compliance letters

LEGEND

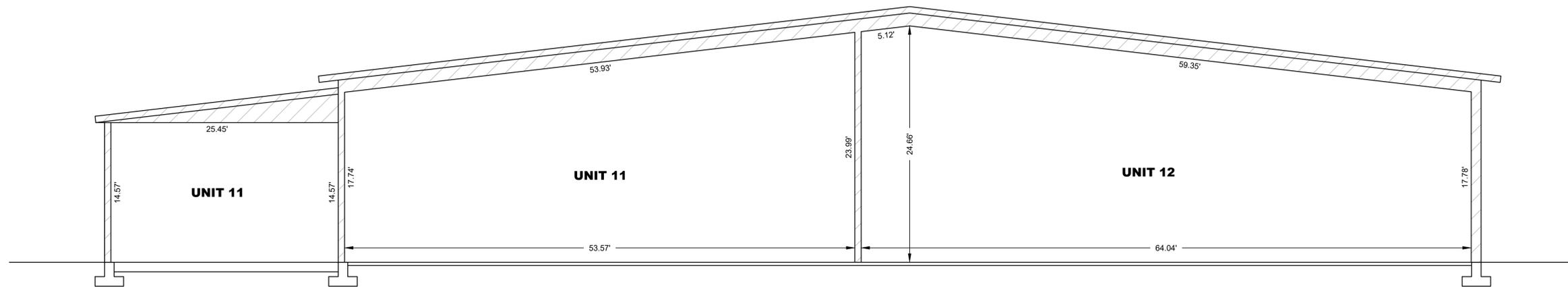
 COMMON AREA



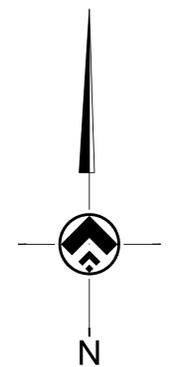
01 SOUTH WAREHOUSE VIEW
SCALE - 1" = 6'



02 SOUTH OFFICE VIEW
SCALE - 1" = 6'



03 NORTH WAREHOUSE VIEW
SCALE - 1" = 6'



KNOW WHAT'S BELOW. CALL 811 BEFORE YOU DIG.
DRAWING IS NOT TO SCALE IF LESS THAN 24"x36". DIMENSIONS AND NOTES SUPERCEDE SCALE.

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF JOHNSON ENGINEERING INC., AND SHALL NOT BE COPIED, REDUCED, OR REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

NO.	DATE	REVISION
5	-	-
4	06/23/2020	PRELIMINARY
3	06/16/2020	PRELIMINARY
2	06/10/2020	PRELIMINARY
1	05/11/2020	PRELIMINARY



CLIENT / OWNER INFORMATION:
 BRIXTON PARTNERS
 SEAN SHAH
 1350 W 200 S
 LINDON, UTAH
 (385)-281-3851

ENGINEER / SURVEYOR INFORMATION:



JOHNSON ENGINEERING
 4436 SOUTH 1025 EAST • SALT LAKE CITY, UTAH 84124
 www.johnsonengineeringinc.com
 Phone: 801-787-4569

SHEET INFORMATION:

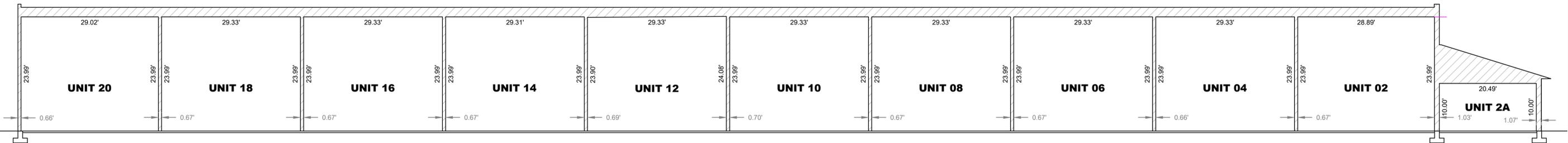
**BRIXTON HEIGHTS CONDO
 PLAT 02
 LINDON WAREHOUSE CONDO**
 LINDON, UTAH COUNTY, UTAH

DRAWN BY: DBJ	CHECKED BY: DBJ	APPROVED BY: DBJ	SHEET: V-103
PROJECT NO: 20-001	DATE: 06/23/2020	SCALE: 1":6'	02 OF 04

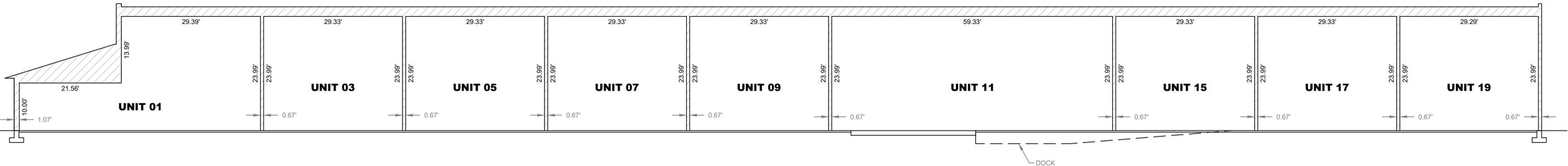
X:\Active Projects\2001 Lindon Warehouse Condo\04 Design\Drawings\Design\Plan Sheets\VP-Survey\Preliminary Plat II.dwg

