



**COALVILLE CITY COUNCIL
MEETING NOTICE AND AGENDA**

**AND JOINT MEETING OF THE
COALVILLE CITY COUNCIL AND PLANNING COMMISSION**

Notice is hereby given that the Coalville City Council will hold the regularly scheduled City Council Meeting and a Joint Planning Commission Meeting on **Monday, September 11, 2017**, at the Coalville City Hall located at 10 North Main Street. The meeting will start at **6:00 P.M.** The agenda will be as follows:

1. Roll Call
2. Pledge Of Allegiance
3. **City Council and Planning Commission Joint Agenda Items:**
 - A. **Public Hearing:** Verizon Wireless/TAEC Conditional Use To Modify The Existing Permit To Include A Microwave Dish On The Existing Telecommunications Tower
 - B. **Public Hearing:** Summit County Fairgrounds Project Final Plan Phase I
4. **City Council Agenda Items:**
 - A. Discussion With The North Summit Recreation District Concerning Projects In Coalville City
 - B. Public Works Updates – Zane DeWeese
 - C. Community Development Updates
 1. Business Licenses
 - D. Legal Updates
 - E. Mayor's Updates
 - F. Council Updates
 - G. Executive Session
5. Review And Possible Approval Of Accounts Payable
6. Review And Possible Approval Of Minutes
7. Adjournment

Coalville City reserves the right to change the order of the meeting agenda as needed.


Nachele D. Sargent, City Recorder

In compliance with the Americans with Disabilities Act, individuals needing special accommodations (including auxiliary communicative aids and services) during these hearings should notify the City Hall at least three days prior to the hearing to be attended.

Posted: September 8, 2017 City Hall, Utah Public Notice Website

Mayor
Trever Johnson

Council
Adrienne Anson
Cody Blonquist
Arlin Judd
Rodney Robbins
Tyler Rowser

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Coalville, UT 84017

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Coalville City Council
Regular Meeting and Joint Meeting
with the Planning Commission
HELD ON
September 11, 2017
IN THE
CITY HALL

Mayor Trever Johnson called the meeting to order at 6:03 P.M.

MAYOR AND COUNCILMEMBERS PRESENT: Mayor Trever Johnson
Councilmembers: Cody Blonquist,
Adrienne Anson, Tyler Rowser, Arlin Judd,
Rodney Robbins

PLANNING COMMISSION MEMBERS PRESENT: Chair: Dusty France
Commissioners: Linda Vernon, Brice Lucas
Nathanael Davenport
Jason Moore (excused)
Walter Yates (excused)

CITY STAFF PRESENT:

Sheldon Smith, City Attorney
Derek Moss, Planner
Zane DeWeese, Public Works Director
Nachele Sargent, City Recorder

PUBLIC IN ATTENDANCE:

Ron Boyer, Verlan Robinson, Denise Smith,
Daniel Thurgood, Brandon Budd, Tom
Swensen, Connie Swensen, Eric Swensen,
Virginia Richins, Nathan Brooks, Becky
Grant, Michael Grant, Brandon Rees, Tom
Fisher

Item 1 – Roll Call:

A quorum was present.

Item 2 – Pledge of Allegiance:

Mayor Trever Johnson led the Council, Staff, and Public in the Pledge of Allegiance.

City Council And Planning Commission Agenda Items:

Item A – Public Hearing: Verizon Wireless/TAEC Conditional Use To Modify The Existing Permit To Include A Microwave Dish On The Existing Telecommunications Tower:

Daniel Thurgood, Verizon Representative, explained the project to the Council and Commission. He stated SBA Towers had received a Conditional Use approval back in 2006 for a tower with the condition it could be extended up to 100 feet if it was being used by multiple carriers. He stated right now Verizon could not get a bid for fiber and so they needed to use a microwave dish to shoot the signal over to another site. Mr. Thurgood stated they were requesting to amend the current Conditional Use permit to add the microwave dish to the tower. Derek Moss referred to the Staff report (Exhibit A) and stated he couldn't find a reason for not allowing the amendment. He stated at the time of the original approval they may have been concerned about the visual impact of having a microwave dish added to the tower. Daniel Thurgood stated they planned on installing a dish that would be six-eight feet to be able to provide enough band width. Councilmember Cody Blonquist stated two dishes were shown on the plans and questions if that was correct. Daniel Thurgood stated they would only be using one at this time, but was requesting approval for two dishes in case both would be needed to get the coverage required.

