



COALVILLE CITY COUNCIL MEETING NOTICE AND AGENDA

Notice is hereby given that the Coalville City Council will hold its regular meeting on **Monday, February 11, 2019** at the Coalville City Hall, 10 North Main, Coalville, Utah. This meeting will begin at **6:00 P.M.** The agenda will be as follows:

1. Roll Call
2. Pledge Of Allegiance
3. City Council Agenda Items:
 - A. **Public Hearing:** Public Hearing to review, discuss, receive comment, and possibly take action on the proposed North Summit Recreation Park Final Plan, 235 S Beacon Hill Drive
 - B. Review And Possible Approval Of Resolution 2019-1 Water Connection Policy
 - C. Planning Consultant Updates
 - D. Public Works Updates
 - E. Community Development Updates
 - a. Business Licenses
 - F. Legal Updates
 - G. Council Updates
 - H. Mayor Updates
 - I. Executive Session
4. Review And Possible Approval of Minutes
5. Review And Possible Approval Of Accounts Payable
6. Adjournment

** Coalville City reserves the right to change the order of the meeting agenda as needed.*

Dated this 8th day of February, 2019.

Mayor
Trever Johnson

Council
Adrienne Anson
Cody Blonquist
Arlin Judd
Rodney Robbins
Tyler Rowser



Nachele D. Sargent, City Recorder

****In compliance with the Americans with Disabilities Act, individuals needing special accommodations during this meeting should notify the City Hall (435-336-5981) at least three days prior the meeting.**

Posted: February 8, 2019 City Hall, Coalville City Website, Utah Public Notice Website

PO Box 188
10 North Main Street
Coalville, UT 84017

P: 435.336.5981
F: 435.336.2062
cityhall@coalvillecity.org
www.coalvillecity.org

Coalville City Council
Regular Meeting
HELD ON
February 11, 2019
IN THE
CITY HALL

Mayor Trever Johnson opened the meeting at 6:00 P.M.

COUNCIL PRESENT: Mayor Trever Johnson
Council: Arlin Judd, Adrienne Anson,
Rodney Robbins, Tyler Rowser,
Cody Blonquist

CITY STAFF PRESENT:

Derek Moss, Planner
Don Sargent, Consultant
Sheldon Smith, City Attorney
Zane DeWeese, Public Works Director
Nachele Sargent, City Recorder

PUBLIC IN ATTENDANCE:

Nathan Brooks, Karren Cornia, Amanda
Brady, Brandon Brady, Michael Schenk

Item 1 – Roll Call:

A quorum was present.

Item 2 – Pledge Of Allegiance:

Mayor Trever Johnson led the Council, Staff, and Public in the Pledge of Allegiance.

**Item A – Public Hearing: Review, Discuss, Receive Comment, And Possibly Take Action On
The Proposed North Summit Recreation Park Final Plan, 235 South Beacon Hill Drive:**

Nathan Brooks stated he was the Director of the North Summit Recreation District and they had been in partnership with Coalville City the last couple of years to try and get this park going. Mr. Brooks stated they had received public feedback and worked with their Architect to address those comments. He stated they had received a RAP Tax Grant for the pavilion, restrooms, and playground. Derek Moss referred to the Staff report (Exhibit A) and stated the Planning Commission gave a positive recommendation with no extra conditions. He stated they had questioned the proposed Phases of the project, who would be responsible for the platted road and when would it be put in, the sidewalk that would be part of Phase I, and the engineering requirements that needed to be met. Derek stated

the engineering comments had since been addressed. Council Member Adrienne Anson questioned what was included in the landscaping plan. She stated it showed a drip line around the playground and questioned if they could incorporate trees there. Nathan Brooks stated they would be willing to do whatever was needed. The future phases would include a multi-use field and walking path. The sidewalk would be put in with Phase I and they were working with Holcim to get help with that. They would be sharing the parking lot with the North Summit School District and had an agreement with them. Mayor Trevor Johnson stated if they were willing to be flexible with the landscaping, he would like the City to have the opportunity to weigh in on what was put in since the City would be maintaining it. Nathan Brooks stated he didn't feel that would be a problem. Council Member Rodney Robbins questioned if the landscaping plan would need to be changed before approval of the final plan was given. Mayor Trevor Johnson stated it could be part of the motion. Sheldon Smith stated they could state the landscaping plan would be flexible.

Mayor Trevor Johnson opened the public hearing at 6:14 P.M.

Michael Schenk – 202 S Settlers Drive

Michael Schenk stated he lived in the adjoining subdivision and was a roofing contractor. He stated he would like the opportunity to bid to install the roof and questioned who he would talk to. Mayor Trevor Johnson stated the City had certain procurement processes and referred him to JUB Engineers Inc.

Council Member Cody Blonquist questioned if they planned to keep the restroom open during the Winter. He questioned if the City would be responsible for any vandalism that may occur there. The Mayor and Council discussed the options of closing the restroom including the maintenance, keeping it open year-round to have the facility available, automatic locks, year-round supervision, being able to heat the facility to avoid freezing, and who paid the utility bills. Nathan Brooks stated the NS Recreation District would pay the utility bills. Sheldon Smith stated they should address the issue of whether to keep the restrooms opened or closed in the Winter now. He reviewed the O & M agreement and stated the City wouldn't be responsible for vandalism or damages to the equipment at the playground or restrooms. Mayor Trevor Johnson stated he felt in the Winter months the restroom wouldn't be used as much and it would be prudent to close it during that time.

Karren Cornia – 266 S Beacon Hill Drive

Karren Cornia questioned if they could view the plans online. Nathan Brooks stated they didn't have anything available online. Mayor Trevor Johnson stated they had held numerous public meetings as this project had shaped and changed and this was the final plan. Karrin Cornia stated the restrooms would get a lot of use especially come Summer

with all of the activities. Mayor Trever Johnson stated the restroom would be open for the Summer.

Mayor Trever Johnson closed the public hearing at 6:24 P.M.

Council Member Adrienne Anson stated she thought there should be a grand opening when it was ready for use. Council Member Rodney Robbins questioned if there was a lighting plan. Council Member Cody Blonquist stated the plans only showed lighting for the restroom and pavilion. There wasn't any perimeter lighting or lighting around the playground. Council Member Adrienne Anson questioned if there needed to be lights for the parking lot. Council Member Tyler Rowser stated there wasn't any there now.

A motion was made by Council Member Arlin Judd to follow the Planning Commission's recommendation and approve the North Summit Recreation District Park, Beacon Hill Park, Final Plan with the stipulation that the landscaping plan be subject to City input and final approval with flexibility to change the plan as needed and to close the restroom facility in the Winter and the restroom needed to be capable of being winterized. Council Member Rodney Robbins seconded the motion. The Ayes won the vote. Motion Carried.

Roll Call:

Council Member Judd – Aye

Council Member Anson – Aye

Council Member Robbins – Aye

Council Member Rowser – Abstain He is on the North Summit Recreation District Board.

Council Member Blonquist – Aye

Mayor Johnson thanked Nathan Brooks and Tyler Rowser for all of the work to get this park plan approved.

Item B –Review And Possible Approval Of Resolution No. 2019-1 Water Connection Policy:

Zane DeWeese stated in 2015 the City adopted a water policy for connections outside the City limits. He stated he was requesting for that policy to be a Resolution (Exhibit B) with a couple of changes from the original policy. Zane stated the one change was on item #4 which now required existing and new connections to be responsible for their lateral off of the main line no matter where the meter was located. He stated he thought this needed to be defined to protect the City so there was no question that any line that came off of the main line would be the individual property owner's responsibility. Sheldon Smith stated this was just an administrative change and it made sense to make the policy a Resolution. Council Member Adrienne Anson questioned why requests would be determined on a case-by-case basis. Mayor Trever Johnson gave the example of not being able to provide

sufficient water flow for fire protection. Council Member Cody Blonquist questioned why the City would need to provide water to anyone outside of the City limits. Zane DeWeese stated the City had been petitioned and connections approved before. He stated this would also make sure the City was receiving water in return with requirement of item #5.

A motion was made by Council Member Adrienne Anson to adopt Resolution No. 2019-1 as it relates to the policy for connecting to the City water system outside of the Coalville City limits. Council Member Cody Blonquist seconded the motion. All Ayes. Motion Carried.

Roll Call:

**Council Member Judd – Aye
Council Member Anson – Aye
Council Member Robbins – Aye
Council Member Rowser – Aye
Council Member Blonquist – Aye**

Item C – Planning Consultant Updates:

Don Sargent stated he had held a work session on the Code Revisions with the Planning Commission and another one was scheduled next week. He stated there was a lot of material to review with Phase II of the revisions. Don stated they were currently addressing Lighting, Signing, Fences, and Noise provisions. Mayor Trevor Johnson questioned when Phase II would be to the Council for approval. Don stated it could potentially be to them around the first of April. Mayor Trevor Johnson stated he would like to have this taken care of by the end of March if possible. Don Sargent stated if they had one public hearing it would trigger the pending ordinance doctrine which would allow the revisions to be enforced. He stated he would try to accelerate the review. He stated they were all separate items and wouldn't need to be approved as a package. Don stated he had started research for Phase III which would address five items including Open Space, Parks, and Trails, Hearing Officer provisions, Bees, Master Planned Development provisions, and Enforcement procedures. He stated he had been reviewing other jurisdictions to be up to date with enforcement for small towns. He stated he was looking at incentivized enforcement that would include a fine per day past the notification deadline. Council Member Adrienne Anson stated she thought it would be a good idea to review the Zoning lines. Mayor Trevor Johnson agreed and stated we needed to be more consistent with the changes Summit County has made. Don Sargent stated they did need to be reviewed, but there was a lot that went into re-Zoning when looking at land constraints, services, and the transportation network. The Council agreed to move in the suggested direction for Phase III.

Don Sargent stated he had met with the Wohali Partners about the next steps for their application process. Mayor Trevor Johnson stated the City had requested for Don Sargent to represent them as the Wohali Partners worked through the process. Don Sargent stated it was his job to represent the City's interest and benefit. He stated the first meeting was to define his role and give them some ideas on their application process that was more consistent with the City's Code with the project they were trying to propose. He stated they had met two more times at their request and he had sent out a meeting summary each time to the Mayor and Staff to keep them informed and up to date. Don stated the Wohali Partners were now looking at amending their application and applying for several re-Zones in combination with a Master Planned Development to address the village concept for their project. He stated they would be addressing the concerns of water and access. Don stated they were working toward having their information ready to present for a work session for the Planning Commission in March. He stated they would prepare a preliminary sensitive lands analysis. He stated it wouldn't be a detailed analysis until they progressed to the development entitlement stage, but they would be providing mapping and documentation for an overlay protection zone for the Icy Springs area for review. Council Member Adrienne Anson questioned if they would be doing a third-party aquifer storage study. Don stated that wouldn't be required until further in the process, but they would have base information for the infrastructure and how the project would be served in connection with the City's systems and any major infrastructure developments for review now. He stated just because a Zone allowed a certain number of lots it didn't mean it would be approved for the total amount. The review may result in a lower number and it wasn't fair for any applicant to spend a large sum of money until they reached a level of confidence that the project could proceed further.

Item H – Mayor Updates:

Mayor Trevor Johnson stated he had received a letter from Summit County about an event at the Fairgrounds that needed to be addressed with concerns about noise levels. He stated Mercedes-Benz was interested in using the four animal buildings as a temporary workshop space for a group of technicians to do maintenance on test cars. Mayor Johnson stated they would have air compressors, impact tools, and generators and there were concerns because of the noise with the mink farms in the area and being right next to homes. Sheldon Smith stated the group did say they could provide noise canceling generators. Mayor Johnson stated this was something the County wanted to have happen and he thought it would be good for the City too. He questioned if anyone had any other issues that needed to be considered. He stated he felt if the Code revisions were in place to address the noise allowance and they were willing to do what was needed to keep the equipment quiet, he felt like they could be given approval. Council Member Cody Blonquist questioned if the City had a Special Event Permit to allow them to have noise later than usual. The noise ordinance only went to 11:00 P.M. The Mayor and Council discussed the concerns and options of the event including the noise ordinance referring to construction and if this was different, the time frame which was from 2:00 P.M. to possibly

1:00 A.M. from May 30th through June 24th , a special permit, the lighting plan, and the obligation to mitigate the noise for the residents. The Mayor and Council decided they would like them to apply for a Special Event Permit and to come and meet with the City so all of the questions could be answered. Niki Sargent stated she would contact them and let them know.

Mayor Trever Johnson stated he had invited Amanda Brady to come to the meeting. She had applied for a business license for a basement rental and was questioning the additional sewer fee she was charged. Amanda Brady stated they were charged the fee for two months and the renter had only been in for one month. She stated they hadn't been told there would be an additional fee. She referred to the information sheet from the website and the Sewer Rate Resolution. The information sheet stated a fee was charged for each connection and they only had one connection and the Resolution stated an additional fee was charged for each multi-family dwelling space, but Zoning established them as a single-family dwelling with an accessory basement dwelling. Mrs. Brady stated she didn't think the additional fee applied to her. She stated she was also concerned that where she had the potential to rent the basement, she would be stuck with paying the fee forever, even if they weren't renting the property. She stated she felt it was wrong of the City to charge the fee before they had a business license. Niki Sargent stated unfortunately not everyone was honest about having an accessory dwelling rental and so when the City heard someone was renting out an additional unit on their property, the fee was automatically added to their bill. She stated the City considered their property as multi-family for billing purposes and gave the example that an apartment building would only have one connection, but could be three stories high. She stated there were several in the City that had the same fee. Amanda Brady stated they wasn't trying to hide the fact they were renting their basement, but she didn't feel the City should just assume something without asking them and they hadn't been told when they applied for their building permit that there would be additional charges. Mayor Trever Johnson stated he had explained before how the sewer fee structure was out of the City's hands as they had to follow the guidelines from the funding sources for the sewer plant. He stated if they notified the City they were no longer renting their basement or if they discontinued their business license, the fee would be removed. Amanda Brady stated she felt they should have had some type of formal notification. Mayor Trever Johnson stated the City would work on making that clearer in the future and would update the wording on the rate resolution. He stated the City would could issue them a refund for the month they weren't renting the apartment.

Item D – Public Works Updates:

Zane DeWeese stated the Contractor was working on the water lines in the Judd's field and they should be finished by the end of the week.

Zane DeWeese stated they had a pre-construction meeting scheduled tomorrow with Stapp Construction for the water tank and he would have more information at the next meeting.

Zane DeWeese stated they were continuing with their efforts on snow removal. Mayor Trever Johnson stated he thought the Public Works guys did a great job with the snow removal. He stated if the Council or Staff had questions or complaints about the snow removal or any other issue, they should refer them to him. He stated he would like them to bring it to him when it occurred instead of waiting for Council meeting so concerns could be addressed sooner rather than later. Mayor Johnson stated the Public Works had a hard time keeping up their morale when they saw negative comments on social media and it would be appreciated if the Council would stick up for the them.

Item F – Community Development Updates:

Derek Moss stated there were some business licenses for approval. He stated Amanda and Brandon, Brady Rental, was a basement rental. He stated they met the requirements and had adequate off-street parking. Derek stated there was also an application for WS Rentals, Wade Staples, for a home rental. Mayor Trever Johnson stated he had two more applications. He stated one was for Tressa Stokes as a basement rental and Christopher Coghlin for a home business that helped with Veteran's transition issues. Derek stated he hadn't received them for review.