LEGEND

 COMMON AREA



01 WEST SIDE VIEW
SCALE - 1" = 10'



02 EAST SIDE VIEW
SCALE - 1" = 10'

KNOW WHAT'S BELOW. CALL 811 BEFORE YOU DIG.
DRAWING IS NOT TO SCALE IF LESS THAN 24"x36". DIMENSIONS AND NOTES SUPERCEDE SCALE.

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF JOHNSON ENGINEERING INC., AND SHALL NOT BE COPIED, REDUCED, OR REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

NO.	DATE	REVISION
5	-	-
4	06/23/2020	PRELIMINARY
3	06/16/2020	PRELIMINARY
2	06/10/2020	PRELIMINARY
1	05/11/2020	PRELIMINARY



CLIENT / OWNER INFORMATION:
 BRIXTON PARTNERS
 SEAN SHAH
 1350 W 200 S
 LINDON, UTAH
 (385)-281-3851

ENGINEER / SURVEYOR INFORMATION:



JOHNSON ENGINEERING
 4436 SOUTH 1025 EAST • SALT LAKE CITY, UTAH 84124
 www.johnsonengineeringinc.com
 Phone: 801-787-4569

SHEET INFORMATION:

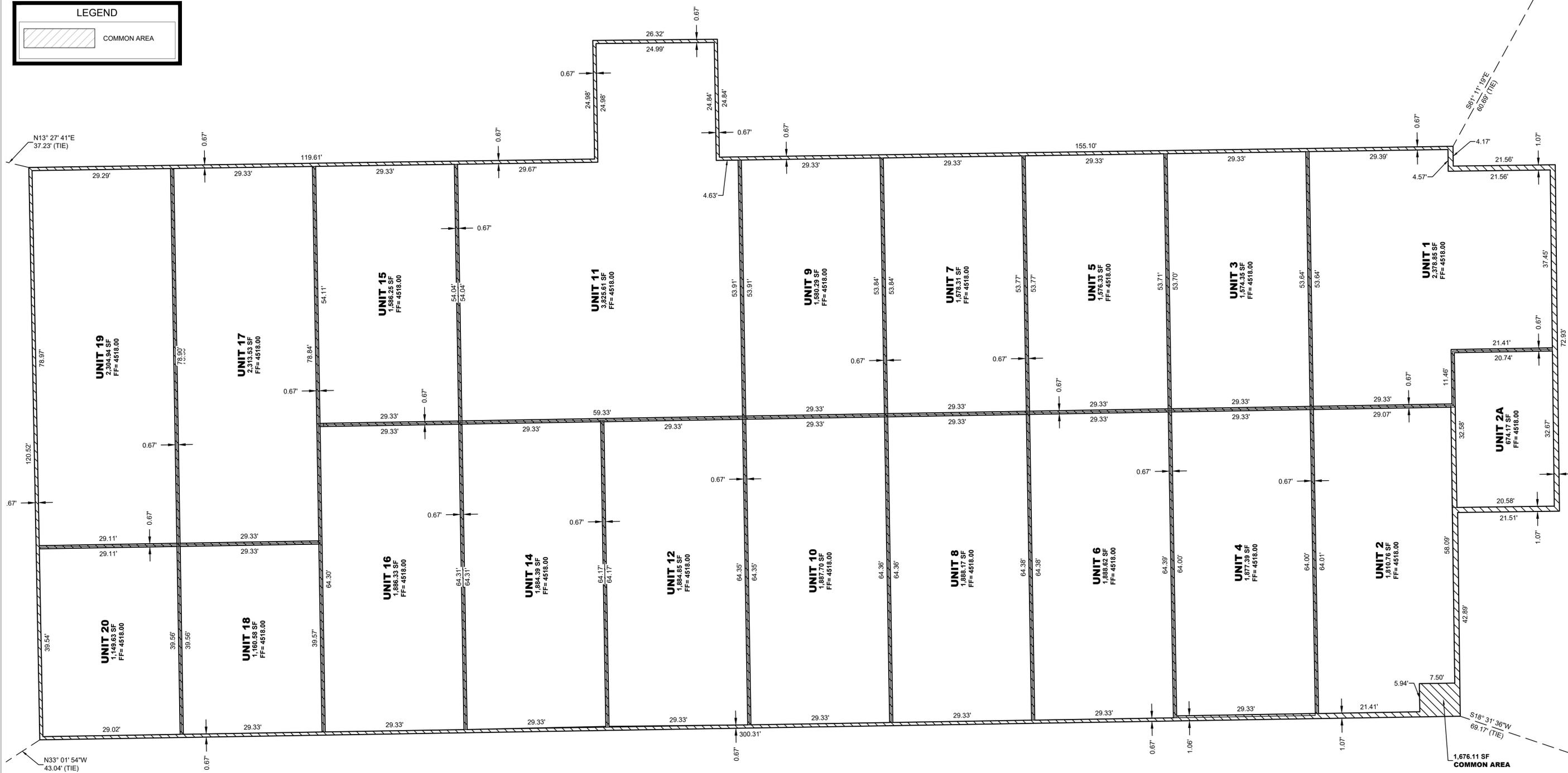
**BRIXTON HEIGHTS CONDO
 PLAT 03
 LINDON WAREHOUSE CONDO**
 LINDON, UTAH COUNTY, UTAH