Mayor Trever Johnson opened the public hearing at 6:11 P.M.

Verlan Robinson – Property Owner

Verlan Robinson stated he was the property owner where the tower was located. He stated he had received a notice about the public hearing, but hadn't heard anything from SBA, the tower owner, or Verizon. He stated he was here to find out what was going on. Mr. Robinson stated he felt they should approach him and get his approval since he was the property owner and paid the taxes on the land. He stated he wasn't against Verizon, but wanted them to talk to him about it. Mayor Trever Johnson stated the City didn't have any leverage to manage the agreement between him and the other companies. Sheldon Smith stated Mr. Robinson would have to deal directly with SBA or Verizon. Daniel Thurgood stated as a tenant they didn't have any rights to say what would happen with the agreement he had. He stated Mr. Robinson would have to deal with SBA. Sheldon Smith stated the Council could consider adding the requirement that Verizon must have legal access to the tower as part of the approval.

Mayor Trever Johnson closed the public hearing at 6:13 P.M.

Planning Commission:

Chair Dusty France questioned if SBA should be the applicant where the Conditional Use Permit was issued to them. Derek Moss stated the Conditional Use Permit applied to the tower and use and not to the owner. He stated the tenant could request the amendment. Daniel Thurgood stated the agreement they had with the owner was if they wanted any changes, they had to make the request and go through the process at their expense.

Sheldon Smith stated Verizon had a lease hold interest and would be authorized to apply for the amendment. The Commissioners discussed whether or not to require the additional requirement of legal access to the amendment.

A motion was made by Commissioner Brice Lucas to approve the amendment to the Conditional Use Permit for Verizon to add up to two microwave dishes. Commissioner Nathanael Davenport seconded the motion. All Ayes. Motion Carried.

Roll Call:

Commissioner Vernon – Aye

Commissioner Lucas – Aye

Commissioner France – Aye

Commissioner Davenport – Aye

Council:

Councilmember Tyler Rowser questioned why the structure was listed as 105 feet. Daniel Thurgood stated it included a lightning rod. Derek Moss stated the Code didn't count the lightning rod as part of the structure.

A motion was made by Councilmember Tyler Rowser to grant approval for the Conditional Use Permit amendment for Verizon Wireless to add up to two microwave dishes for the tower, for the structure to be extended to the allowable 100 feet, and with the condition they have legal access to the tower granted from the land owner. Councilmember Rodney Robbins seconded the motion. All Ayes. Motion Carried.

Roll Call:

Councilmember Judd – Aye

Councilmember Anson – Aye

Councilmember Robbins - Aye

Councilmember Rowser – Aye

Councilmember Blonquist – Aye

Item B – Public Hearing: Summit County Fairgrounds Project Final Plan Phase I:

Ron Boyer presented the plan for the Fairgrounds Final Plan Phase I. He stated they would be demolishing the Quonset Hut, the small Restrooms, the Bowery, and the Livestock Barns. They would be replaced with a Community Center and four Barns. Ron Boyer stated the road would be changed and they would be adding some parking spaces. They planned to have Phase I completed in time for the Summit County Fair in 2018. He stated the primary use for the structures was for the Fair, but they would be available for public