A motion was made by Council Member Tyler Rowser to approve the business license for the Brady Rental and WS Rentals as presented and to approve the Tressa Stokes Rental and Chris Coghlin home business contingent upon Derek Moss' review and approval. Council Member Cody Blonquist seconded the motion. All Ayes. Motion Carried.

Item G – Legal Updates:

Sheldon Smith stated he didn't have anything tonight.

Item H – Council Updates:

Council Member Arlin Judd stated he noticed the City was having to plow snow around vehicles on Main Street and questioned if they had tagged the vehicles. Zane DeWeese stated they had tagged the vehicles and then they would be moved and then they would bring them back again. Sheldon Smith stated it would probably continue to be like that until there was more enforcement incentives.

Council Member Adrienne Anson stated she had applied for a grant with the Utah State Historical Society to make the ledges a historical monument. She stated it was in process and she would let them know how it turned out. Council Member Anson stated she had

been working with NaVee Vernon, Jerre Holmes, Doug Wilde, and Eric Blonquist to do a trail along the ledges and this historical grant was part of the project. Mayor Trever Johnson questioned if it would come before the Council for discussion and approval and Council Member Anson stated it would.

Mayor Trever Johnson asked for an update on the 150th Golden Spike Celebration. Council Member Adrienne Anson stated she had spoken with the Principals of the Schools to arrange for the children to see the steam engine coming through on the morning of May 10th. She stated she would verify the time. She reviewed what was listed on the brochure which stated the State Historical Society would be holding a lecture in Coalville. Council Member Anson stated the DUP was interested in opening their museum. She stated she thought the City should do a 5K Run and arrange to open the Rail Trail bridge across the freeway to Echo. Mayor Johnson stated to let them know if she needed help.

Mayor Trever Johnson questioned if there had been any progress with Stephen Dalby and the Car Wash lights. Derek Moss stated Mr. Dalby had agreed to have four of the six lights turn off at 10:00 P.M. Sheldon Smith stated Mr. Dalby had said he would send a letter to the City stating exactly what he was going to do to mitigate the light issues. Derek Moss stated he had told them around two weeks ago he was going to have his electrician set a timer to shut off the lights. Sheldon Smith stated all of the lights were still on.

Item J – Executive Session:

There wasn't an executive session tonight.

Item 4 – Review And Possible Approval Of Minutes:

The Mayor and Council reviewed the minutes of the January 14, 2019 meeting.

A motion was made by Council Member Arlin Judd to approve the minutes of January 14, 2019 as amended. Council Member Tyler Rowser seconded the motion. All Ayes. Motion Carried.

Item 5 – Review And Possible Approval Of Accounts Payable:

The Mayor and Council reviewed the accounts payable for February 2019.

A motion was made by Council Member Rodney Robbins to approve the accounts payable for February 2019. Council Member Adrienne Anson seconded the motion. All Ayes. Motion Carried.

Item 6 – Adjournment:

A motion was made by Council Member Tyler Rowser to adjourn the meeting. Council Member Rodney Robbins seconded the motion. All ayes. Motion Carried.

The meeting adjourned at 7:58 P.M.

Mayor Trevor Johnson

Attest:

Nachele D. Sargent, City Recorder



J-U-B ENGINEERS, INC.

"Exhibit A"
Council 2/11/19

JUB COMPANIES



GATEWAY
MAPPING
INC.

DATE: February 8, 2019

TO: Coalville City Council

CC: Mayor Trevor Johnson; Zane DeWeese, Public Works Director;
Sheldon Smith, City Attorney;

FROM: Shane McFarland P.E., City Engineer
Derek Moss, AICP, City Planner

SUBJECT: Beacon Hill Park (5519002)

Application Information: North Summit Recreation Special Service District has submitted plans for phase 1 of the Beacon Hill Park. Phase 1 includes a playground, Pavilion, and Restroom along with surrounding area improvements.

Decision to be Made: The decision to consider approval of the construction plan submitted.

Staff Comments:

The property is located in the Public Facilities Overlay within the R4 zone. The following comments are related to the plan review. (Note: The following comments have been addressed and re-submitted)

- The plans reference a geo-technical report. Please submit the report to the city for our file and review.
- The site layout does not include any survey control or northing and easting for layout. It would be recommended to provide this information for accurate layout.
- The reference notes indicate the future road is to be engineered and installed by the city. The city should be aware that this is noted.
- Plans along with footing design for the pavilion will need to be submitted for building permit review
- Please relocate the culinary water lateral to avoid the proposed pavilion. With footing depths and design unknow it would be preferred to avoid any utility under the pavilion.
- The minimum size for storm drain is 15" please upsize the 12" CPP to 15 inches.
- There is concern in having a 2'x2' catch basin in the middle of the play area. We would recommend a land drain type approach as to avoid getting wood chips in the box as well as having a steel grate exposed in the area kid are playing. 6 inch pipe is sufficient.
- Please indicate the import material that is proposed to prepare the area for the playground and sidewalks.
- The general notes in the erosion control plan reference an incorrect city.

- We would recommend considering putting multiple valves for the drip line as to accommodate orientation and slope more efficiently.

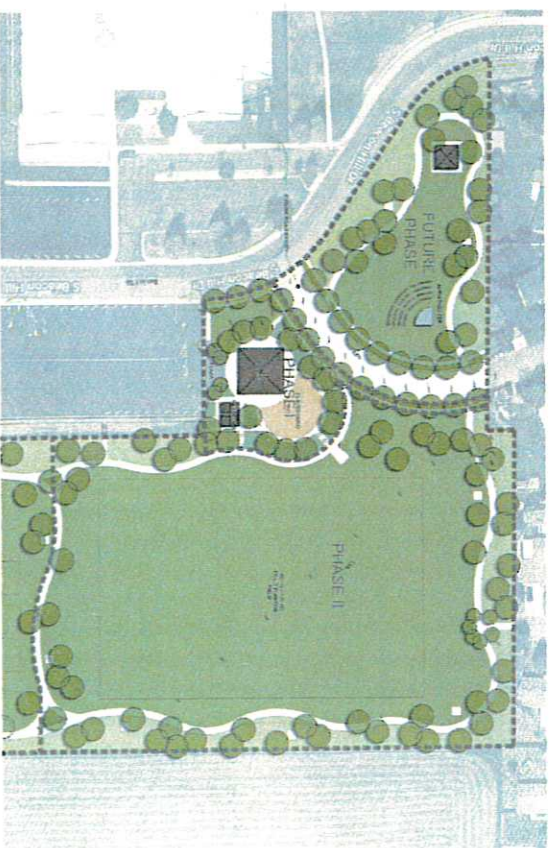
We would recommend approval of the Beacon Hill Park the above mentioned comments have been addressed and re-submitted.



North Summit Recreation Special Service District **BEACON HILL PARK**

PHASE I

325 S. Beacon Hill Drive
Coalville, UT



Final Site Plan Review

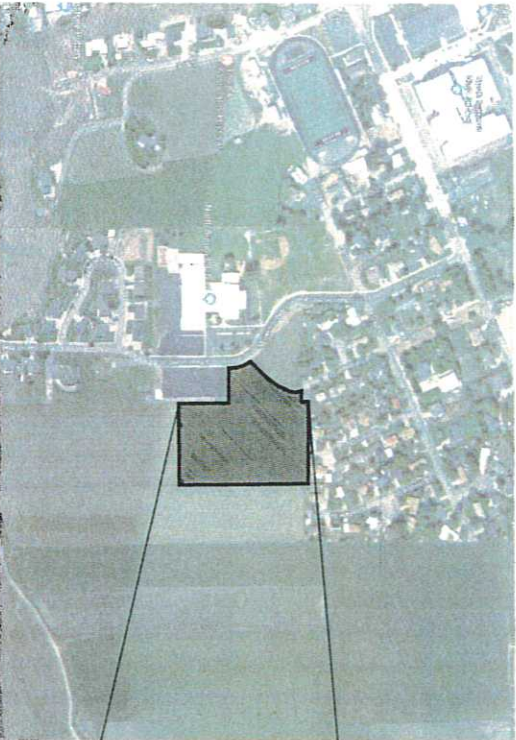
February 7th, 2019

sheet index

CV100	COVER SHEET
DP100	GENERAL NOTES & SHEET INDEX
SP100	EXISTING SITE & DEMO PLAN
SP101	OVERLAY SITE PLAN
SP102	STREETSIDE PLAN
SP401	SITE AMENITIES PLAN
SP402	SITE AMENITIES ENLARGEMENT PLAN
SP501	SITE DETAILS
SP502	SITE DETAILS
SP503	SITE DETAILS
SP504	SITE DETAILS
C101	SITE & UTILITY PLAN
C102	GRADING PLAN
C103.1	EROSION CONTROL PLAN
C103.2	EROSION CONTROL PLAN
C500	TYPICAL SECTIONS & DETAILS
EC001	ELECTRICAL SYMBOL, SCHEDULES
ES101	ELECTRICAL SITE PLAN
ES401	ELECTRICAL ENLARGED SITE PLAN
ES501	DETAILS AND ONE-LINE DIAGRAM
L101	LANDSCAPE PLAN
L102	LANDSCAPE PLAN
L501	LANDSCAPE NOTES, SCHEDULE, & DETAILS
L101	IRRIGATION PLAN
L102	IRRIGATION PLAN
L501	IRRIGATION NOTES, SCHEDULE, & DETAILS
L502	IRRIGATION DETAILS
L503	IRRIGATION DETAILS

project team

OWNER	
North Summit Recreation Special Services District	
PO Box 783	
Coalville, UT 84107	
P: 435.640.2192	
F: -	
CONTACT: Tyler Rowse, Chairman	
E-MAIL: tylerrowse@nssrd.org	
LANDSCAPE ARCHITECT	
Bill line designs	
8719 S Sandy Parkway	
Sandy, Utah 84070	
P: 801.592.3157	
F: -	
CONTACT: Scott Stephens	
E-MAIL: scott@billinedesigns.com	
CIVIL ENGINEER	
PEPP Consulting	
9270 S 300 W, Suite A-2	
Sandy, Utah 84070	
P: 801.592.2521	
F: -	
CONTACT: Ryan Kleiman	
E-MAIL: ryan@pepp.net	
ELECTRICAL ENGINEER	
Envision Engineering	
240 E. Morris Ave #200	
Salt Lake City, Utah 84115	
P: 801.594.1150	
F: -	
CONTACT: Michael Cathright	
E-MAIL: michaelm@envisioneng.com	



vicinity map



project site

general notes

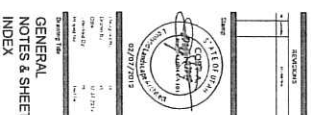
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UTAH CONSTRUCTION CODE AND COALVILLE CITY STANDARDS.
2. THE PROJECT SHALL NOT BE CONSIDERED COMPLETE UNTIL ALL CURBS, PAVEMENT AND SIDEWALKS HAVE BEEN SWEEP CLEAN OF ALL DIRT AND DEBRIS.
3. EXISTING UTILITIES, EASEMENTS, AND STRUCTURES SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH AVAILABLE RECORDS. THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION, SIZE, TYPE, AND DEPTH OF ALL UTILITIES AND STRUCTURES PRIOR TO ANY CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITIES AND STRUCTURES.
4. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO OBTAIN ALL NECESSARY PERMITS AND APPROVALS REQUIRED TO LEGALLY AND RESPONSIBLY COMPLETE THE WORK.
5. THE CONTRACTOR IS RESPONSIBLE FOR THE REMOVAL, PROTECTION, OR RELOCATION OF ALL OBSTRUCTIONS AND DEBRIS WITHIN THE DESIGNATED CONSTRUCTION AREA PRIOR TO STARTING NEW CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY DEBRIS RESULTING FROM NEW CONSTRUCTION.
6. THE CONTRACTOR SHALL TAKE PRECAUTIONS TO AVOID DAMAGE TO EXISTING FEATURES AND FACILITIES SCHEDULED TO REMAIN AS PART OF THE PROJECT. THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE PROTECTION OF ANY PORTION OF THE PROJECT'S SUBORDINATING AREA DURING CONSTRUCTION. SHALL BE REPAIRED AT THE CONTRACTOR'S EXPENSE AT NO ADDITIONAL COST TO THE PROJECT.
7. THE CONTRACTOR SHALL CALL BLUE STAKES AT 1-800-662-4111 FOR UNDERGROUND UTILITY LOCATIONS AT LEAST 48 HOURS PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION OR EXCAVATION.
8. THE CONTRACTOR SHALL MAINTAIN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY COALVILLE CITY AND THE STATE OF UTAH.
9. ALL SPOT ELEVATIONS ARE FINISH GRADES UNLESS OTHERWISE NOTED.
10. ALL CLAMPING OF DISCREPANCIES BETWEEN THE DRAWINGS AND THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER'S REPRESENTATIVE PRIOR TO BEGINNING OF WORK.
11. CROSS SLOPES ON ALL NEW HANDSCAPE AND PAVEMENT SHALL NOT EXCEED 2% UNLESS OTHERWISE SHOWN.
12. ALL AREAS WITHIN AND AFFECTED BY THE PROJECT SHALL HAVE POSITIVE DRAINAGE. POSITIVE DRAINAGE SHALL BE PROVIDED TO DIRECT STORMWATER AWAY FROM ALL STRUCTURES.
13. CONSTRUCTION SHALL MAINTAIN A STORM WATER POLLUTION PREVENTION PLAN (SWPPP) AS REQUIRED BY COALVILLE CITY AND THE STATE OF UTAH.
14. ALL CONSTRUCTION SHALL ADHERE TO THE RECOMMENDATIONS OF THE GEOTECHNICAL REPORT.
15. ANY PROPOSED CHANGES TO THE APPROVED DESIGN SHALL BE REVIEWED AND APPROVED BY THE ENGINEER OR ARCHITECT OF RECORD ALONG WITH NORTH SUMMIT SPECIAL RECREATION DISTRICT.

project location

MAJOR	PLANNING COMMISSION CHAIR	DATE	CITY ENGINEER	DATE	PUBLIC WORKS DIRECTOR	DATE	FIRE DISTRICT	DATE	CONTRACTOR	DATE	DESIGN ENGINEER	DATE	DESIGN SUPERVISOR	DATE
TREOR JOHNSON														

FINAL SITE PLAN REVIEW

North Summit Recreation Special Service District
BEACON HILL PARK
 325 S. Beacon Hill Drive
 Coalville, UT 84017