DRAWN BY: DBJ	CHECKED BY: DBJ	APPROVED BY: DBJ	SHEET: V-104
PROJECT NO: 20-001	DATE: 06/23/2020	03 OF 04	
SCALE: 1":10'			

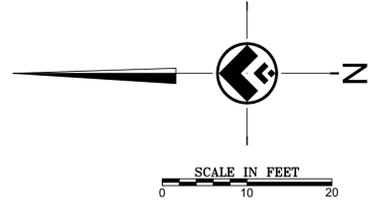
X:\Active Projects\2001 Lindon Warehouse Condo\04 Design\Drawings\Design\Plan Sheets\VP-Survey\Preliminary Plat II.dwg

LEGEND

 COMMON AREA



01 PLAN VIEW
SCALE - 1" = 10'



KNOW WHAT'S BELOW. CALL 811 BEFORE YOU DIG.
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NO.	DATE	REVISION
5	-	-
4	06/23/2020	PRELIMINARY
3	06/16/2020	PRELIMINARY
2	06/10/2020	PRELIMINARY
1	05/11/2020	PRELIMINARY



CLIENT / OWNER INFORMATION:

BRIXTON PARTNERS
SEAN SHAH
1350 W 200 S
LINDON, UTAH
(385)-281-3851

ENGINEER / SURVEYOR INFORMATION:



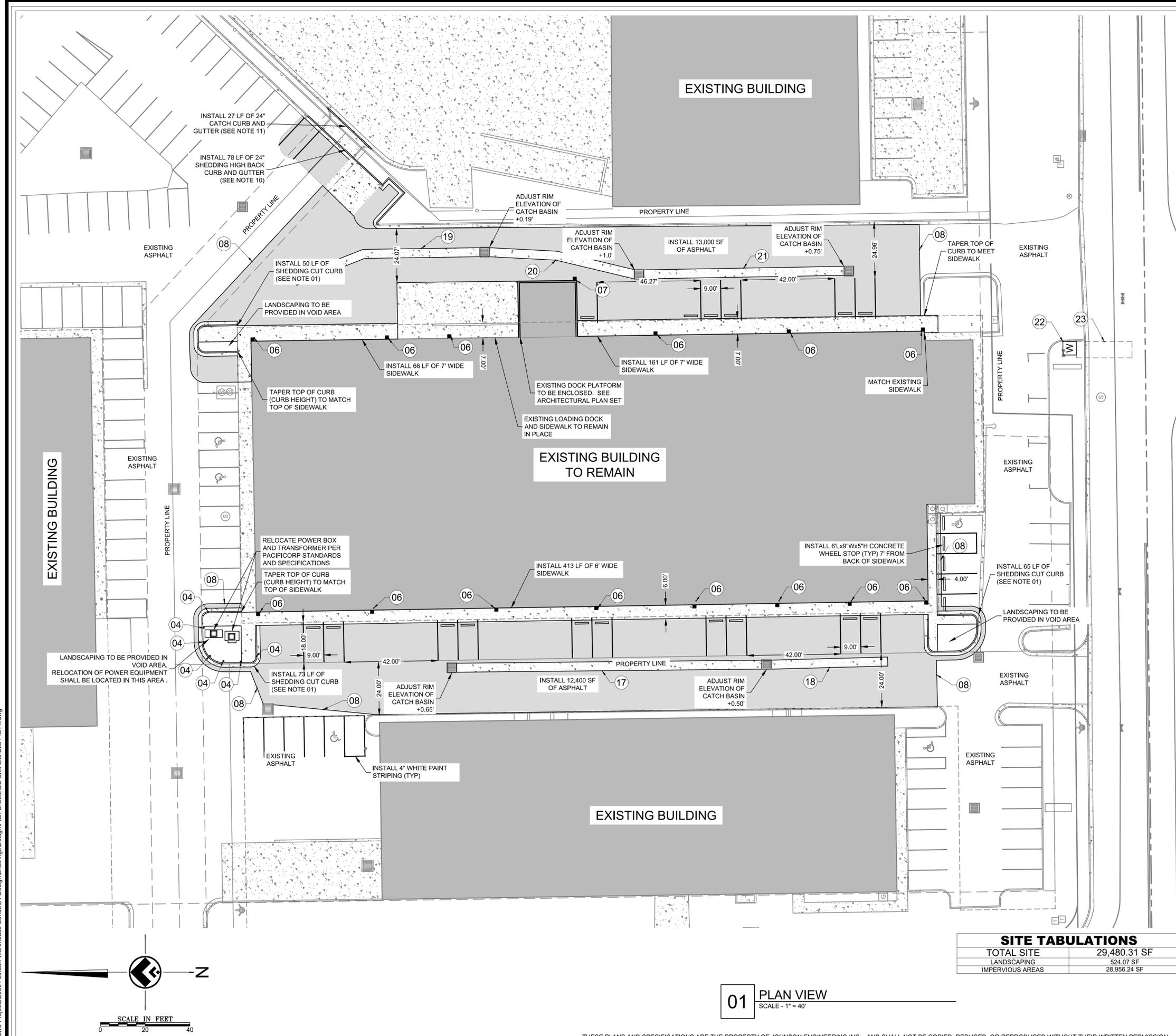
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SHEET INFORMATION:

**BRIXTON HEIGHTS CONDO
PLAT 04
LINDON WAREHOUSE CONDO**
LINDON, UTAH COUNTY, UTAH

DRAWN BY: DBJ	CHECKED BY: DBJ	APPROVED BY: DBJ	SHEET: V-105
PROJECT NO: 20-001	DATE: 06/23/2020		04 OF 04
SCALE: 1"=10'			

X:\Active Projects\2001 Lindon Warehouse Condo\04 Design\Drawings\Design\Plan Sheets\VP-Survey\Preliminary Plat II.dwg



- GENERAL NOTES**
- NOTES:**
- INSTALL 24" CUT SHED CURB AND GUTTER PER DETAIL 03 ON SHEET CS-102
 - INSTALL 227 LF OF 7 FOOT WIDE CONCRETE SIDEWALK PER DETAIL 05 ON SHEET CU-103.
 - INSTALL 413 LF OF 6 FOOT WIDE CONCRETE SIDEWALK PER DETAIL 05 ON SHEET CU-103.
 - INSTALL BOLLARD. SEE DETAIL 01 ON SHEET CS-102.
 - MIN. 3" INCH ASPHALT 8" BASE MATERIAL = 28,900 SF.
 - INSTALL 12" NYLOPLAST ROOF DRAIN (SEE DETAIL CU-101)
 - INSTALL 12" NYLOPLAST ROOF DRAIN **HEAVY DUTY TRAFFIC RATED** (SEE DETAIL CU-101)
 - PROJECT IS LOCATED IN ZONE LI (LIGHT INDUSTRIAL) PER CITY ZONING MAP.
 - SAW CUT MIN. 2' AWAY FROM EXISTING OR PROPOSED CONCRETE. REPLACE ASPHALT IN KIND. MATCH EXISTING ASPHALT ELEVATION AT SAWCUT LINE.
 - INSTALL CATCH CURB AND GUTTER PER DETAIL 02, CS-102.
 - INSTALL SHEDDING HIGH BACK CURB PER DETAIL 03, CS-102
 - SEE SC-101 FOR PROPOSED PARKING STALL COUNT AND ANALYSIS.
 - THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA).
 - ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
 - WATER METERS ARE TO BE LOCATED BEHIND BACK OF WALK OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE, NOT LOCATED BEHIND FENCED AREAS OR UNDER COVERED PARKING.
 - LINDON STANDARD SPECIFICATIONS AND DRAWINGS APPLY TO CONSTRUCTION OF PUBLIC IMPROVEMENTS THAT WILL BE OWNED OR MAINTAINED BY LINDON CITY AND TAKE PRECEDENCE OVER OTHER STANDARDS.
 - INSTALL 137 LF OF 4" WATERWAY SEE SHEET CS-102 DETAIL 04
 - INSTALL 52 LF OF 4" WATERWAY SEE SHEET CS-102 DETAIL 04
 - INSTALL 85 LF OF 4" WATERWAY SEE SHEET CS-102 DETAIL 04
 - INSTALL 66 LF OF 4" WATERWAY SEE SHEET CS-102 DETAIL 04
 - INSTALL 90 LF OF 4" WATERWAY SEE SHEET CS-102 DETAIL 04
 - REMOVE EXISTING 3" WATER METER AND REPLACE WITH PROPOSED 2" WATER METER PER CITY STANDARDS. WATER METER TO SERVICE ALL UNITS THROUGH HOME OWNERS ASSOCIATION. SEE SHEET CU-102.
 - SAWCUT ASPHALT AND TRENCH PER LINDON CITY STANDARD 10 SHEET CS-102



ENGINEER / SURVEYOR INFORMATION:



JOHNSON ENGINEERING
 4436 SOUTH 1025 EAST • SALT LAKE CITY, UTAH 84124
 www.johnsonengineeringinc.com
 Phone: 801-787-4569