use throughout the rest of the year. Mr. Boyer stated they had filed for a demolition permit and had started tearing down the barn area. Commissioner Brice Lucas questioned if there would be a public restroom to replace the one being taken out. Ron Boyer stated the Community Center would have one restroom that would open to the outside and inside. Commissioner Lucas questioned if there would be a sidewalk that connected to the river bridge and to 100 South. Ron Boyer stated there was a sidewalk that started 80 feet down from 100 South, but there would not be one along the river. Commissioner Nathanael Davenport stated he would like the sidewalk to connect to 100 South as people had to walk in the road to get up the hill. Mayor Trever Johnson agreed and stated the overflow parking was up by the School and people would need access to get there. Brandon Budd stated the grade of the hill made it difficult to put in a sidewalk there. Commissioner Linda Vernon questioned if the tree landscaping on the hill could be cut back as the hill had been designated as a sledding area and right now the plan showed a lot of trees being planted there. She also questioned what the landscaping would be along the patio area. Brandon Budd stated they would be cutting back on the number of trees. He stated there were planters and some trees in the area by the patio which was intended to help shield the building from the kids sledding down the hill along with providing privacy and a softer edge along that area. He stated the building had a large foyer that opened to the patio and it would also help shade that area. He stated they would be keeping the trees planned around the parking lot and removing the trees that were around the livestock area. Commissioner Linda Vernon questioned if a masonry privacy wall was required for this project. Derek Moss referred to the Staff report (Exhibit B) and stated they recommended having the six foot masonry wall between them and the Residential properties. It would be needed on the East and West side of the property. It would not be required on the North and South side. The Commissioners questioned if the wall would have to go up to 100 South or just along the new building. Derek Moss stated they would have to put the wall in to 100 South. Mayor Trever Johnson stated there wasn't a wall there now and the County could apply for a variance if they didn't think it was needed. Chair Dusty France questioned if they had fans for air movement for the livestock barns. Ron Boyer stated they had fans and pass through ventilation along with open doors. Commissioner Linda Vernon questioned if they had addressed any issues for the flood plain. Ron Boyer stated he had spoken with Shane McFarland and would be working with him to address any concerns.

Mayor Trever Johnson opened the public hearing at 6:47 P.M.

Tom Swensen – City Resident

Tom Swensen stated his family owned the property to the West of the Community Center project. He stated they were concerned about the privacy fence and would like to be involved in how that would work. He stated they were glad to hear there would be a fence and would like the privacy. He questioned if FEMA had redrawn the flood plain map.

Mayor Trever Johnson stated it had been revised and was going through the approval process.

Mayor Trever Johnson closed the public hearing at 6:49 P.M.

Planning Commission:

A motion was made by Commissioner Linda Vernon to approve the Summit County Fairgrounds Final Plan Phase I with the modification of adding a sidewalk up to 100 South and removing some of the trees from the landscape plan on the West side at the top for a sledding hill and the other areas mentioned. Commissioner Nathanael Davenport seconded the motion. All Ayes. Motion Carried.

Roll Call:

**Commissioner Vernon – Aye
Commissioner Lucas – Aye
Commissioner France – Aye
Commissioner Davenport – Aye**

Council:

Councilmember Cody Blonquist questioned where the wall would start on the West side. Derek Moss stated it would be 20 feet from the edge of the property line. Councilmember Adrienne Anson questioned if they would want to consider extending the wall to give the patio a buffer zone. Mayor Trever Johnson stated the wall debate would probably need to be researched further before a decision could be made. Ron Boyer stated they didn't know the wall was a requirement so they would need to draw it in and estimate the cost. He stated the property did sit on a hill and it was difficult to draw everything in, but they would look at the sidewalk to 100 South and the wall/fence. Councilmember Adrienne Anson stated she would like to keep as many trees as possible on the landscaping plan. Ron Boyer stated they would be removing some of the existing trees for construction, but they were going to try and save as many as possible. Councilmember Anson stated Coalville City was a Tree City USA and had access to funding for trees. Councilmember Arlin Judd stated the Staff report recommended to pave more of the approach for the parking lot by the livestock barns. He questioned what that would be. Derek Moss stated the intent was to prevent any gravel from coming out onto the roadway so the more they could pave the better. He stated there wasn't a standard for gravel to pavement ratio for access. Councilmember Tyler Rowser questioned if they planned to bury the power lines. Ron Boyer stated there was a power pole on 100 South and they planned to bury the line down to the tennis courts and then across to the river and Community Center. He stated they would be leaving the lines for the ball diamond.

A motion was made by Councilmember Adrienne Anson to approve the Summit County Fairgrounds Final Plan Phase I with the Planning Commission recommendation of extending the sidewalk to 100 South or pathway as possible.

Mayor Trever Johnson stated he didn't know if a sidewalk would be possible there because he wasn't sure it could meet ADA standards. Ron Boyer stated they could possibly put in something to define a path.

Councilmember Rodney Robbins seconded the motion. All Ayes. Motion Carried.

Roll Call:

Councilmember Judd – Aye

Councilmember Anson – Aye

Councilmember Robbins - Aye

Councilmember Rowser – Aye

Councilmember Blonquist – Aye

Mayor Trever Johnson thanked Summit County for all of their effort on this project and for keeping the Fair in Coalville. Mayor Trever Johnson thanked the Planning Commission for being here tonight and their service to the community.