CV101



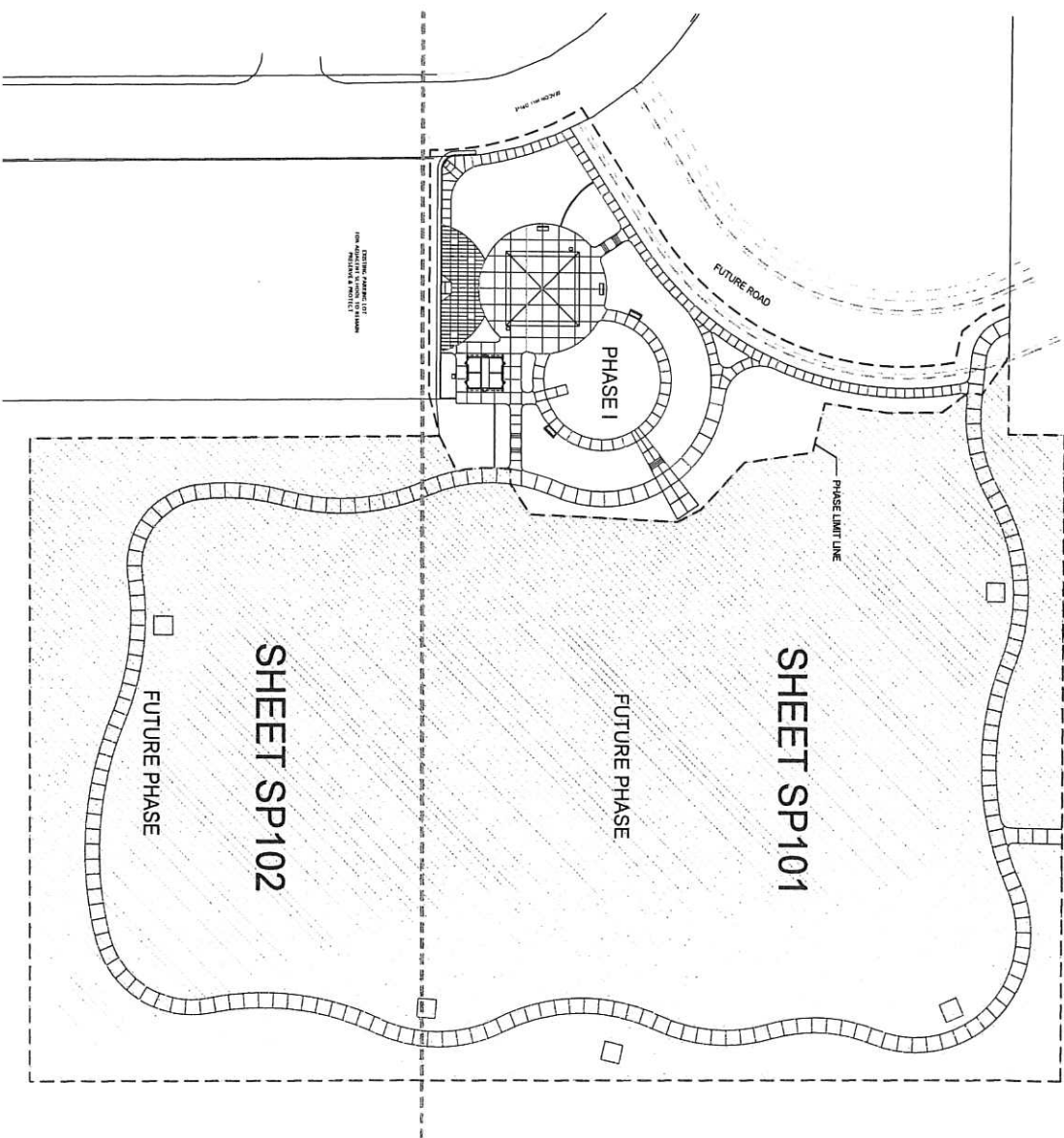
1. ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND SPANISH FORK CITY STANDARDS, SPECIFICATIONS, AND DETAILS. ALL WORK AND MATERIALS NOT IN CONFORMANCE WITH THESE ARE SUBJECT TO REMOVAL AND REPLACEMENT AT THE CONTRACTOR'S EXPENSE.

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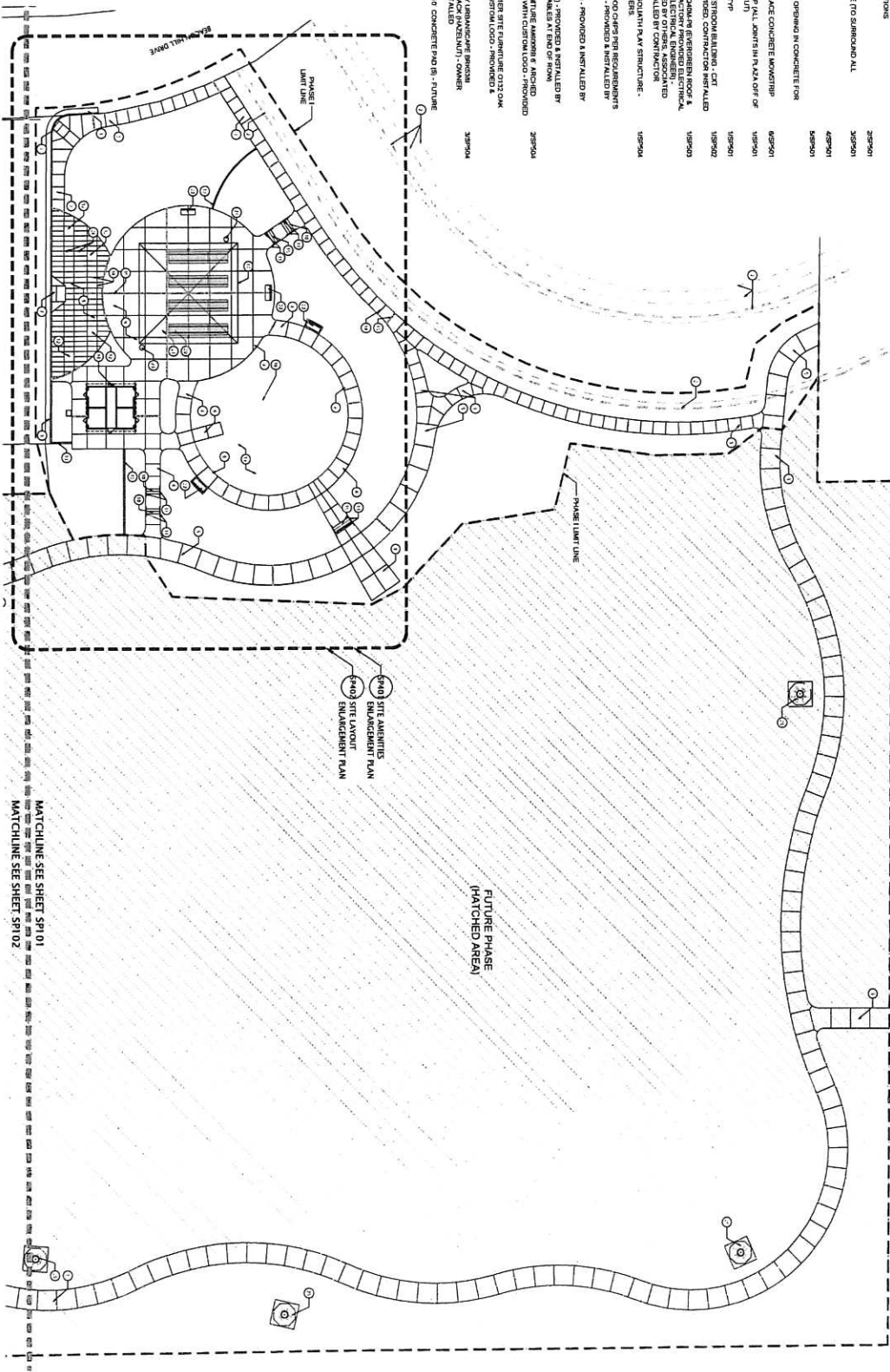
CLEAR AND CRUS



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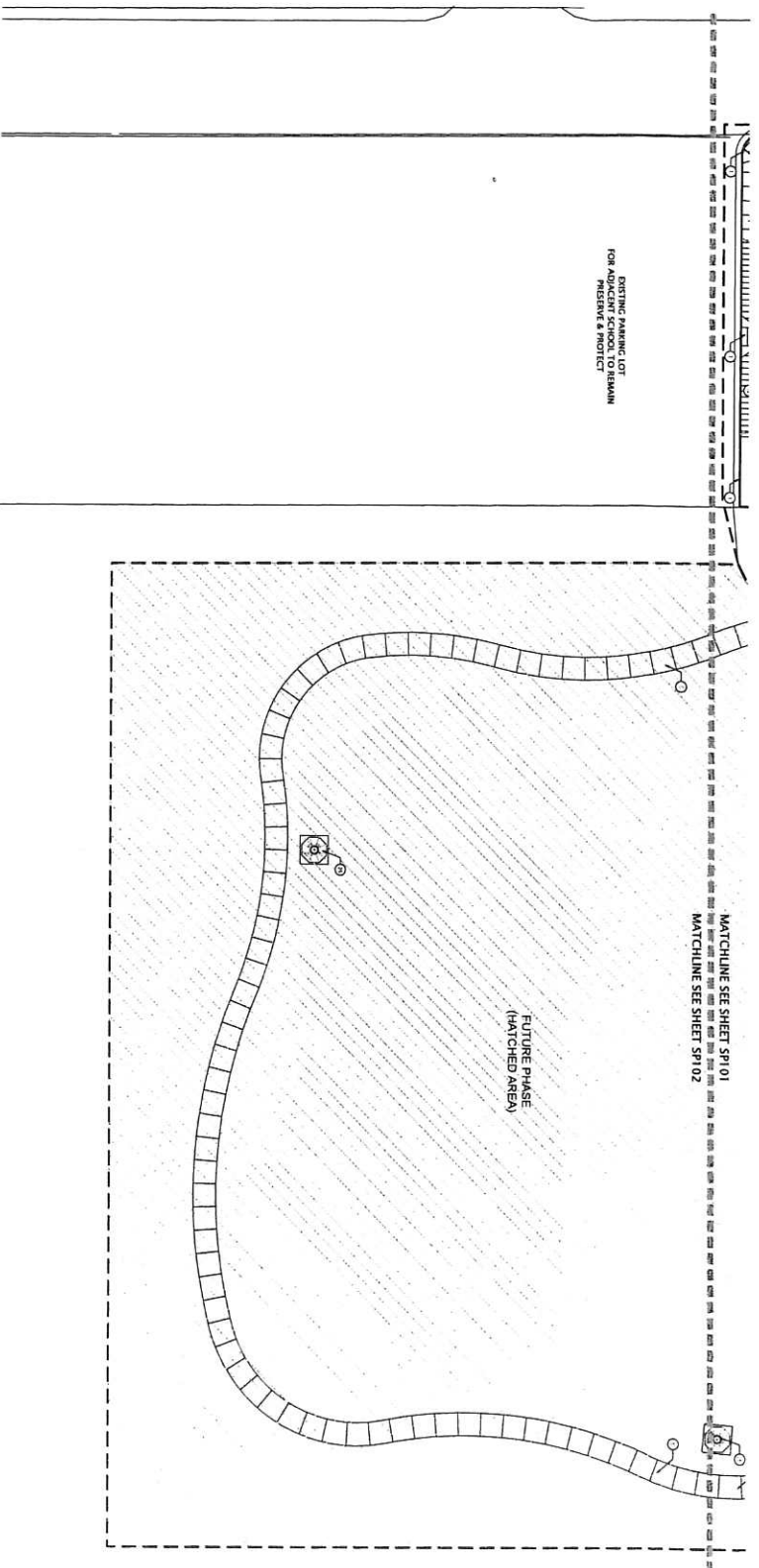


DETAIL

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MATCHLINE SEE SHEET SP101
MATCHLINE SEE SHEET SP102

FINAL SITE PLAN REVIEW



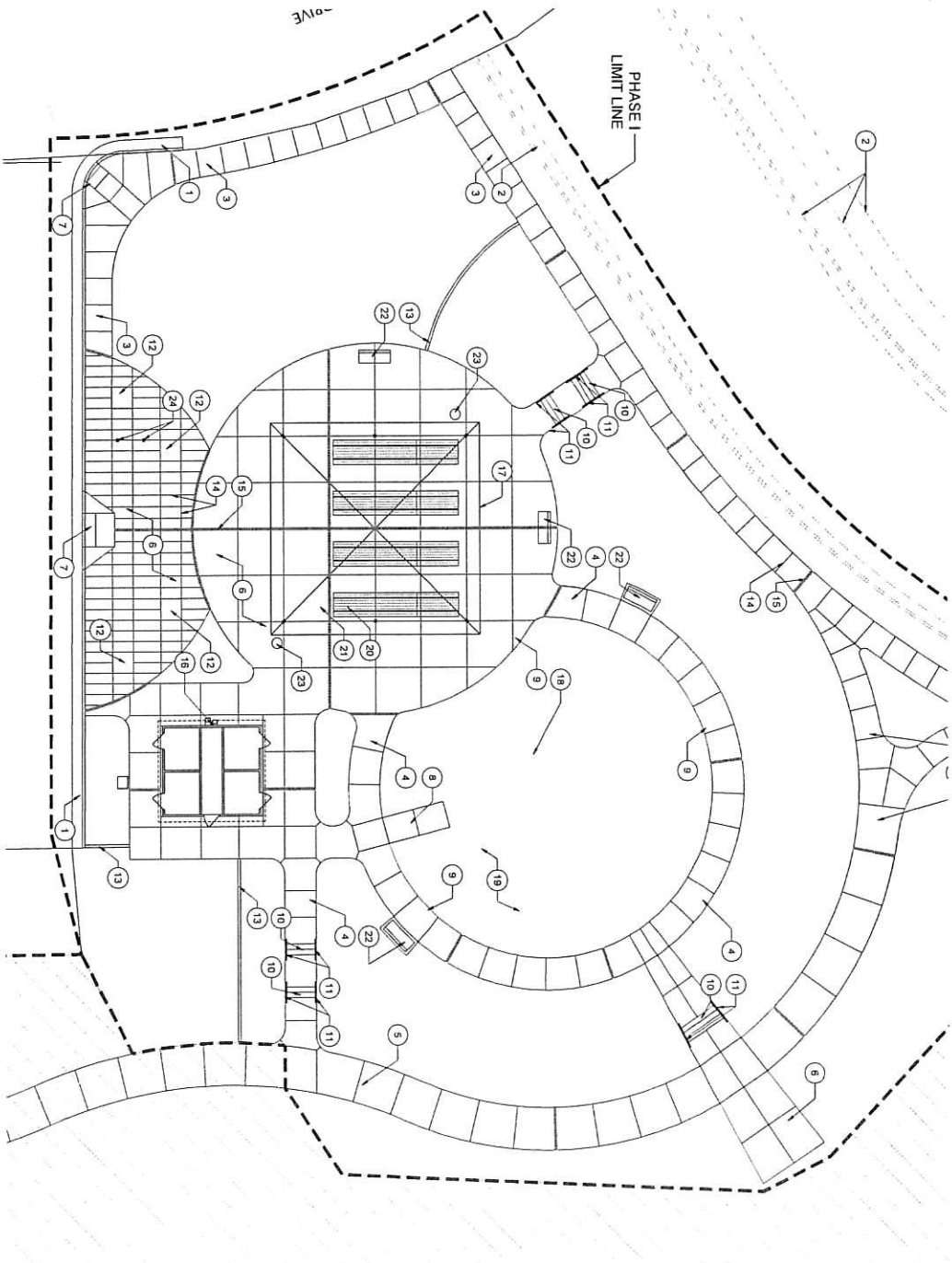
REFERENCE NOTES SCHEDULE

ITEM NO.	DESCRIPTION	DETAIL
1	CONCRETE CURB AND GUTTER, INSTALL PER COALVILLE CITY STANDARDS, WITH A 6" MIN. DRAINAGE DITCH, PROVIDED CLAIM AS NEEDED	1/SP901
2	FUTURE ROAD ALIGNMENT - TO BE ENGINEERED & INSTALLED BY COALVILLE CITY AT FUTURE DATE	1/SP901
3	CONCRETE WALK	1/SP901
4	CONCRETE WALK	1/SP901
5	CONCRETE WALK	1/SP901
6	CONCRETE PAVING	1/SP901
7	CONCRETE PAVING WITH 1" MIN. TYPING SURFACE, LANDING, AND 1" MIN. TYPING SURFACE	1/SP901
8	CONCRETE WALK	1/SP901
9	CONCRETE WALK	1/SP901
10	CONCRETE WALK	1/SP901
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99	CONCRETE WALK	1/SP901
100	CONCRETE WALK	1/SP901