CLIENT / OWNER INFORMATION:



BRIXTON PARTNERS
 118 E 126 75 S SEAN SHAH
 DRAPER, UTAH 84020 sean@brixtonpartners.com
 385-281-3851

SHEET INFORMATION:

SITE PLAN
LINDON WAREHOUSE CONDO
 LINDON, UTAH COUNTY, UTAH

SITE TABULATIONS

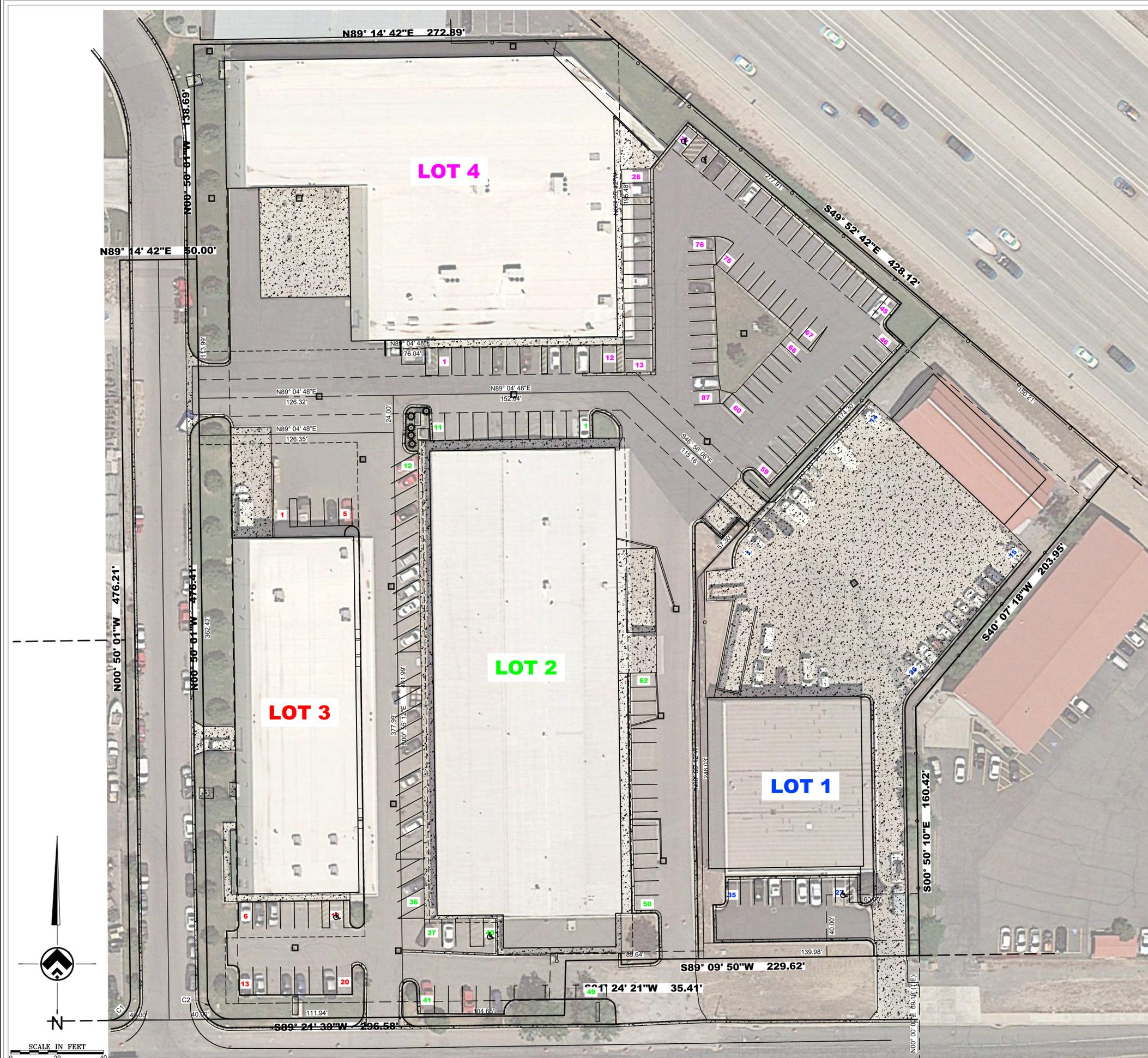
TOTAL SITE	29,480.31 SF
LANDSCAPING	524.07 SF
IMPERVIOUS AREAS	28,956.24 SF

DRAWN BY:	CHECKED BY:	APPROVED BY:	SHEET:
DBJ	DBJ	DBJ	CS-100
PROJECT NO:	20-001		
DATE:	06/23/2020	04	06/23/2020 PRELIMINARY
SCALE:	1":20'	03	06/16/2020 PRELIMINARY
		NO.	DATE
			REVISION