City Council Agenda Items:

Item A – Discussion With The North Summit Recreation District Concerning Projects In Coalville City:

Brandon Rees thanked the Mayor and Council for meeting with the NS Recreation District. He stated they were moving forward with a Park across from the NS Elementary School and was here to see if the City was interested in partnering with them to make it happen. He stated they had acquired the necessary water rights to move forward with their plan. Mr. Rees stated they were proposing a park with a playground, bowery, restrooms, and storage. He stated in prior years the City had agreed to do a joint project with them and was willing to donate the three acres of property that adjoined their property with the provision the property would revert back to the City if the NS Recreation District wasn't using it anymore. He stated the Rec. Dist. was already planning to move ahead with their plans with or without the City support, but hoped the City would consider moving ahead with them by following the original agreement of donating the land, waiving the connection fees, and partnering with the maintenance with the stipulation the property would fall back to the City. Mike Grant showed the Council some pictures of the playground equipment that they had ordered. He stated if the City donated their property it would be used for the playground area. He stated one of the big reasons for using the City property for the playground was they could build a field straight across their property

as it was right now with very little work. If they had to put the playground on their property, it would cost a lot more to move the dirt to build the field. Mike Grant stated they had already purchased the playground equipment and would only need to do the concrete work for the equipment and then they would build a small bowery with bathrooms. Brandon Rees stated it would be a great benefit for the City as there wasn't a playground area in Coalville. Mayor Trever Johnson stated in the discussion for the Summit County Fairgrounds, there was a part carved out for a playground area. The County had since chopped it up and decided to phase things and now a playground was scheduled for Phase II. He stated he had approached Tom Fisher and asked them to carve out some property in Phase I so something could be done now. He stated there was an area to the North by the road West of the parking area that they were considering approving for some playground equipment. He stated with this Rec. Dist. plan, there wasn't any infrastructure where they planned to put in the playground and it was across from a playground at the school. He questioned why they would want to pursue putting in a playground in this area and not investing with the County to put something in the Fairgrounds area which was a better location. He questioned if they had the capital to maintain the area they planned to put in or would the City be in the same situation they were now where they got the blame for the shambles the SC Fairgrounds was in. Brandon Rees stated originally they planned to partner with the NS School District and then they tried to work with the County and the County had no appetite for extra recreation in the North Summit area. They were not interested in developing any fields, courts, or an area inside the Community Center that the NS Rec. Dist. could donate to and participate in. He stated a playground area was never discussed and they were just hearing about that now. Mayor Trever Johnson stated he had been working with Nate Brooks and also Councilmembers Adrianne Anson and Tyler Rowser who were on the Rec. Dist. Board knew about his plans to carve out an area with Summit County for a playground. Nate Brooks stated it was brought up as a temporary plan and they weren't interested in doing that. Mayor Trever Johnson stated that was one of the options, to have a temporary area until the County developed Phase II, but that could be 10 years from now. He stated he felt there was some room to negotiate with the County, but if the NS Rec. Dist. felt they wanted to cut ties and move on he understood. Councilmember Arlin Judd stated he hadn't heard anything about a park area temporary or permanent at the Steering Committee meetings for the Fairgrounds. He stated Mayor Johnson may have been working with Tom Fisher, but Mr. Fisher hadn't brought any of the information to the Committee for consideration. Brandon Rees stated they had tried to work with the County and felt they couldn't afford to wait for Phase II. He stated they wanted to do something to show they were contributing to recreation for the North Summit area. Becky Grant stated from being on the Fair Board, she had heard a lot of comments about the County not wanting to contribute to something that would benefit the NS Rec. Dist. She stated they felt it would only benefit the North Summit area. Brandon Rees stated they had received an extension for the funding they had received, but needed to spend their funds before they lost them. Councilmember Cody Blonquist questioned if that was the driving factor behind this move. Brandon Rees stated that was one of the factors. He stated they also had recently obtained water rights that were