FINAL SITE PLAN REVIEW

REFERENCE NOTES SCHEDULE

SYMBOL	DESCRIPTION	DETAIL
1	CONCRETE CURB AND GUTTER, IN RAIL PER COVILLE CITY STANDARDS, PATCH & REPAIR EXISTING ASPHALT PROPOSED FUTURE ROAD ALIGNMENT - TO BE EMPOWERED & INSTALLED BY COVILLE CITY AT FUTURE DATE	1/8" x 5/8"
2	CONCRETE WALK	1/8" x 5/8"
3	CONCRETE WALK	1/8" x 5/8"
4	CONCRETE WALK	1/8" x 5/8"
5	CONCRETE WALK	1/8" x 5/8"
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100	CONCRETE PAVING	1/8" x 5/8"



FINAL SITE PLAN REVIEW



SP401

SITE
PLAN
ENLARGEMENT

DATE: 02/07/2018
BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]



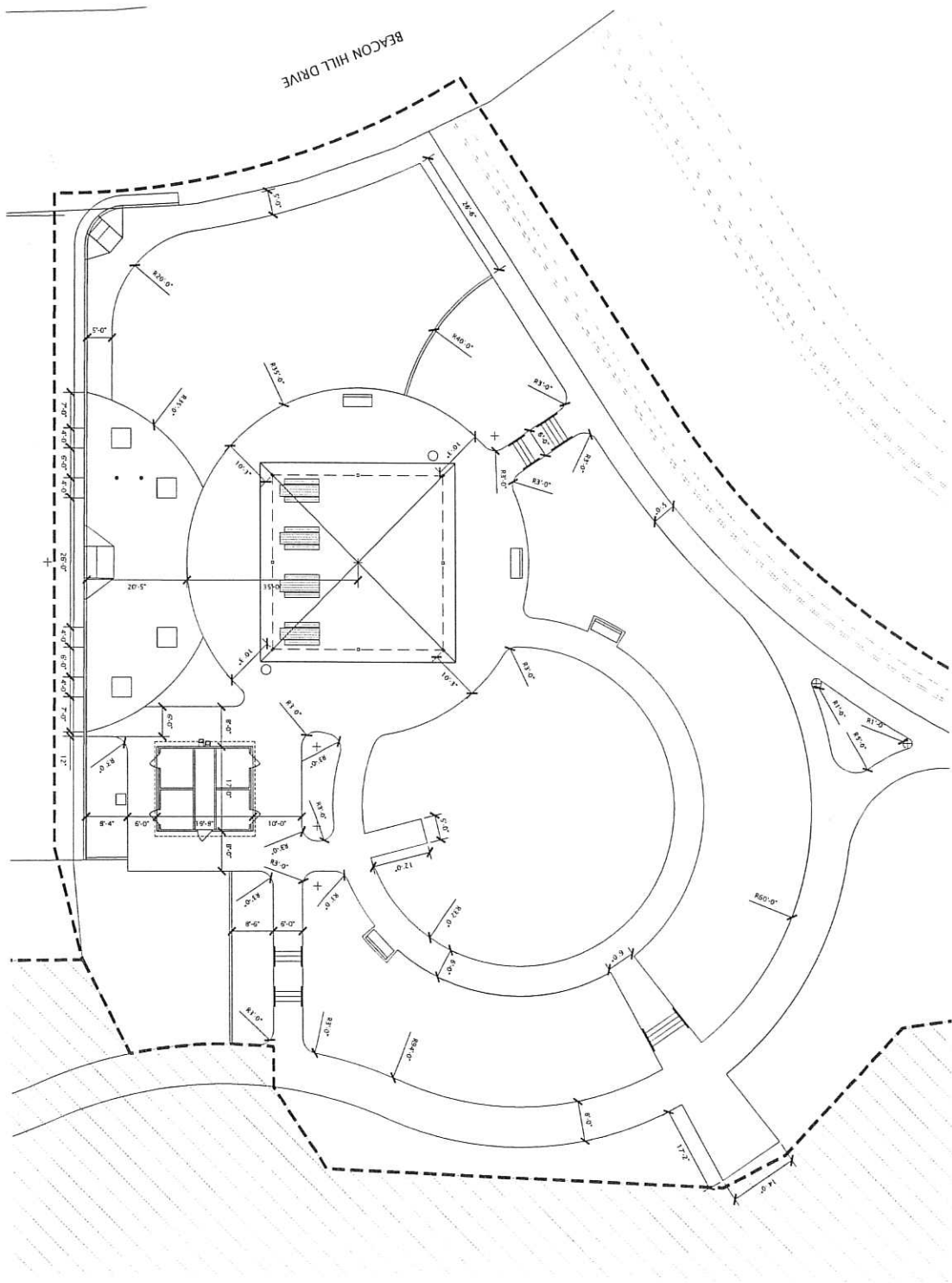
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BY: [Signature]
CHECKED BY: [Signature]
APPROVED BY: [Signature]

North Summit Recreation Special Service District
BEACON HILL PARK
325 S. Beacon Hill Drive
Coalville, UT 84017



blu line designs
ARCHITECTURE & INTERIOR DESIGN
325 S. BEACON HILL DRIVE
COALVILLE, UT 84017
CLINT





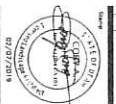
11

FINAL SITE PLAN REVIEW

SP402

SITE LAYOUT
ENLARGEMENT
PLAN

325 S. Beacon Hill Drive
Coalville, UT 84017

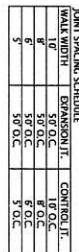


North Summit Recreation Special Service District
BEACON HILL PARK
325 S. Beacon Hill Drive
Coalville, UT 84017



blu line designs
ARCHITECTURE & INTERIOR DESIGN
325 S. Beacon Hill Drive
Coalville, UT 84017
TEL: 435.333.1111





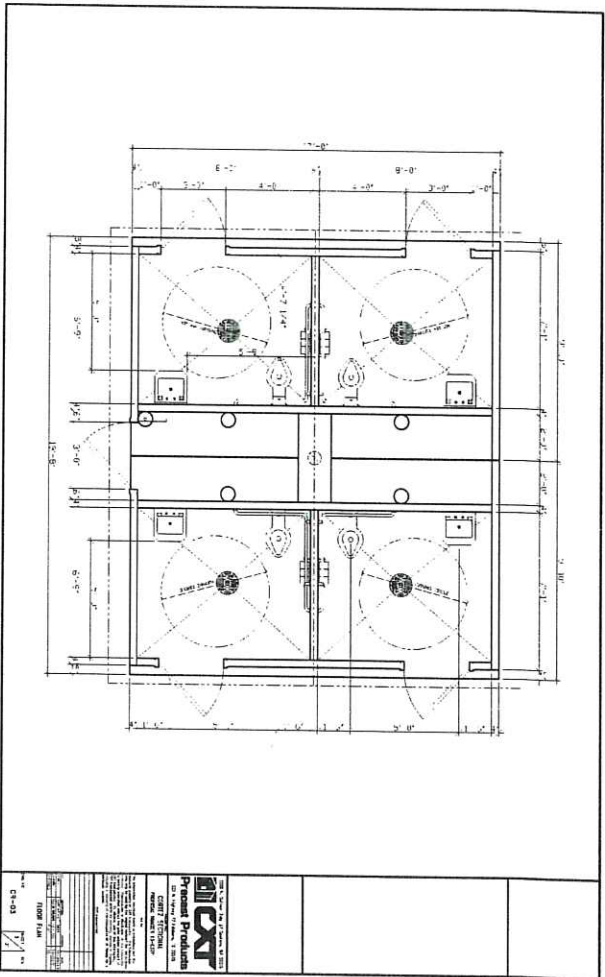
1. ACCESS RAMPS TO BE LOCATED IN FIELD BY OWNER'S REPRESENTATIVE
2. BASED ON PLAY EQUIPMENT LAYOUT
2. NECESSARY DEPTH OF ENGINEER WOOD FIBER SURFACING SHALL BE VERIFIED WITH PLAYGROUND EQUIPMENT SUPPLIER.



CONCRETE STAIR

NOTES:
1. RAILING SHALL BE BRUSHED STAINLESS STEEL. CONTRACTOR SUBMIT SAMPLE TO OWNER FOR REVIEW AND APPROVAL.

6 CAST-IN-PLACE CONCRETE EDGER



TYPICAL FLOOR PLAN, FOR REFERENCE ONLY

1 PREFABRICATED CONCRETE RESTROOM



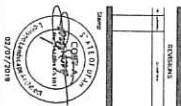
REFERENCE IMAGE - FEATURES WILL VARY BASED ON OWNER SELECTION WHEN ORDERING

- NOTES:
1. COORDINATE RESTROOM PURCHASE & SELECTION WITH OWNER. RESTROOM TO BE OWNER PROVIDED & CONSTRUCTION INSTALLED.
 2. MANUFACTURER'S REPRESENTATIVE FOR CXT CONCRETE BUILDINGS IS AT THE PROJECT SITE FOR CONSTRUCTION SUPPORT.
 3. RESTROOM DRAWINGS ARE FOR GENERAL REFERENCE ONLY. USE MANUFACTURER DRAWINGS & SPECIFICATIONS SPECIFIC TO PROJECT WHEN COORDINATING UTILITIES AND INSTALLING.
 4. ALL DIMENSIONS ARE TO FACE UNLESS OTHERWISE NOTED. TO ALL REQUIREMENTS SET FORTH IN CXT ENGINEERING'S STRUCTURAL REPORT FOR THE SITE.

FINAL SITE PLAN REVIEW

SP502

SITE DETAILS

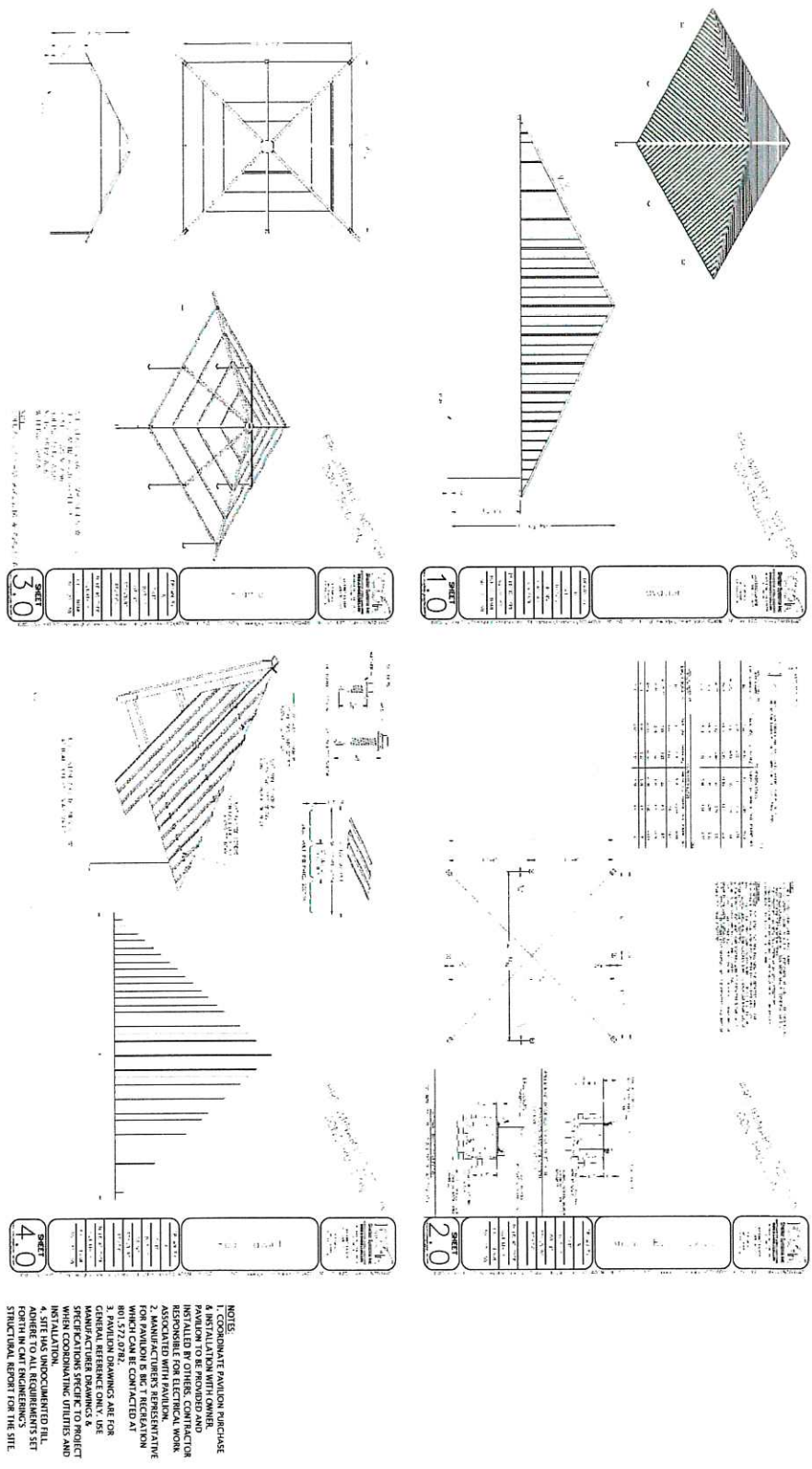


North Summit Recreation Special Service District
BEACON HILL PARK
 325 S. Beacon Hill Drive
 Coalville, UT 84017



1 PAVILION

TYPICAL PAVILION DRAWINGS, FOR REFERENCE ONLY



NOTES:
 1. COORDINATE PAVILION PURCHASE
 2. INSTALLATION WITH OWNER
 3. MANUFACTURER'S REPRESENTATIVE
 4. PAVILION DRAWINGS ARE FOR
 5. GENERAL REFERENCE ONLY. FOR
 6. SPECIFICATIONS SPECIFIC TO PROJECT
 7. WHEN COORDINATING UTILITIES AND
 8. ADHERE TO ALL REQUIREMENTS SET
 9. FORTH IN CANT ENGINEERING'S
 10. STRUCTURAL REPORT FOR THE SITE.