01 PLAN VIEW
 SCALE - 1" = 40'

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LEGEND AND GENERAL NOTES

NOTES:

1. LOT 1 (BUILDING SF = 10,700)
 - 1.1. REGULAR STALLS = 34
 - 1.2. HANDICAP STALLS = 1
 - 1.3. TOTAL STALLS = 35
- PER PREVIOUS SUBDIVISION, LOT ONE DOES NOT HAVE RIGHTS TO CROSS PARKING / ACCESS EASEMENT. LOT 1 SHALL PROVIDE ENOUGH PARKING STALLS TO SATISFY PARKING REQUIREMENTS FOR THE BUILDINGS LOCATED ON LOT 1.
2. LOT 2 (BUILDING SF = 37,700)
 - 2.1. REGULAR STALLS = 59
 - 2.2. HANDICAP STALLS = 3
 - 2.3. TOTAL STALLS = 62
3. LOT 3 (BUILDING SF = 18,400)
 - 3.1. REGULAR STALLS = 18
 - 3.2. HANDICAP STALLS = 2
 - 3.3. TOTAL STALLS = 20
4. LOT 4 (BUILDING SF = 37,200)
 - 4.1. REGULAR STALLS = 85
 - 4.2. HANDICAP STALLS = 2
 - 4.3. TOTAL STALLS = 87
5. SEE JACOBSON SUBDIVISION PLAT D FOR EXISTING SUBDIVISION MAP. ENTRY NO. 20606, MAP 11526, 2/21/2006



KNOW WHAT'S BELOW. CALL 811 BEFORE YOU DIG.
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ENGINEER / SURVEYOR INFORMATION:

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CLIENT / OWNER INFORMATION:

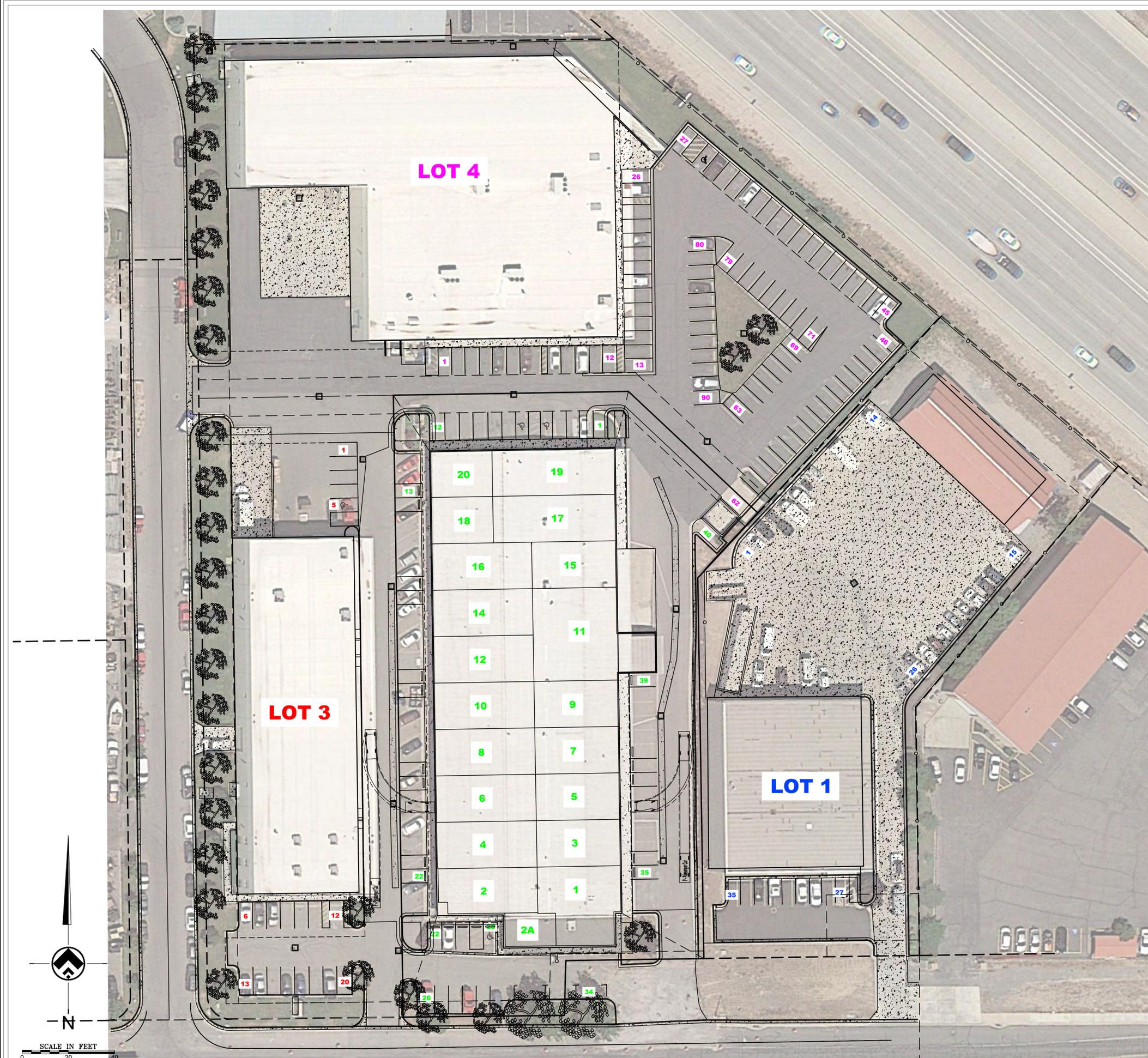
BRIXTON PARTNERS
118 E 126 75 S SEAN SHAH
DRAPER, UTAH 84020 sean@brixtonpartners.com
385-281-3851