needed for the fields. Councilmember Rodney Robbins stated it had been previously discussed that if this area was developed the roads in the Indian Hills Subdivision would be connected to get rid of the dead end streets. Councilmember Arlin Judd agreed and stated it was part of the original plan when the City was partnering with the Rec. Dist. Virginia Richins stated the NS Rec. Dist. had tried over and over to get something going and they had been shot down by the County at every turn. Councilmember Arlin Judd stated it had been made very clear by the County when the Rec. Dist. tax vote failed for the special service district; they were not interested in doing anything that would benefit the Rec. Dist. He stated he was skeptical that anything beyond Phase I of the Fairgrounds project would happen. He questioned if it was time the City divorced themselves from the County area and took advantage of this opportunity with the Rec. Dist. Virginia Richins stated she understood there was a playground area at the Elementary, but there wouldn't be very many parents that would let their children run back and forth across a busy road to play and be out of sight. She stated a play area by the fields would give the parents that were waiting for kids to practice, etc., a great place to hang out and have something to do for the kids that were waiting too. Brandon Rees thanked the City for their time and stated he hoped they would consider partnering with them. He stated they were planning on moving ahead this fall.

Item B – Public Works Updates – Zane DeWeese:

Zane DeWeese stated the 50 West water line project was still moving along. They had made it past 100 South.

Zane DeWeese stated the Force Main project should be starting soon. They had received a Blue Stakes notice from Counterpoint Construction and paperwork for the start work notice had been dropped off at the office today.

Zane DeWeese stated the PRV for Walker View area should be delivered sometime this week and was on the schedule to be replaced. He stated they would be following up with the yearly maintenance for the other PRVs throughout the City.

Item C – Community Development Updates:

Derek Moss stated there were no updates tonight.

Item D – Legal Updates – Sheldon Smith:

Sheldon Smith handed out a letter (Exhibit C) that would be sent to the Annexation Petitioners. He stated the letter rejected the petition as it created peninsulas and islands along the corridor which the Code discouraged. He stated the City wanted an area that was more uniform which was the revised petition. Sheldon Smith stated the revised area was deficient in meeting the 1/3 value of the private property needed. He stated they only

had 23% of the 33% required. Sheldon stated by rejecting the petition, the Petitioners could have another 30 days to adjust the area or try to get the numbers they needed. Derek Moss stated the Petitioners felt they met the requirements and would like the City to consider that, but the City felt it was better to go with the more uniform area. He stated the Petitioners felt if the City went ahead with the original area, it would get the word out and give others the opportunity to be informed and join the annexation. Derek stated based on the City review, they fell short on other aspects and didn't meet the minimum requirements. Sheldon Smith stated they also didn't have a recordable map on the original petition. He stated it wasn't a big deal, but it was needed. Derek Moss stated the other concern the Petitioners mentioned was the City showed an annexation area that included their property and extended that far South and so they didn't understand why the City wouldn't accept any type of annexation petition. He explained that was the future annexation direction and it would still apply. As the City grew, it would still be a potential area for annexation. Councilmember Cody Blonquist stated from his research on annexations, when unincorporated areas around a Municipality started developing, it then became beneficial for the City to annex the area because they generated revenue.

Sheldon Smith stated the Keyes Family legal issue was completed, but the documents weren't signed and wouldn't be until they had moved the shed, which they were working on, moved the fence to the property line, and now they also had to deal with the slope issue they created with the excavation of the hillside. Councilmember Rodney Robbins questioned if a Conditional Use could be put on them to require them to clean the area where the smell was so bad. Sheldon stated it was a Permitted Use and they couldn't put any conditions on them. He stated the City could look at changing the Zone as it would preclude additional sheds and more growth. Councilmember Arlin Judd stated he didn't think you could dictate how someone ran their business. Sheldon stated there were some issues that may need to be dealt with at some time and it could be looked at.

Item H – Mayor's Updates:

Mayor Trevor Johnson stated he had been contacted by Jeff Peterson with concerns about the flies and smell from the mink farm next to where he lived and had invited him to come to the meeting tonight to explain his concerns. Jeff Peterson stated he had spoken with the Health Board, the State Agriculture Board, and the Federal Agriculture Board about the issues with the smell and flies from the mink and was told the issues had to be handled locally as it was a local issue. The Health Department stated if someone didn't get sick from the problems, they wouldn't be able to do anything. He stated the flies and smell were so bad they couldn't stand to go outside in their back yard. He stated he hoped there was something that could be done to help with the issues whether it was requiring the Mink Farm to spray for the flies or something else that would help relieve the problem. Mr. Peterson stated Ward Rees owned a mink farm and didn't have the smell and flies like they did here. You could be within 100 feet before you noticed anything there and here he lived a quarter mile away and it was like they were in his backyard. He stated he had family