FINAL SITE PLAN REVIEW

North Summit Recreation Special Service District
 BEACON HILL PARK
 325 S. Beacon Hill Drive
 Coalville, UT 84017

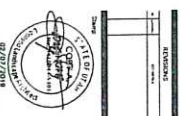


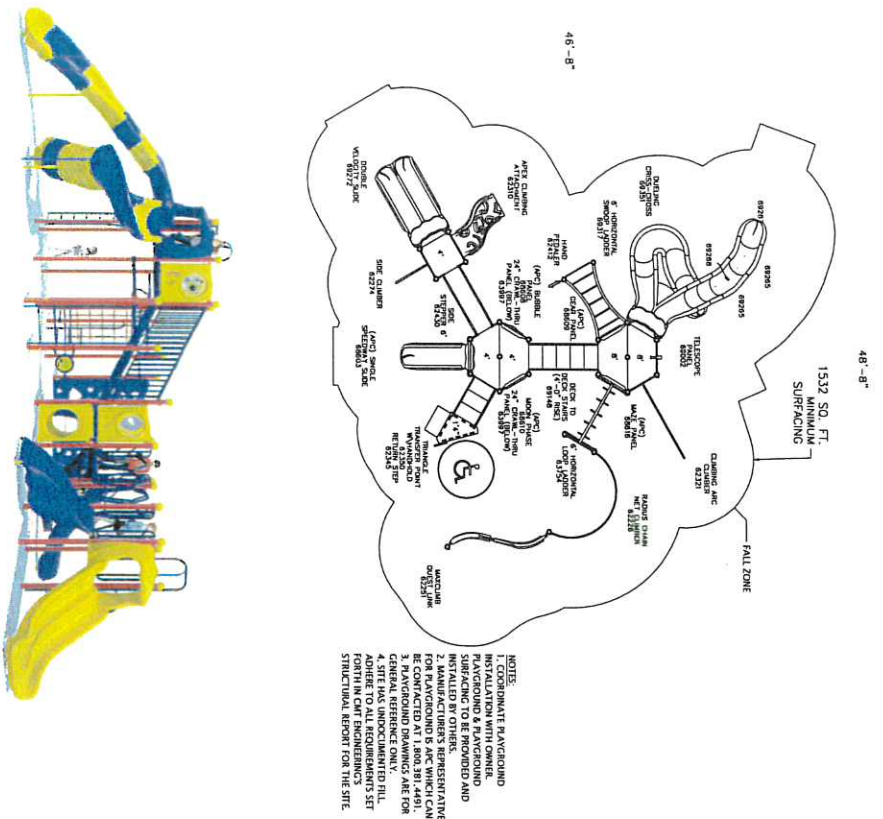
UDOT
 1000 North Main Street
 Salt Lake City, UT 84143
 801.224.2400



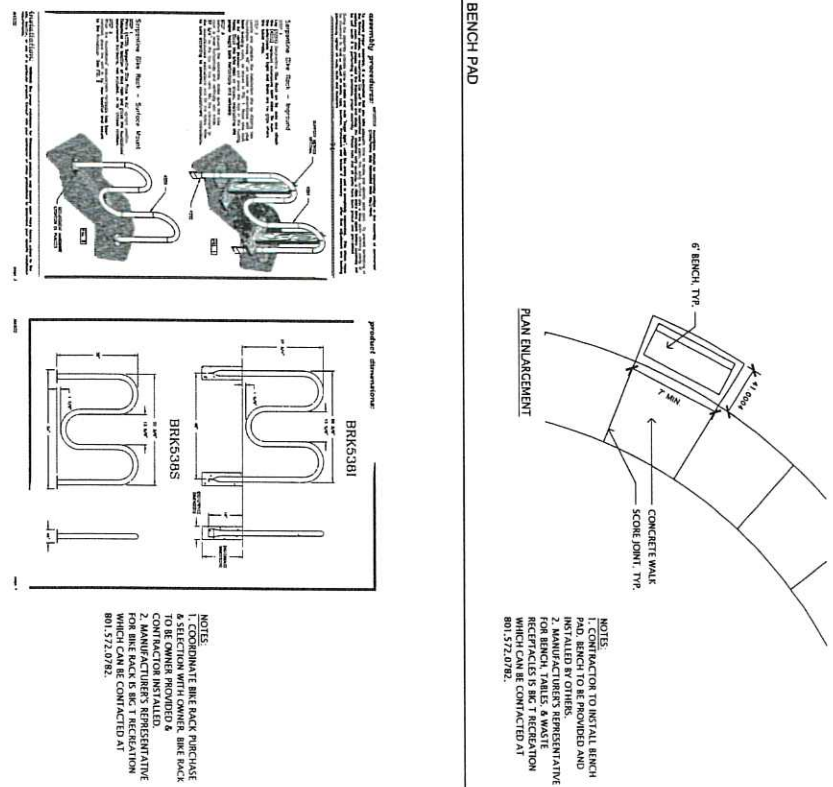
SP503

SITE DETAILS

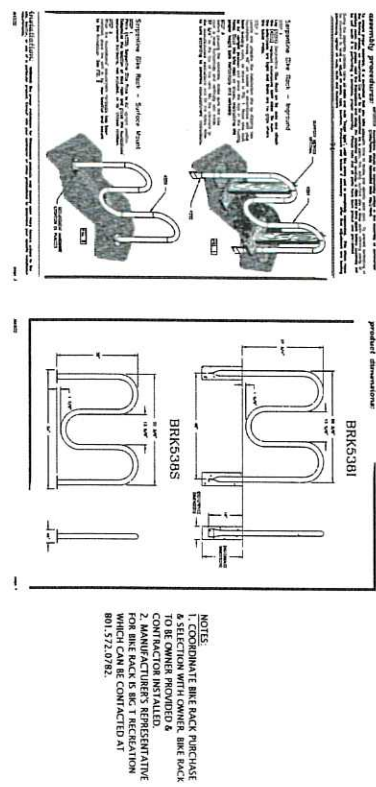




1 PLAYGROUND



2 BENCH PAD



3 BIKE RACK

FINAL SITE PLAN REVIEW

North Summit Recreation Special Service District
BEACON HILL PARK
 325 S. Beacon Hill Drive
 Coalville, UT 84017

SITE DETAILS

DATE: 02/17/2018

BY: [Signature]

FOR: [Signature]

PROJECT: [Signature]

SCALE: 1" = 10'-0"

DESIGNED BY: [Signature]

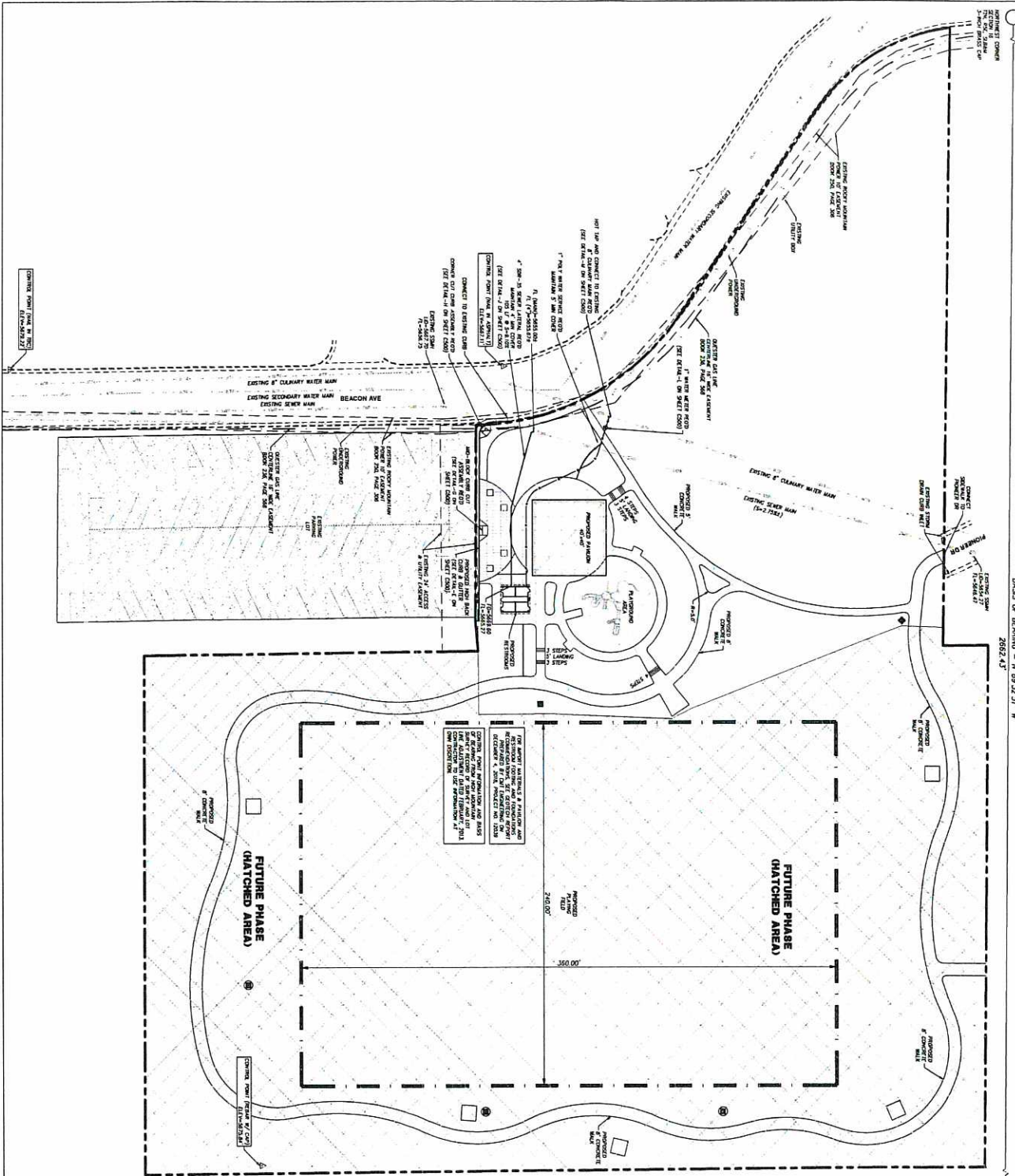
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APPROVED BY: [Signature]

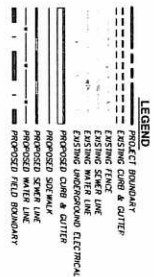
SP504



2862.43' BASIS OF BEARING - N 89°37'31" W



1/4" = 1' SCALE
1/8" = 1' SCALE
1/16" = 1' SCALE
1/32" = 1' SCALE



GENERAL NOTES

1. ALL WORK SHALL BE DONE IN ACCORDANCE WITH CURRENT AGENCY STANDARDS AND SPECIFICATIONS. IN THE ABSENCE OF PROJECT STANDARD AND SPECIFICATIONS, AAS STANDARD AND SPECIFICATIONS SHALL GOVERN.
2. CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE AAS STANDARD AND SPECIFICATIONS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY.
3. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY.
4. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY.
5. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY.
6. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE AAS AND THE CITY OF SALT LAKE COUNTY.
7. IF DURING THE CONSTRUCTION PROCESS, CONDITIONS ARE ENCOUNTERED WHICH COMPACT THE OWNER AND ENGINEER MATERIALS.



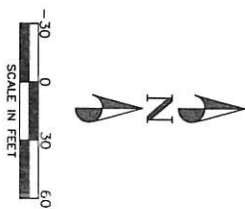
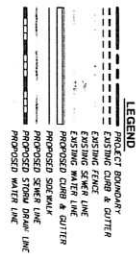
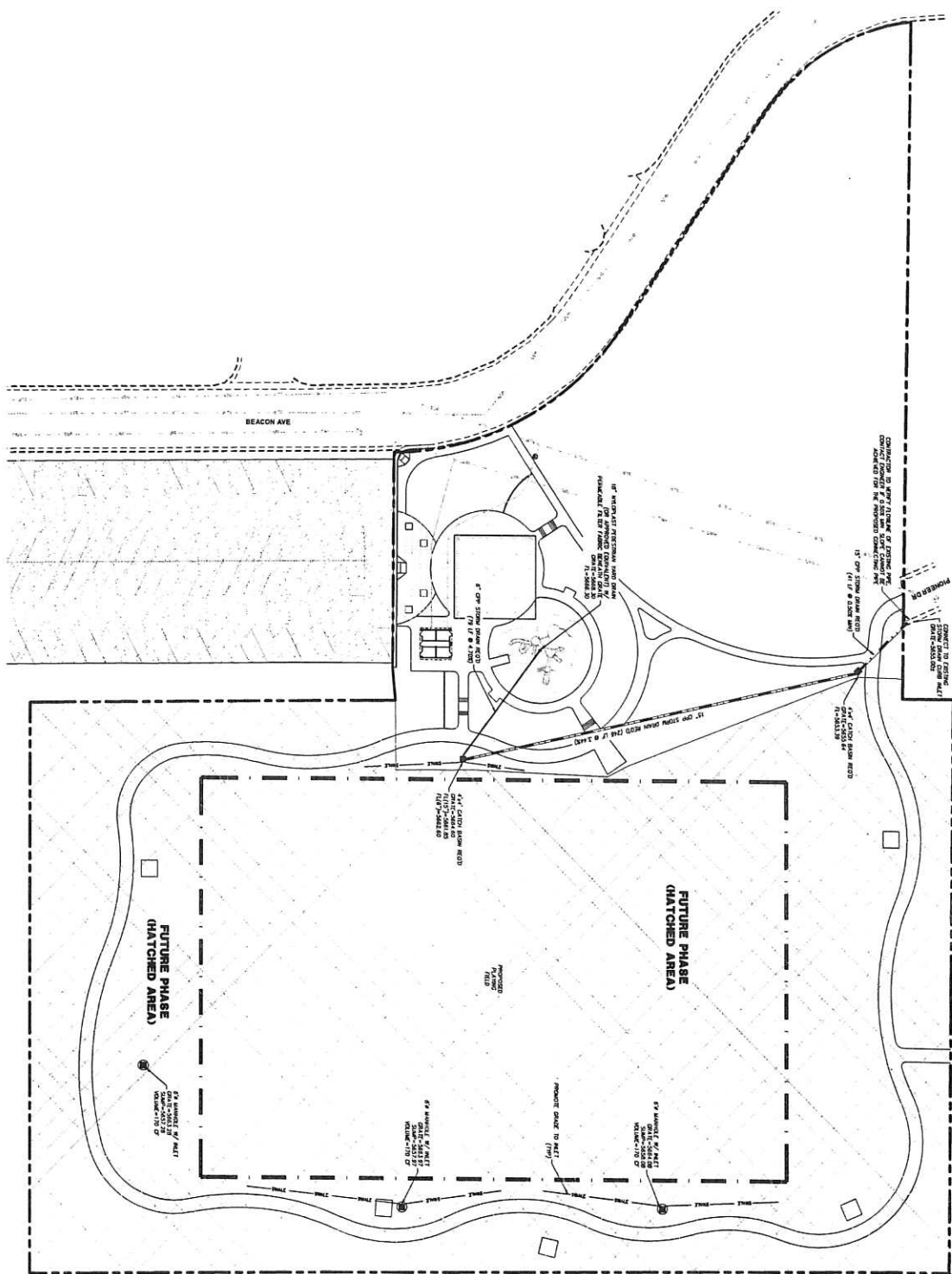
FINAL SITE PLAN REVIEW

PEEG CONSULTING
305 SOUTH 100 WEST • SALT LAKE CITY, UT 84115
PHONE (801) 582-2531 • FAX (801) 582-2551

North Summit Recreation Special Service District
BEACON HILL PARK
Beacon Hill Drive
Coalville, UT 84017

SITE & UTILITY PLAN
C101





PEPG CONSULTING LLC
 5270 SOUTH 200 WEST • SUITE 101 BLDG
 PHOENIX (602) 362-2531 • FAX (602) 362-2530

FINAL SITE PLAN REVIEW

North Summit Recreation Special Service District
BEACON HILL PARK
 Beacon Hill Drive
 Coalville, UT 84017