SHEET INFORMATION:

EXISTING PARKING ANALYSIS
LINDON WAREHOUSE CONDO
LINDON, UTAH COUNTY, UTAH

DRAWN BY:	CHECKED BY:	APPROVED BY:	SHEET:
DBJ	DBJ	DBJ	V-106
PROJECT NO:	20-001		
DATE:	06/23/2020	04	06/23/2020 PRELIMINARY
SCALE:	1":20'	03	06/16/2020 PRELIMINARY
		NO.	DATE
			REVISION

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LEGEND AND GENERAL NOTES

- NOTES:**
1. LOT 1
 - 1.1. REGULAR STALLS = 34
 - 1.2. HANDICAP STALLS = 1
 - 1.3. TOTAL STALLS = 35
 - PER PREVIOUS SUBDIVISION, LOT ONE DOES NOT HAVE RIGHTS TO CROSS PARKING / ACCESS EASEMENT. LOT 1 SHALL PROVIDE ENOUGH PARKING STALLS TO SATISFY PARKING REQUIREMENTS FOR THE BUILDINGS LOCATED ON LOT 1.
 2. LOT 2 CONDO (BUILDING SF = 36,427 TOTAL (34,852 WAREHOUSE / 1,575 OFFICE))
 - 2.1. REGULAR STALLS = 36
 - 2.2. HANDICAP STALLS = 4
 - 2.3. TOTAL STALLS = 40
 3. LOT 3 (BUILDING SF = 18,377 TOTAL (12,852 WAREHOUSE / 5,525 OFFICE))
 - 3.1. REGULAR STALLS = 18 (8 STALL RESIDE IN CROSS PARKING / ACCESS EASEMENT)
 - 3.2. HANDICAP STALLS = 2 (0 STALL RESIDES IN CROSS PARKING / ACCESS EASEMENT)
 - 3.3. TOTAL STALLS = 20
 4. LOT 4 (BUILDING SF = 37,427 TOTAL (19,031 WAREHOUSE / 18,396 OFFICE))
 - 4.1. REGULAR STALLS = 88
 - 4.2. HANDICAP STALLS = 2
 - 4.3. TOTAL STALLS = 90
 5. TOTAL STALLS REQUIRED (LOTS 2,3,4) 1,000 SF/ 1 STALL WAREHOUSE, 350 SF/1 STALL OFFICE
 - 5.1. TOTAL WAREHOUSE = 66,735 SF (67 STALLS)
 - 5.2. TOTAL OFFICE = 25,496 SF (73 STALLS)
 - 5.3. TOTAL STALLS REQUIRED = 140 STALLS REQUIRED
 6. TOTAL CROSS ACCESS STALLS PROVIDED
 - 6.1. REGULAR STALLS = 142
 - 6.2. HANDICAP STALLS = 8
 - 6.3. TOTAL STALLS = 150 STALLS PROVIDED
 7. **140 STALLS REQUIRED, 150 STALLS PROVIDED. SURPLUS OF 10 STALLS.**
 8. SEE JACOBSON SUBDIVISION PLAT D FOR EXISTING SUBDIVISION MAP. ENTRY NO. 20606, MAP 11526, 2/21/2006
 9. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA).
 10. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
 11. WATER METERS ARE TO BE LOCATED BEHIND BACK OF WALK OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE, NOT LOCATED BEHIND FENCED AREAS OR UNDER COVERED PARKING.
 12. LINDON STANDARD SPECIFICATIONS AND DRAWINGS APPLY TO CONSTRUCTION OF PUBLIC IMPROVEMENTS THAT WILL BE OWNED OR MAINTAINED BY LINDON CITY AND TAKE PRECEDENCE OVER OTHER STANDARDS.
 13. THE PARKING LOT AREA FOR BRIXTON HEIGHTS HAS BEEN DESIGNED FOR PARKING AND BAY DOOR ACCESS BY PASSENGER VEHICLES. LARGE TRUCKS AND SEMI TRAILERS MAY ACCESS DOCK ON EAST SIDE OF BUILDING.