that lived even closer and it was even worse. DeAnn Huntington showed a fly strip that was 30 feet long by six inches wide that had hung off of her back patio that was loaded with flies. She stated it had only been hanging there for four days. She stated it had become progressively worse the last five years. Ms. Huntington stated they were not cleaning up after the mink at all. When they moved the mink shed, they had a pile that was as high as the fence and probably ten feet long and ten feet wide. She stated when they did start moving it; it was the most horrible smell. Mayor Trevor Johnson questioned if Mr. Peterson had spoken with the Keyes family to see if they would make an effort to mitigate the problems. Jeff Peterson stated he spoke with them last year at this time and was told with the issues they had to deal with, the County and Attorney's fees, they wouldn't be able to have money for fly spray and the flies would be twice as bad. He stated they put a fly deterrent in the feed, but that alone wouldn't help. Ward Rees fogs the sheds and piles daily and puts lime under the pens to help kill the larva. Jeff Peterson stated he was at Ward Rees' today and it was very reasonable. He stated he understood it was part of their livelihood, but felt they should have to do their due diligence to take care of the animals and the neighborhood. Dena Judd stated they had lived there 38 years and hadn't had the issues like they have the last five years. Jeff Peterson questioned if anyone knew if the Furbearer Association had any requirements that had to be followed. Sheldon Smith stated this was a tough issue as they were Grandfathered in and were entitled as a Permitted Use. He stated he would need to review this kind of situation before he could offer any advice on the best way to handle the problem. Jeff Peterson stated he could bring in a signed petition from the neighbors and would be willing to do whatever was needed. He stated he wasn't against them or the business, but felt they should have to take better care of their farm. Mayor Johnson stated he knew there were some issues there with the problems they had with the City. DeAnn Huntington stated the Keyes' had said as far as they were concerned they didn't have any neighbors. Sheldon Smith stated he would review and verify the options to address the issue.

Mayor Trevor Johnson stated the City would be doing some crack sealing in the next couple of weeks. Zane DeWeese stated he would like to post it on the website and maybe do a flyer to let people know.

Item I – Council Updates:

There were no Council updates.

Item J – Executive Session:

There was no executive session.

Item #6 – Review, Discussion, and Possible Approval of Minutes:

The Council reviewed the minutes of the August 28, 2017 meeting.

A motion was made by Councilmember Tyler Rowser to approve the minutes of August 28, 2017 as corrected. Councilmember Cody Blonquist seconded the motion. All Ayes. Motion Carried.

Item #5 – Review and Possible Approval Of Accounts Payable:

The Council reviewed the Accounts Payable for September, 2017. Councilmember Arlin Judd questioned if they should be seeing everything being paid out from the City including the payroll, State Tax Commission, etc. He stated he wanted to make sure they were satisfying the legal requirements. Mayor Trever Johnson stated he would talk with Sheldon Smith to get his opinion of what should be presented at Council meeting.

A motion was made by Councilmember Rodney Robbins to approve the Accounts Payable for September 2017. Councilmember Tyler Rowser seconded the motion. All Ayes. Motion Carried.

Item #7 – Adjournment:

A motion was made by Councilmember Tyler Rowser to adjourn the meeting. Councilmember Cody Blonquist seconded the motion. All ayes. Motion Carried.

The meeting adjourned at 8:12 P.M.

Mayor Trever Johnson

Attest:

Nachele D. Sargent, City Recorder



J-U-B ENGINEERS, INC.

"Exhibit A"
Joint City Council 9/11/17

J-U-B COMPANIES



THE
LANGDON
GROUP



GATEWAY
MAPPING
INC.

DATE: September 11, 2017

TO: Coalville City Council

CC: Mayor Trevor Johnson; Zane DeWeese, Public Works Director;
Sheldon Smith, City Attorney;

FROM: Shane McFarland P.E., City Engineer
Derek Moss, AICP, City Planner

SUBJECT: Verizon Wireless Telecommunications Conditional Use Permit
Modification

Application Information: Verizon Wireless / TAEC has submitted an application to modify the existing conditional use permit for the telecommunications tower located at 850 South Beacon Hill Drive, Coalville, UT, parcel CT-352 to allow for microwaves on the tower structure.