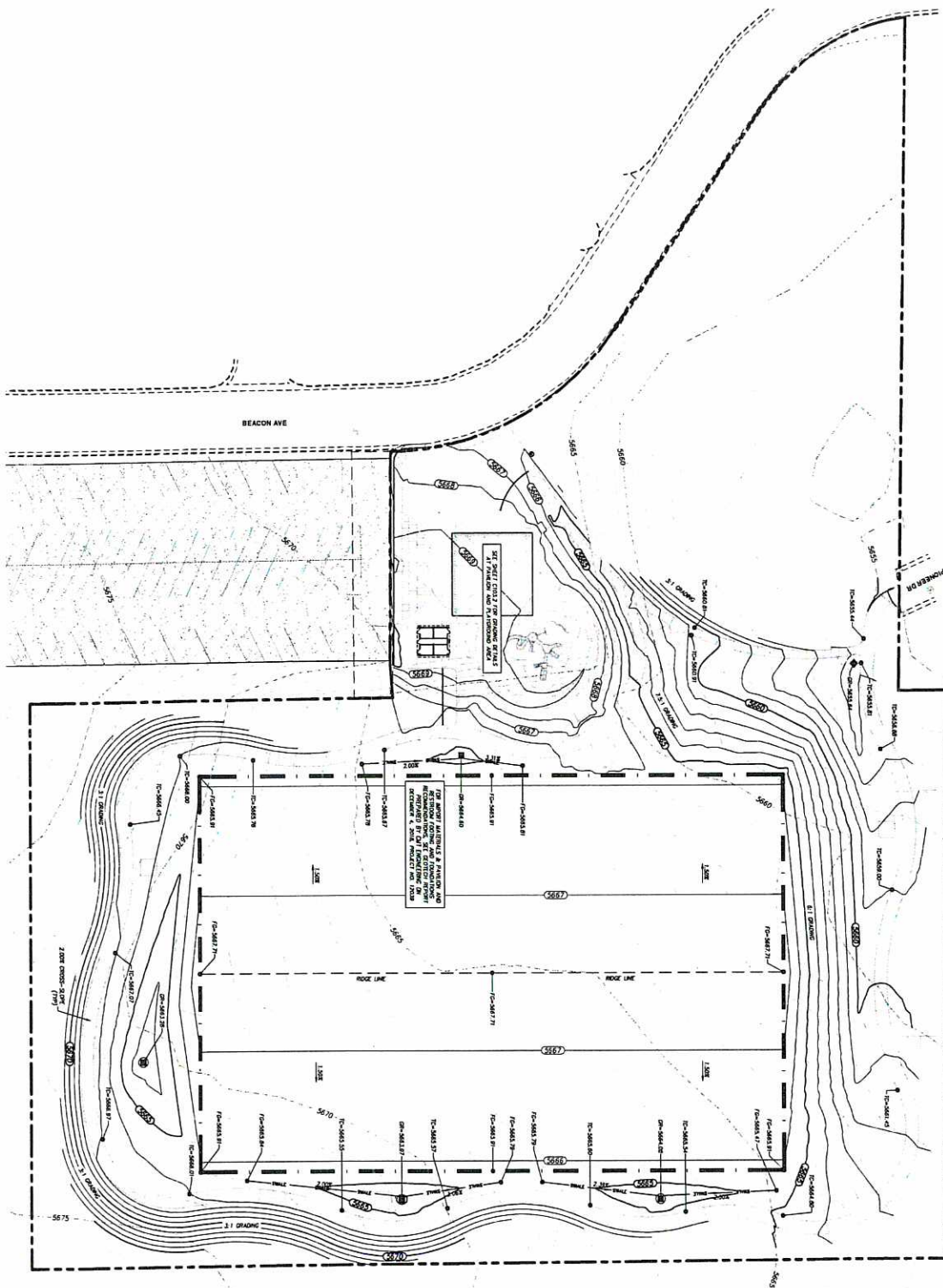


blm line drawings
 prepared by
 PEPG CONSULTING LLC
 1/18/2018



DRAINAGE
 PLAN

C102



PEEG CONSULTING
515 SOUTH 100 WEST • SUITE 100 • SALT LAKE CITY, UT 84115
PHONE (801) 555-2531 • FAX (801) 555-2533



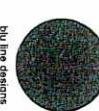
FINAL SITE PLAN REVIEW

North Summit Recreation Special Service District BEACON HILL PARK

Beacon Hill Drive
Coalville, UT 84017



hll inc designs
1000 N. 1000 E. • SUITE 100 • SALT LAKE CITY, UT 84115
PHONE (801) 555-2531 • FAX (801) 555-2533



C103.1

GRADING
PLAN



DATE	DESCRIPTION
10/1/15	FINAL SITE PLAN REVIEW
9/1/15	REVISION 1
8/1/15	REVISION 2
7/1/15	REVISION 3
6/1/15	REVISION 4
5/1/15	REVISION 5
4/1/15	REVISION 6
3/1/15	REVISION 7
2/1/15	REVISION 8
1/1/15	REVISION 9
12/1/14	REVISION 10



[illegible]

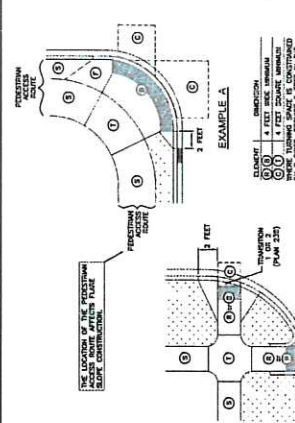
ELECTRONIC SCHEDULING SYSTEMS INVITED	
1.	KNOW ALL CONFLICT SERVICES AND EQUIPMENT AT REQUEST INDICATED BELOW AND IS BEING OFFERED ON THE FOLLOWING TERMS: UNLESS NOTED OTHERWISE, REQUESTS ARE CONSIDERED FIRST-COME FIRST-SERVED OR CONFLICT BOX.
2.	KNOW CONFLICT SERVICES AND EQUIPMENT ARE OFFERED BY SUBSCRIPTION, ACCESS TO ADVERTISEMENT SCHEDULE FOR OFFERED EQUIPMENT.
3.	KNOW CONFLICT SERVICES AND EQUIPMENT ARE OFFERED BY THE SUBSCRIPTION, KNOW AT A KNOW COMPANY, IF COMPANY HAS A KNOW COMPANY AT A KNOW PLACE, PLEASE, REQUEST TO REQUEST FOR A KNOW THE KNOW AND EQUIPMENT WITH A KNOW COMPANY.
4.	KNOW ALL ELECTRICAL SERVICES ARE BEING.

[illegible]

DETAIL-A

TYPE A CURB & GUTTER

(SEE APHA PLAN NO. 205.1)

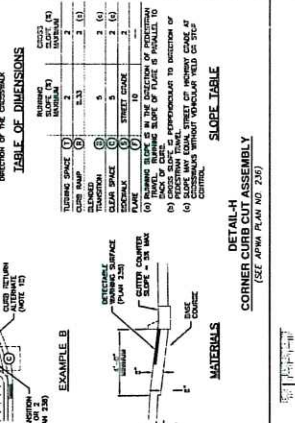


DETAIL-A
TYPE A CURB & GUTTER
(SEE APHA PLAN NO. 205.1)

DETAIL-B

TYPE B CURB & GUTTER

(SEE APHA PLAN NO. 205.2)

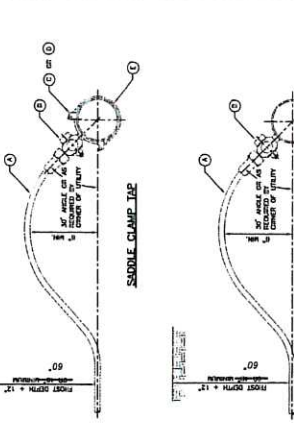


DETAIL-B
TYPE B CURB & GUTTER
(SEE APHA PLAN NO. 205.2)

DETAIL-C

TYPE C CURB & GUTTER

(SEE APHA PLAN NO. 205.3)

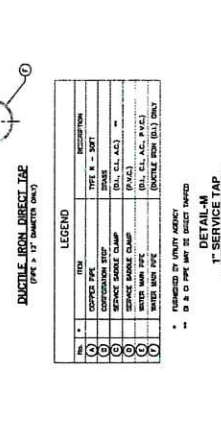


DETAIL-C
TYPE C CURB & GUTTER
(SEE APHA PLAN NO. 205.3)

DETAIL-D

TYPE D CURB & GUTTER

(SEE APHA PLAN NO. 205.4)

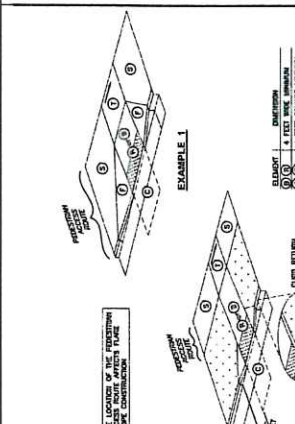


DETAIL-D
TYPE D CURB & GUTTER
(SEE APHA PLAN NO. 205.4)

DETAIL-E

TYPE E CURB & GUTTER

(SEE APHA PLAN NO. 205.5)

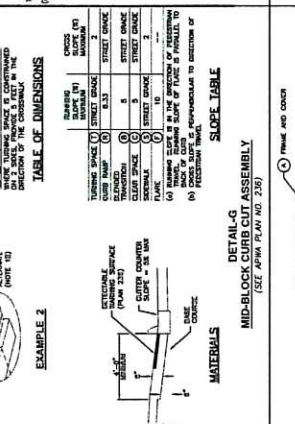


DETAIL-E
TYPE E CURB & GUTTER
(SEE APHA PLAN NO. 205.5)

DETAIL-F

TYPE F CURB & GUTTER

(SEE APHA PLAN NO. 205.6)

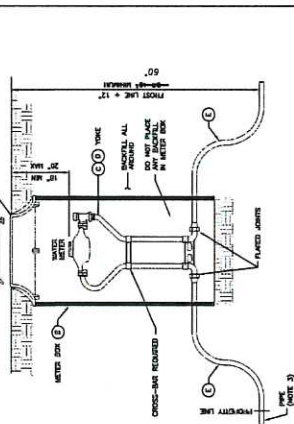


DETAIL-F
TYPE F CURB & GUTTER
(SEE APHA PLAN NO. 205.6)

DETAIL-G

TYPE G CURB & GUTTER

(SEE APHA PLAN NO. 205.7)




DETAIL-G
TYPE G CURB & GUTTER
(SEE APHA PLAN NO. 205.7)

DETAIL-H

TYPE H CURB & GUTTER

(SEE APHA PLAN NO. 205.8)

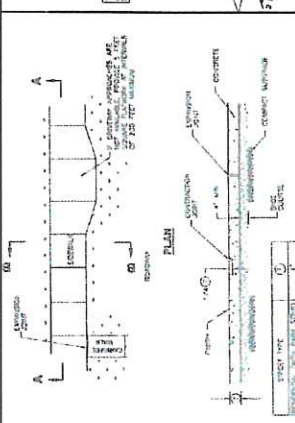


DETAIL-H
TYPE H CURB & GUTTER
(SEE APHA PLAN NO. 205.8)

DETAIL-I

TYPE I CURB & GUTTER

(SEE APHA PLAN NO. 205.9)

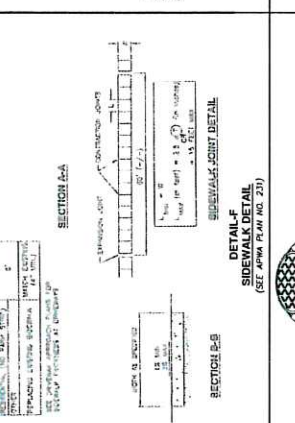


DETAIL-I
TYPE I CURB & GUTTER
(SEE APHA PLAN NO. 205.9)

DETAIL-J

TYPE J CURB & GUTTER

(SEE APHA PLAN NO. 205.10)

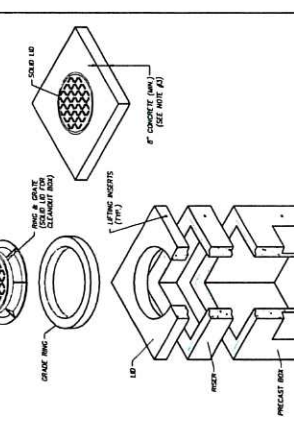


DETAIL-J
TYPE J CURB & GUTTER
(SEE APHA PLAN NO. 205.10)

DETAIL-K

TYPE K CURB & GUTTER

(SEE APHA PLAN NO. 205.11)

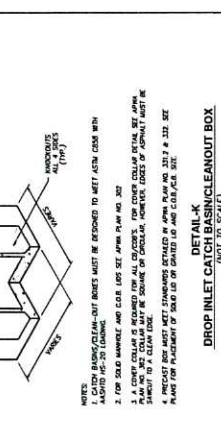


DETAIL-K
TYPE K CURB & GUTTER
(SEE APHA PLAN NO. 205.11)

DETAIL-L

TYPE L CURB & GUTTER

(SEE APHA PLAN NO. 205.12)

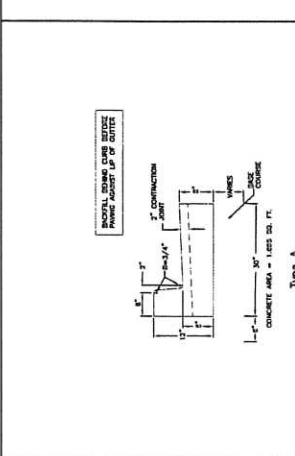


DETAIL-L
TYPE L CURB & GUTTER
(SEE APHA PLAN NO. 205.12)

DETAIL-M

TYPE M CURB & GUTTER

(SEE APHA PLAN NO. 205.13)

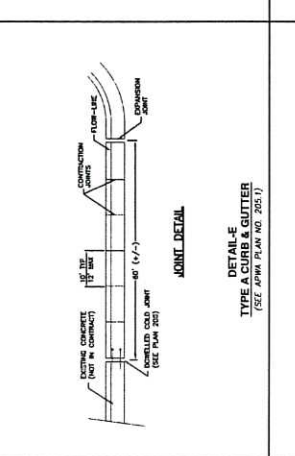


DETAIL-M
TYPE M CURB & GUTTER
(SEE APHA PLAN NO. 205.13)

DETAIL-N

TYPE N CURB & GUTTER

(SEE APHA PLAN NO. 205.14)

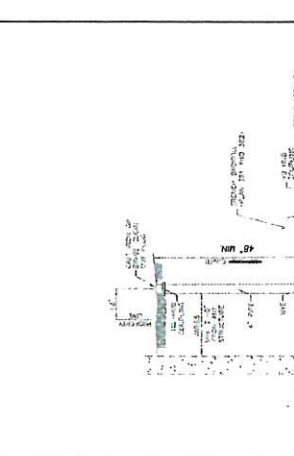


DETAIL-N
TYPE N CURB & GUTTER
(SEE APHA PLAN NO. 205.14)

DETAIL-O

TYPE O CURB & GUTTER

(SEE APHA PLAN NO. 205.15)




DETAIL-O
TYPE O CURB & GUTTER
(SEE APHA PLAN NO. 205.15)

DETAIL-P

TYPE P CURB & GUTTER

(SEE APHA PLAN NO. 205.16)



DETAIL-P
TYPE P CURB & GUTTER
(SEE APHA PLAN NO. 205.16)



THE PHYSICAL CONTRACTORS SHALL COORDINATE AND VERIFY ALL REQUIREMENTS AND LOCATIONS TO FITTING CONDITIONS FOR UTILITY EXISTING WITHIN 2 FEET/5' OF THE CONTRACT BOUNDARY. THE CONTRACTOR SHALL NOT RELOCATE ANY CONTRACTS UNLESS THE UTILITY COORDINATION IS DULY IN AID AND ALL LOCATIONS ARE SIGNED. THE CONTRACTOR SHALL PROVIDE TO THE ARCHITECT AND ENGINEER A WRITTEN STATEMENT, INCLUDING A SCHEDULE OF LOCATIONS FROM THE UTILITY COMPANY NOTIFYING THEM THAT THEY HAVE COORDINATED AND VERIFIED ALL REQUIREMENTS. IF THE CONTRACTOR DOES NOT COORDINATE AND VERIFY THE REQUIREMENTS WITH THE UTILITY COMPANY TO PROTECT A WRITTEN STATEMENT FROM THE UTILITY COMPANY TO THE ARCHITECT AND ENGINEER ALL CHARGES DUE TO LACK OF COORDINATION WILL BE DONE AT AN ADDITIONAL CHARGE TO THE OWNER.