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CLIENT / OWNER INFORMATION:



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385-281-3851

SHEET INFORMATION:

PROPOSED PARKING ANALYSIS
LINDON WAREHOUSE CONDO
LINDON, UTAH COUNTY, UTAH

DRAWN BY:	CHECKED BY:	APPROVED BY:	SHEET:	
DBJ	DBJ	DBJ	CS-101	
PROJECT NO:	20-001			
DATE:	06/23/2020	04	06/23/2020	PRELIMINARY
SCALE:	1":20'	03	06/16/2020	PRELIMINARY
		NO.	DATE	REVISION



05.19.2020

Mr. Mike Florence
Planning and Economic Development Director
Lindon City
100 North State Street
Lindon, Utah 84042

Re: 1350 West 200 South Office/Warehouse Condominium Review

Dear Mike,

I have been asked by Sean Shah of Coco Development Lindon LLC to prepare a letter of evaluation for creating 20 individual condominium units under Utah Condominium Ownership Act (Utah Title 57, Section 57-8) within an existing building located at 1350 West and 200 South. The building is located on Lot 2 of the Jacobson Commercial Subdivision.

Under the Utah Condominium Ownership Act, building shells and all common property are held and managed by a condominium association. Units defined by the shell and demising walls will have separate tax ID numbers and are owned and managed by individual owners. Each of these owners participates in the condominium association. Under the Utah Condominium Ownership Act, fire-rated separation between the individual taxable units is not required if the occupancy class aligns with the IBC 508.4 table.

My Client has hired David Johnson with Johnson Engineering to create a condo plat and revised civil drawings, which has been turned into Lindon for review. The generated condo plat will allow the building to be divided up into the individual taxable units. The revised civil drawings will allow a contractor to rebuild the site grading to allow entrance access to each unit. Currently I am generating document to convert the single use building into the 20-unit condos. These drawings will contain the unit layouts, unit allowable area, restroom quantity and configuration, life safety exiting diagram, and details for construction. The drawings will comply with IBC 2018 building code and Lindon City Standards and will be turned into the city when completed.

The subject project comprises of a single building containing twenty individual units. The following table illustrates the proposed use in each of these units and the 2018 international building code fire-rated separation requirements between uses (table 508.4)



UNIT	USE DESCRIPTION	IBC CLASS	SEPERATION REQ.
Unit 1	Office / Product Storage	B, S-1	NONE
Unit 2	Office / Product Storage	B, S-1	NONE
Unit 2a	Office	B	NONE
Unit 3	Office / Product Storage	B, S-1	NONE
Unit 4	Office / Product Storage	B, S-1	NONE
Unit 5	Storage	S-1	NONE
Unit 6	Office / Product Storage	B, S-1	NONE
Unit 7	Storage	S-1	NONE
Unit 8	Office / Product Storage	B, S-1	NONE
Unit 9	Storage	S-1	NONE
Unit 10	Office / Product Storage	B, S-1	NONE
Unit 11	Office / Product Storage	B, S-1	NONE
Unit 12	Office / Product Storage	B, S-1	NONE
Unit 13	Office / Product Storage	B, S-1	NONE
Unit 14	Office / Product Storage	B, S-1	NONE
Unit 15	Office / Product Storage	B, S-1	NONE
Unit 16	Office / Product Storage	B, S-1	NONE
Unit 17	Office / Product Manufacturing	B, M	NONE
Unit 18	Office / Product Storage	B, S-1	NONE
Unit 19	Office / Product Manufacturing	B, M	NONE
Unit 20	Office / Product Storage	B, S-1	NONE

As a review of the condo plat and revised civil drawings, and soon to be generated building construction documents, it is in my opinion that the conversion from a single property to a multiple condo properties aligns with the Utah Condominium Ownership Act.

Sincerely,

A handwritten signature in blue ink that reads 'Adam E. Orme'.

Adam E. Orme
Gould Plus Architects

June 22, 2020

Mike Florence
 Planning and Economic Development Director
 Lindon City
 100 North State Street
 Lindon, Utah 84042

RE: Legal Review of Brixton Heights Condominiums Project

Dear Mr. Florence:

This law firm represents Coco Development Lindon, LLC, owner of that certain real property and improvements located at 1350 W 200 S Lindon, Utah 84042 (Tax Parcel No. 43:159:0002), which it intends to subdivide into a condominium project to be known as “Brixton Heights”, under a land use application filed on May 11, 2020 with Lindon City.

I have reviewed the attached proposed plat map prepared by Johnson Engineering. I also have reviewed the proposed Declaration of Condominium of Brixton Heights Owners Association Inc. and the proposed Bylaws of the Brixton Heights Owners Association Inc.

I have reviewed the foregoing for compliance with Title 57, Chapter 8 of the Utah Code, also known as the Condominium Ownership Act (the “Act”). It appears to me that in all material respects the property is suitable for subdivision into a multi-unit industrial condominium project, and that the plat, the declaration and bylaws comply with the Act.

Sincerely,

RAY QUINNEY & NEBEKER P.C.

/s/ Blake Bauman

Blake R. Bauman

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