The existing parcel is 38.62 acres; the fenced area of the existing tower is approximately 80' x 80'; and, the leased area for the tower is approximately 100' x 100'.

Applicable Ordinances: Title 10, Chapter 23: Wireless Telecommunications; and, 10-23-020

Decision to be Made: Planning Commission responsibility is to recommend to deny, recommend approval with modifications, or recommend approval of the conditional use permit. City Council responsibility is to deny, approve with modifications, or approve the final application.

Staff Comments: There is an existing conditional use permit which allows for up to two (2) additional carriers at a maximum height of 100 feet, subject to approval by City Staff. Verizon has requested the additional carriers be approved. Staff have reviewed this aspect of the application and have granted approval for the carrier and additional 20' covered within the permit.

The modification requested, to allow for microwaves on the tower structure has been reviewed by the staff. Microwaves are intended to be a short term solution for needs Verizon Wireless has currently. The final solution is to install fiber optics to the site. It is the intent of Verizon to install the fiber optic in the future to meet the user demands.

Verizon

UT2 - COALVILLE

SITE INFORMATION

APPLICANT:
VERIZON WIRELESS
9656 SOUTH PROSPERITY ROAD
WEST JORDAN, UTAH 84098

SBA SITE INFO:
SITE NAME: COALVILLE
SITE NUMBER: UT21095

SITE ADDRESS:
LOT OFF BEACON HILL DRIVE
COALVILLE, UTAH 84017

LATITUDE AND LONGITUDE:
N 40°54'28.44", W 112°30'4.25"

ZONING JURISDICTION:
COALVILLE CITY

PROJECT DESCRIPTION:
THIS IS AN EXISTING UNMANNED COMMUNICATIONS FACILITY. VZW IS PROPOSING TO INSTALL THEIR ANTENNAS UPON THE EXISTING MONOPOLE (90' BEING EXTENDED TO 100' TALL) AND PLACING THEIR EQUIPMENT UPON AN OUTDOOR PLATFORM WITH AN OUTDOOR GENERATOR.

TYPE OF CONSTRUCTION:
OUTDOOR EQUIPMENT AND GENERATOR, ANTENNAS UPON EXISTING MONOPOLE

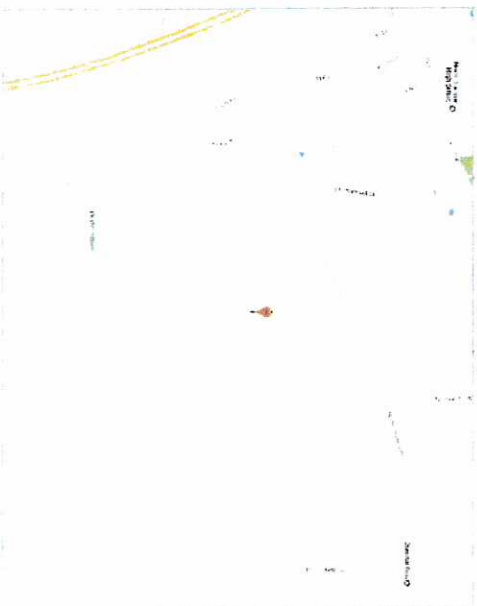
HANDICAP REQUIREMENTS:
FACILITY IS UNMANNED AND NOT FOR PUBLIC HAZARDATION, HANDICAP ACCESS REQUIREMENTS DO NOT APPLY

POWER COMPANY:
ROCKY MOUNTAIN POWER, 1-888-221-7070

CONTACT INFORMATION

SITE ACQUISITION:
TECHNOLOGY ASSOCIATES, INC.
5710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123
PHONE: 801-475-1700
PHONE: 801-475-1700

LOCATION MAP



DO NOT SCALE DRAWINGS

CONTRACTOR SHALL VERIFY ALL PLANS, AND EXISTING DIMENSIONS, AND CONDITIONS ON THE JOB SITE, AND SHALL IMMEDIATELY NOTIFY THE ENGINEER IN WRITING OF ANY DISCREPANCIES BEFORE PROCEEDING WITH THE WORK OR BE RESPONSIBLE FOR SAME.