FINAL SITE PLAN REVIEW

North Summit Recreation Special Service District
BEACON HILL PARK

325 S. Beacon Hill Drive
Coalville, UT 84017



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 drawing | interior space solutions | design
 877.9 B. Studio Pottery
 Studio, UT 84003
 P 801.461.1796

CLIENT

ELECTRICAL SITE
PLAN

ES101

LIGHT FIXTURE SCHEDULE

ITEM	MANUFACTURER	DESCRIPTION	QUANTITY	UNIT	REMARKS	COMMENTS
1	WAC	WAC 1000 Series	1	each		
2	WAC	WAC 2000 Series	1	each		
3	WAC	WAC 3000 Series	1	each		
4	WAC	WAC 4000 Series	1	each		
5	WAC	WAC 5000 Series	1	each		
6	WAC	WAC 6000 Series	1	each		
7	WAC	WAC 7000 Series	1	each		
8	WAC	WAC 8000 Series	1	each		
9	WAC	WAC 9000 Series	1	each		
10	WAC	WAC 10000 Series	1	each		

GENERAL NOTES

1. PROVIDE ALL REQUIRED BEHINDING, JOINTING, ETC. FOR ALL FIXTURES. PROVIDE BEHINDING JOINTS AS SHOWN ON DRAWINGS.
2. PROVIDE ALL BEHINDING JOINTS AS SHOWN ON DRAWINGS.
3. PROVIDE ALL BEHINDING JOINTS AS SHOWN ON DRAWINGS.
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9. PROVIDE ALL BEHINDING JOINTS AS SHOWN ON DRAWINGS.
10. PROVIDE ALL BEHINDING JOINTS AS SHOWN ON DRAWINGS.

KEYNOTES

1. PROVIDE ALL REQUIRED BEHINDING, JOINTING, ETC. FOR ALL FIXTURES. PROVIDE BEHINDING JOINTS AS SHOWN ON DRAWINGS.
2. PROVIDE ALL BEHINDING JOINTS AS SHOWN ON DRAWINGS.
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10. PROVIDE ALL BEHINDING JOINTS AS SHOWN ON DRAWINGS.

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North Summit Recreation Special Service District
 BEACON HILL PARK
 325 S. Beacon Hill Drive
 Coalville, UT 84017

ENLARGED ELECTRICAL SITE PLAN

ES401

FINAL SITE PLAN REVIEW

PLANT SCHEDULE

TREES

COMMON NAME

SYRIAN HONEY LOCUST

AUSTRIAN BLACK PINE FUTURE PHASE

SWAMPY MAPLE

ACORN OAK FUTURE PHASE

FRONTIER ELM

COMMON NAME

COMMON NAME

COMMON NAME

COMMON NAME

COMMON NAME

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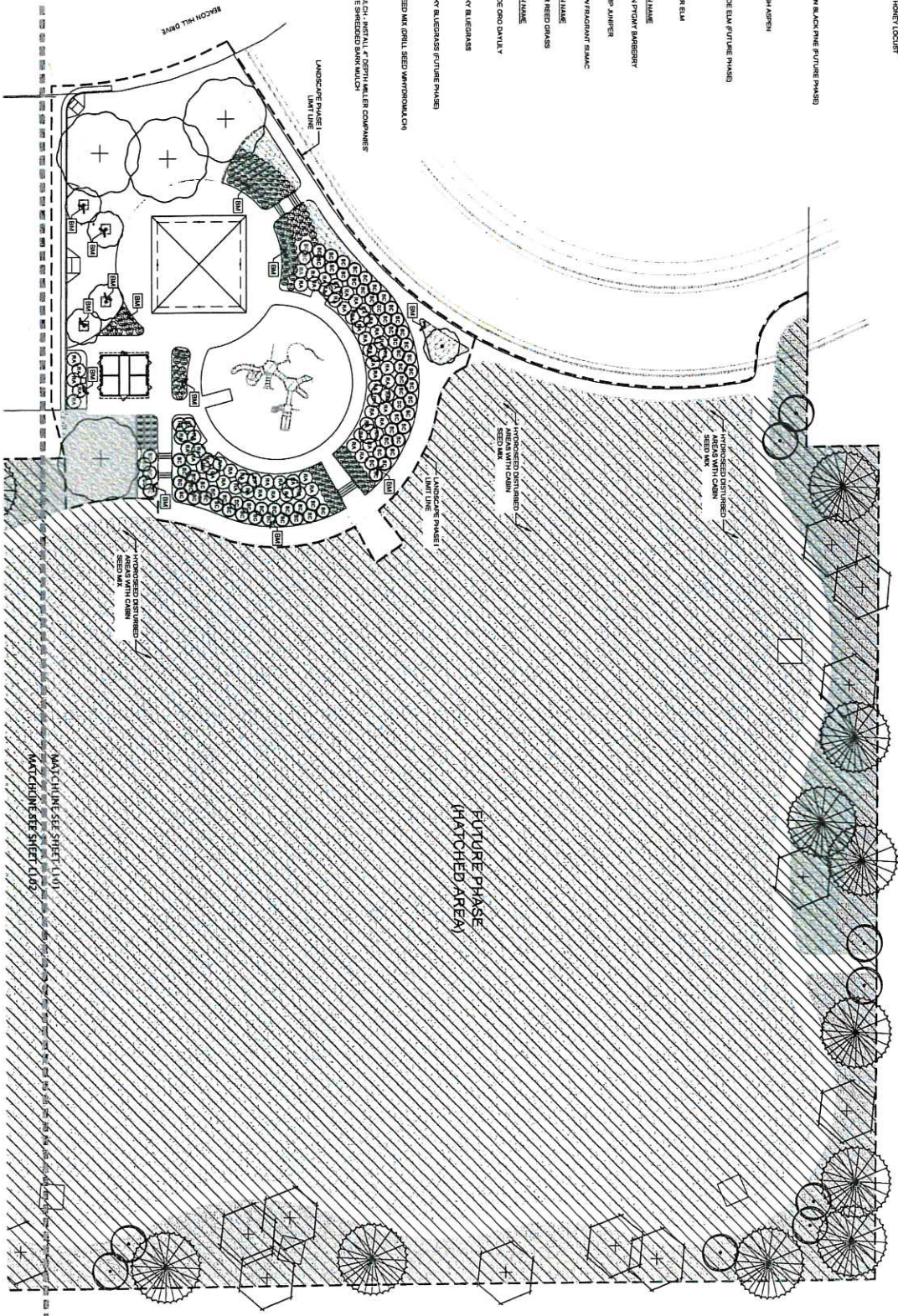
COMMON NAME

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COMMON NAME



FINAL SITE PLAN REVIEW

L101

LANDSCAPE PLAN

02/27/2018

02/27/2018

02/27/2018

North Summit Recreation Special Service District
BEACON HILL PARK
325 S. Beacon Hill Drive
Coalville, UT 84017

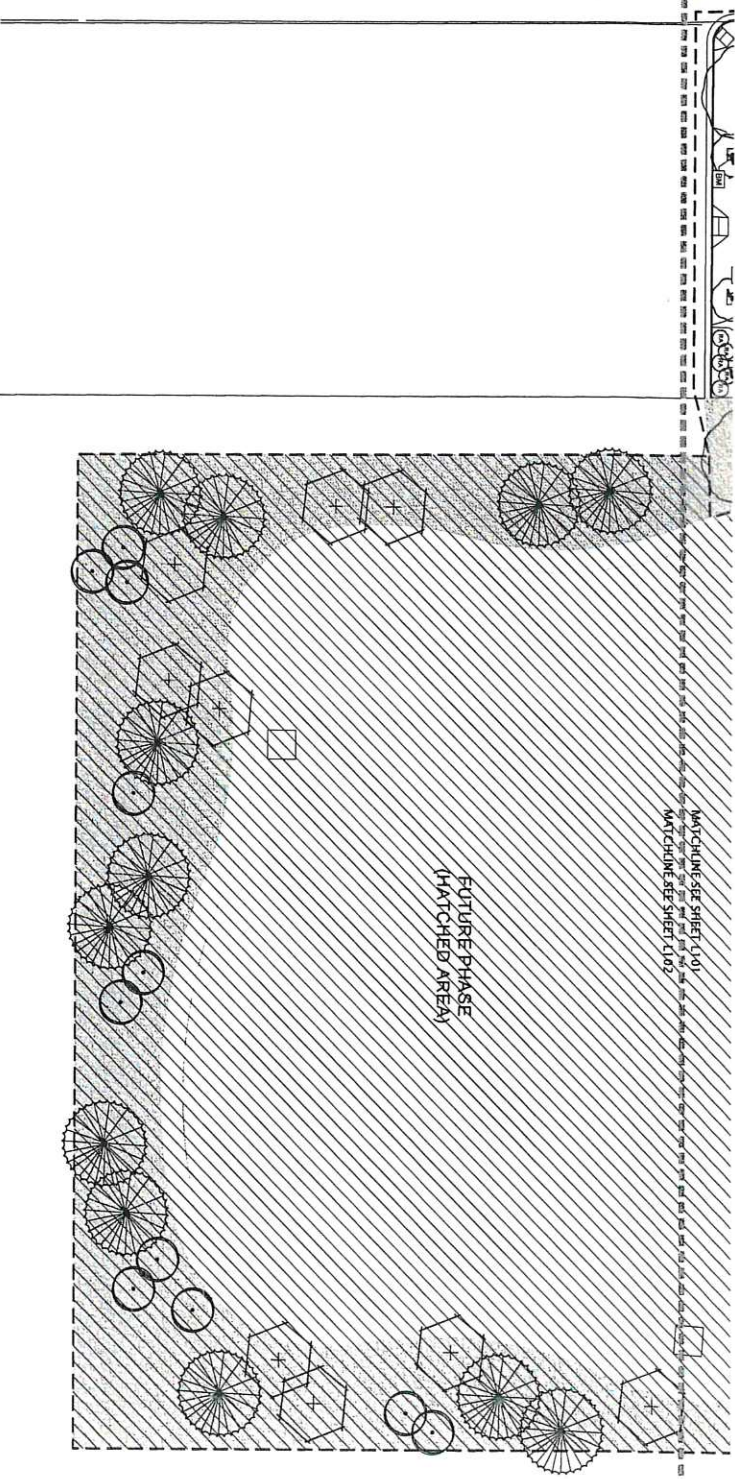


blu line designs
317 S. Main Street
Coalville, UT 84017
801.361.1000



PLANT SCHEDULE

TREES	COMMON NAME
	ROCKY MOUNTAIN GLOW WAXE (FUTURE PHASE)
	SPRING HONEY LOCUST
	AUSTRIAN BLACK PINE (FUTURE PHASE)
	SWEDISH SPRUCE
	ACQUADUE ELM (FUTURE PHASE)
	FRONTIER ELM
SHRUBS	COMMON NAME
	CHIMSON PRICKLY BARKBERRY
	BLUE CHIP YARROW
	GRASSY FRANKLINIA SUMAC
GRASSES	COMMON NAME
	FLATIRON REED GRASS
GROUND COVERS	COMMON NAME
	STELLA DE ORO DAILY
	HEATHCOTE BLUEGRASS
	HEATHCOTE BLUEGRASS (FUTURE PHASE)
	CROWN REED GRASS (SMALL REED) WYOMINGALCA
	BANK MULCH - INSTALL 4" DEPTH MULCH COMPANIES
	SPRINGTIME SHREDED BANK MULCH



FINAL SITE PLAN REVIEW

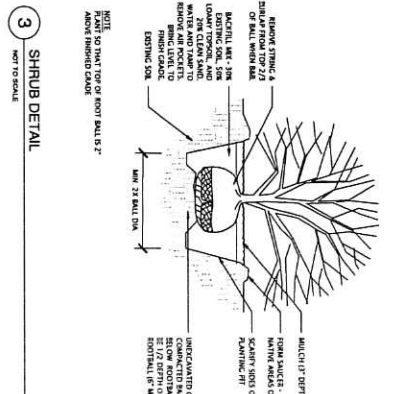
bld
 bld line designs
 3711 S. 1000 West
 Suite 100
 Salt Lake City, UT 84119
 801.462.1000

North Summit Recreation Special Service District
BEACON HILL PARK
 325 S. Beacon Hill Drive
 Coalville, UT 84017

David L. Smith
 Professional Engineer
 State of Utah
 License No. 12345
 Exp. 12/31/2024

LANDSCAPE
 PLAN
 02/07/2024

L102



CONSTRUCTION NOTES:

ALL CONSTRUCTION SHALL BE DONE IN ACCORDANCE WITH THE LATEST AMERICAN PUBLIC WORKS ASSOCIATION (APWA) AND COWI AND CITY STANDARDS, SPECIFICATIONS, AND DETAILS.

ALL PLANT MATERIAL SHALL BE GROWN IN CLIMATIC CONDITIONS SIMILAR TO THOSE IN THE LOCALITY OF THE PROJECT AND SHALL CONFORM TO THE AMERICAN STANDARD FOR NURSERY STOCK, (ANSI Z60.1), UNLESS OTHERWISE NOTED. PRUNED TREES OF MODERAL CANOPIES OR UNDERSTOCK HEIGHTS, ACCORDING TO SPECIES, WITH STRAIGHT TRUNKS AND WELL DEVELOPED LEADERS, LEAVES, AND BUDS.

CONSTRUCTED UTILITIES, EASEMENTS, AND STRUCTURES SHOWN ON THE DRAWINGS ARE IN ACCORDANCE WITH THE CITY OF CHICAGO STANDARDS AND SPECIFICATIONS. ALL UTILITIES SHALL BE CONSTRUCTED TO BE COMPATIBLE ON THE PROJECT PRIOR TO ANY EXCAVATION AND CONSTRUCTION IN THE VICINITY OF THE EXISTING UTILITIES AND STRUCTURES.

ALL APPLICANTS ARE REQUIRED TO LEGALLY AND RESPONSIBLY COMPLETE THE WORK.

THE CONTRACTOR IS RESPONSIBLE FOR THE PERSONAL, DERIVATIVE, OR RELOCATION OF ALL OBSTRUCTIONS AND DEBRIS WITHIN THE DEDICATED CONSTRUCTION AREA PRIOR TO STARTING NEW CONSTRUCTION. THE CONTRACTOR IS ALSO RESPONSIBLE FOR THE REMOVAL AND DISPOSAL OF ANY DEBRIS RESULTING FROM NEW CONSTRUCTION.

CONTRACTOR SHALL HAVE AT LEAST 48 HOURS (8:00-6:41 PM) MARK LOCATIONS AND DEPTHS OF ALL EXISTING UTILITIES LOCATIONS AT EACH SITE VISIT.

CONSTRUCTION SHALL BEGIN GRABE TO WITHIN +/- 10 FEET OF A FOOT FROM FINISH GRADE. ALL TUFF GRASS AREAS SHALL BE GRADED 4" BELOW PROPOSED FINISH GRADE. SHRUB BEDS SHALL BE GRADED 12" BELOW PROPOSED FINISH GRADE.

ALL CONNECTED AREAS DEVELOPED THROUGH CONSTRUCTION WITHIN PROPOSED LANDSCAPE AREAS SHALL BE SCAPED AND LOOSESED TO A DEPTH OF 12" PRIOR TO LANDSCAPE AND REVEGETATION WORK BEGINNING.

INSTALL A MIN. OF 4" INCHES OF PREMIUM TOPSOIL FOR ALL TUFF GRASS AREAS. INSTALL 12" OF PREMIUM TOPSOIL IN ALL SHRUB BEDS. ALL PLANTING THIS SHALL RECEIVE PLANTING BACILLI MAY BE PLANTED IN PLACE OR PLANTED IN PLACE OF PREMIUM TOPSOIL IF ADORNED WITH A CO. OF 1:1000 OF CHICAGO COMPOSTED MULCH.

INSTALL A MIN. OF 4" INCHES OF SHREDED BARK AS SHOWN ON PLAN. ANY THE EMBLEMANT TO ALL PLANTING BEDS BEFORE INSTALLING MULCH.

NO PLANT SPECIES SUBSTITUTIONS WILL BE MADE WITHOUT APPROVAL OF OWNER.

ALL PLANT MATERIAL SHALL BE REPERED AND APPROVED IN FIELD BY OWNER PRIOR TO PLANTING. FAILURE TO RECEIVE APPROVAL MAY RESULT IN REWORK BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.

CONTRACTOR SHALL VERIFY IN FIELD WITH OWNER ALL EXISTING TREES AND PLANT MATERIAL TO BE REMOVED PRIOR TO CONSTRUCTION AND CLIMATIC AND GRADING ACTIVITIES.

ALL AREAS WITHIN AND AFFECTED BY THE PROJECT SHALL HAVE POSITIVE DRAINAGE. POSITIVE DRAINAGE SHALL BE PROVIDED TO DIRECT STORMWATER AWAY FROM ALL STRUCTURES.

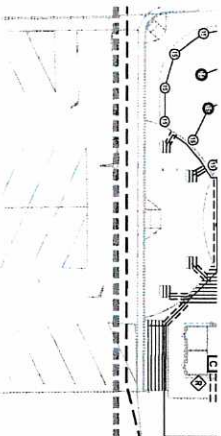
ALL CALCIBATIONS OF DEPENDENCIES BETWEEN THE DRAWINGS, AND THE SITE SHALL BE BROUGHT TO THE ATTENTION OF THE OWNER PRIOR TO BEGINNING OF WORK.

LAVOR FOR ALL MOWSTRIP AND EDCR SHALL BE REVIEWED AND APPROVED IN FIELD BY OWNER PRIOR TO INSTALLATION.

1501

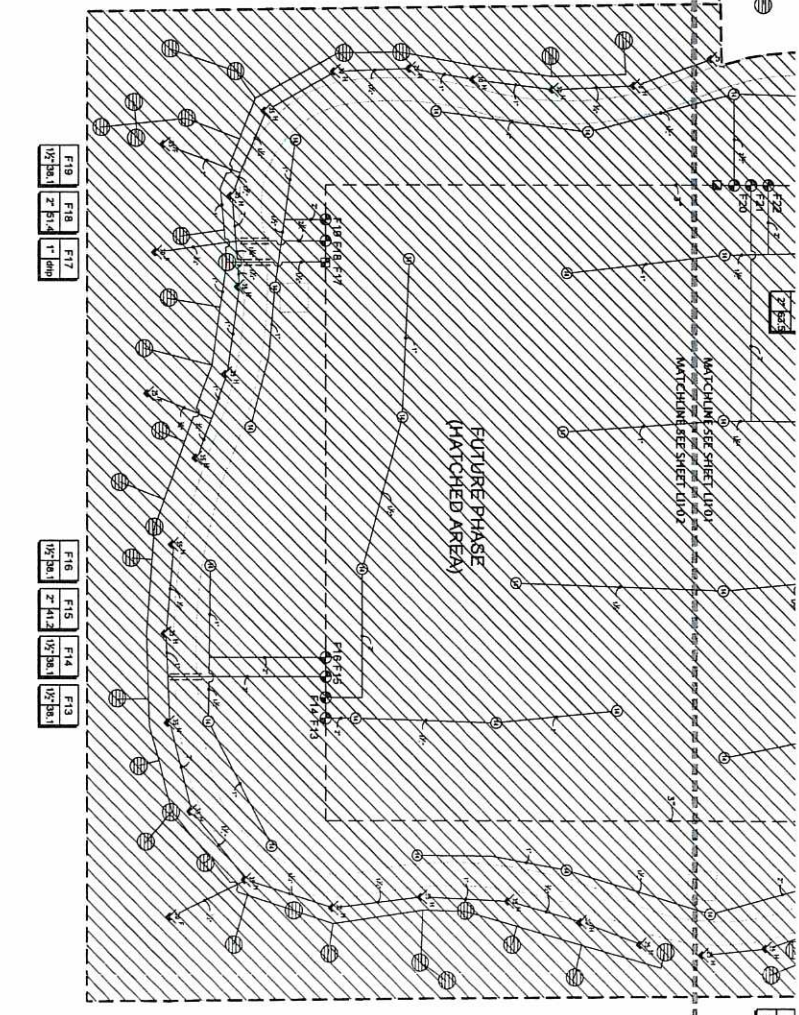


blu line designs
 id@blu.com | 800.451.4514 | 800.451.4514
 8718 E. Grand Parkway
 Suite 100
 P.O. Box 10000
 CLARK, TX 75014



IRRIGATION SCHEDULE

SYMBOL	MANUFACTURER/DESCRIPTION	PID
①	RAIN BIRD 1000-SAM-PRO ILS SERIES	30
②	RAIN BIRD 1000-SAM-PRO ILS SERIES	30
③	RAIN BIRD 1000-SAM-PRO ILS SERIES	30
④	RAIN BIRD 1000-SAM-PRO ILS SERIES	30
⑤	RAIN BIRD 1000-SAM-PRO ILS SERIES	30
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F19
10' 30"

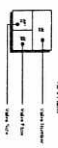
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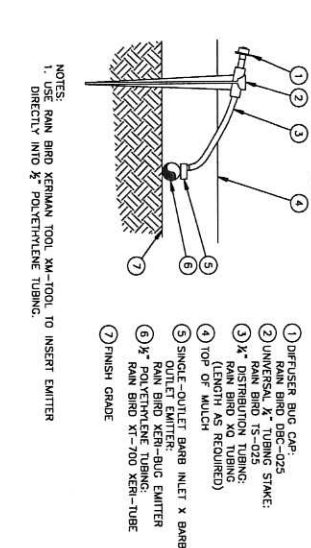
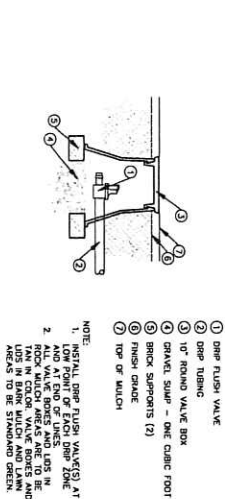
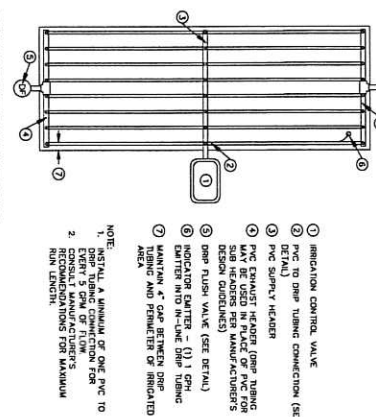
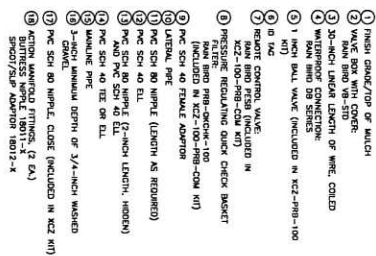
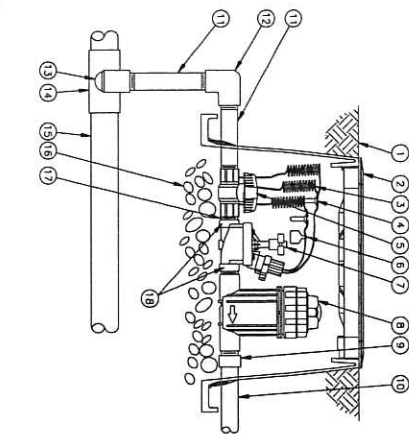
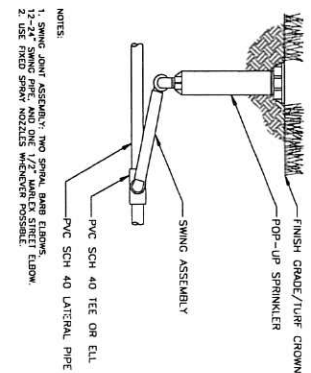
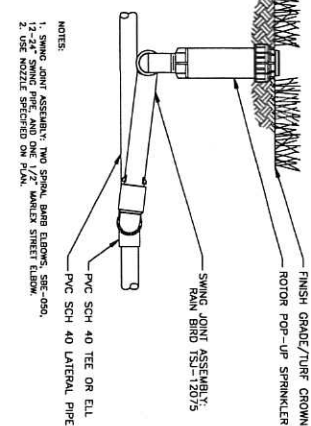
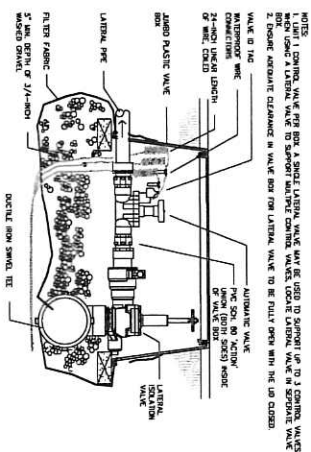
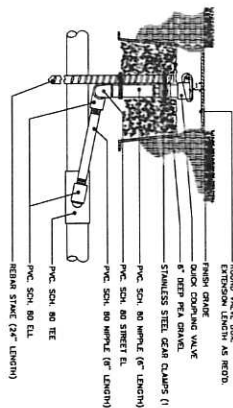
F15
10' 30"

F14
10' 30"

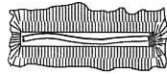
F13
10' 30"

- ① QUICK-CLOSING VALVE - RAIN BIRD 44-11C
- ② ISOLATION VALVE - MATCHBOOK SPORTS LINE SERIES
- ③ MANUAL DRAIN VALVE - FORD B1-133
- ④ AUTOMATIC FLUSHING VALVE - 7" JAWBOLT TIGHT LATCH
- ⑤ ALUMINUM CHECK SCREEN - 1/2" FLANGE FILTER FLUSH
- ⑥ FLOW SENSOR - WEATHERTRAK WITH OWEN-200 I7
- ⑦ SMART CONTROLLER - HYDRONOT WITH O-C-200A-COM
- ⑧ MAINLINE APPLICATIONS
- ⑨ MAINLINE BRANCH - RAIN BIRD W-20-11C
- ⑩ RECONSTRUCTION CONNECTION
- ⑪ RECONSTRUCTION CONNECTION
- ⑫ RECONSTRUCTION CONNECTION
- ⑬ RECONSTRUCTION CONNECTION
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SECTIONS

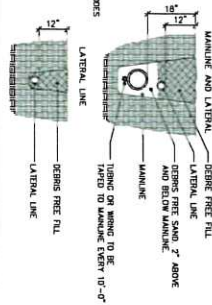


NOTES:

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1 PIPE TRENCH

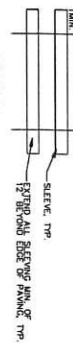
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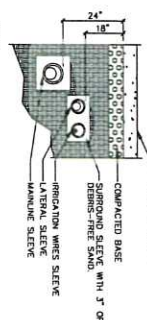
PAVING SURFACE EDGE

12°

1/4"



SECTION

NOTES
1. SEE PAGE 10

1. SEE NOTES (IRRIGATION LEGEND) FOR SLEEVE SIZING.
2. 4" MIN. CLEARANCE IN ANY DIRECTION BETWEEN LATERALS,
MAINLINE, OR SLEEVING.

2 PIPE SLEEVE

SCALE: NOT TO SCALE

3 JOINT RESTRAINT GUIDE

SCALE: NOT TO SCALE

[illegible]

"Exhibit B"
Council 2/11/19

RESOLUTION NO. 2019-1
REVISED FEE FOR WATER CONNECTIONS

WHEREAS, Coalville City has adopted a Development (Zoning) Ordinance and Subdivision Ordinance; and

WHEREAS, these ordinances contemplate and provide that the City shall fix fees for the filing of various applications and permits and for purposes required in the implementation of the ordinances; and

WHEREAS, by Resolution No. 1998-5, the City adopted fee schedules for certain applications and permits filed and issued pursuant to the Development Ordinance adopted by the City; and

WHEREAS, by Resolution No. 2006-7, the City adopted revised fee schedules; and

WHEREAS, by Resolution No. 2010-2, the City adopted revised fee schedules; and

WHEREAS, by Resolution No. 2011-1 the City adopted revised fee schedules, which is the current fee schedule for Coalville City; and

WHEREAS, on or about February, 2015 the City adopted and implemented policies ("Policies") for connecting to the Coalville City water system for water users that reside outside Coalville City limits, and

WHEREAS, the City staff has determined that some changes and modifications to the Policies need to be made, and

WHEREAS, the City Council is desirous of revising the Policies and adopting the revised Policies in their entirety.

NOW, THEREFORE, BE IT RESOLVED that the following policy for water users located outside of Coalville City is hereby adopted and becomes effective on the ____ day of February 2019:

**POLICY FOR CONNECTING TO
COALVILLE CITY WATER SYSTEM
OUTSIDE OF COALVILLE CITY**

This policy shall govern and provide guidance regarding all new connections to the Coalville City Culinary Water System for water users outside of Coalville City.

- 1) Service lines must be $\frac{3}{4}$ inch or larger. The Coalville City Public Works Director shall have the discretion to require additional specificity for service lines and other Water System infrastructure.
- 2) One $\frac{3}{4}$ inch service line may service up to 4 units, depending on the square footage of the units, the water demands in the area and other factors that will be determined by the Coalville City Public Works Director.
- 3) No service line may be connected to a feed line after a meter is set.
- 4) Any person not residing inside Coalville City that is allowed to connect to the Water System must agree to maintain and service all privately owned service/feed lines connecting to the Coalville City Water Main (main line connection to unit/residence) no matter the horizontal distance, grade or terrain.
- 5) Applicants desiring to connect to the Water System must agree to provide Coalville City with 1-acre foot of wet water. (If water share is not deemed, **for culinary use**, then applicant must provide Coalville City with proof from the division of Water Rights that a share has been transferred/converted and can be used for culinary purposes).
- 6) It will be the responsibility of the applicant to establish any right of way/easements from adjacent property owners if need be, in order to receive water to their property, or if there is an existing water line, it will be the applicant's/owner's responsibility to make sure that easements are properly documented and in good standing.
- 7) Applicant will be responsible for the cost of all materials including but not limited to water lines, fittings, meters and excavation, including the setting of the meter. An inspection must be approved by a representative of Coalville City before backfill of the connection to the mainline and the connection of the meter set.
- 8) Coalville City will supply the meter set, meter, meter box and lid at the applicant's expense.
- 9) Applicant must agree to pay all connection/infrastructure fees that are currently in place by Coalville City, before water will be provided.
- 10) Coalville City has the right to deny water service to anyone, on a case by case basis, who does not reside in the Coalville City Limits.

DATED this _____ day of February, 2019.

Council Member Judd
Council Member Anson
Council Member Robbins
Council Member Rowser
Council Member Blonquist

ATTEST:

City Recorder

Mayor