DRIVING DIRECTIONS

FROM THE VZW WEST JORDAN OFFICE, TAKE I-15 NORTH TO I-80 AND TAKE I-80 EASTWARD FOR 35 MILES TO EXIT #162 IN COALVILLE. TURN RIGHT AND HEAD EAST FOR 0.2 MILES TO MAIN STREET. TURN LEFT AND HEAD NORTH FOR 200 FEET TO GO SOUTH STREET. TURN RIGHT AND HEAD EAST FOR 0.1 MILES TO 200 EAST STREET. TURN LEFT AND HEAD SOUTH FOR 0.4 MILES UNTIL YOU REACH A WHITE A-PIECE AT THE EXISTING DIRT ROAD. CONTINUE ALONG THE DIRT ROAD TO THE SITE (DRIVE AFTER PASSING THROUGH) AND FOLLOW THE DIRT ROAD UP TO THE EXISTING COMMUNICATION FACILITY.

APPROVALS

VERIZON WIRELESS REPRESENTATIVE:
VERIZON WIRELESS RF ENGINEER:
TAC SITE ACQUISITION:
TAC CONSTRUCTION MANAGER:
SITE OWNER:

DRAWING INDEX

SHEET NO.	SHEET TITLE	REV	DATE
T100	TITLE SHEET, VICINITY MAP, GENERAL SITE INFORMATION	0	
C100	OVERALL SITE PLAN	0	
C101	ENLARGED SITE PLAN	0	
C200	SITE ELEVATIONS	0	



UNDERGROUND SERVICE ALERT, CALL "BLUE STAKES OF UTAH" @ 811 OR 1-800-662-4111
THREE WORKING DAYS BEFORE YOU DIG



SHEET TITLE
VICINITY MAP
GENERAL INFORMATION
T100

Technology Associates
UTAH MARKET OFFICE
5710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123

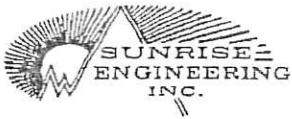
CORPORATE OFFICE
3115 SOUTH ALDER DRIVE, SUITE #110
CHENOWETH, OREGON 97010

DRAWN BY: JAV C
CHECKED BY: DAN T

REV **DATE** **DESCRIPTION**
0 06.13.2017 ZONING DRAWINGS

verizon
9656 SOUTH PROSPERITY ROAD
WEST JORDAN, UTAH 84098

UT 02992-S

**SUNRISE ENGINEERING, INC.**

12227 South Business Park Drive • Suite 220
Draper, Utah 84020
Tel (801) 523-0100 • Fax (801) 523-0990

FILLMORE, UT
MESA, AZ
AFTON, WY
WASHINGTON, UT
SALT LAKE CITY, UT
BULLHEAD CITY, AZ
PRESCOTT VALLEY, AZ

March 23, 2000

RE: COALVILLE SITE – UISS66001 – 004
Robinson Property
Northeast quarter of Section 16, Township 2 North, Range 5 East, SLM
Near city water tank – southeast of
Coalville, Summit County, Utah

Latitude	40°54'29.44" N
Longitude	111°23'04.25" W
Ground Elevation	6045 feet
Planned Structure Ht.	105 feet (monopole)
Overall Height	6150 feet

I Dale J. Robinson, certify that the Latitude Longitude listed above are accurate to within ± 50 feet horizontally; and the site elevation listed above is accurate to within ± 20 feet vertically.

The horizontal datum (coordinates) are in terms of the North American Datum of 1983 (NAD-83) and are expressed as Degrees, Minutes, and Seconds. The vertical datum (height) is in terms of the National Geodetic Vertical Datum (NGVD 88) and is determined to the nearest foot.

Dale J. Robinson
Land Surveyor
Utah LS # 189369





Technology Associates

UTAH MARKET OFFICE
5710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123

CORPORATE OFFICE
3115 SOUTH WELBOS DRIVE, SUITE #110
CARLSBAD, CALIFORNIA 92010

DRAWN BY:	JAY C
CHECKED BY:	DAN T

REV	DATE	DESCRIPTION
0	06.13.2017	ZONING DRAWINGS

UT2 - COALVILLE
NE SEC 16, T2N, R5E
OFF BEACON HILL DRIVE
COALVILLE, UTAH 84017
-- SITE CO-LOCATION --

SHEET TITLE

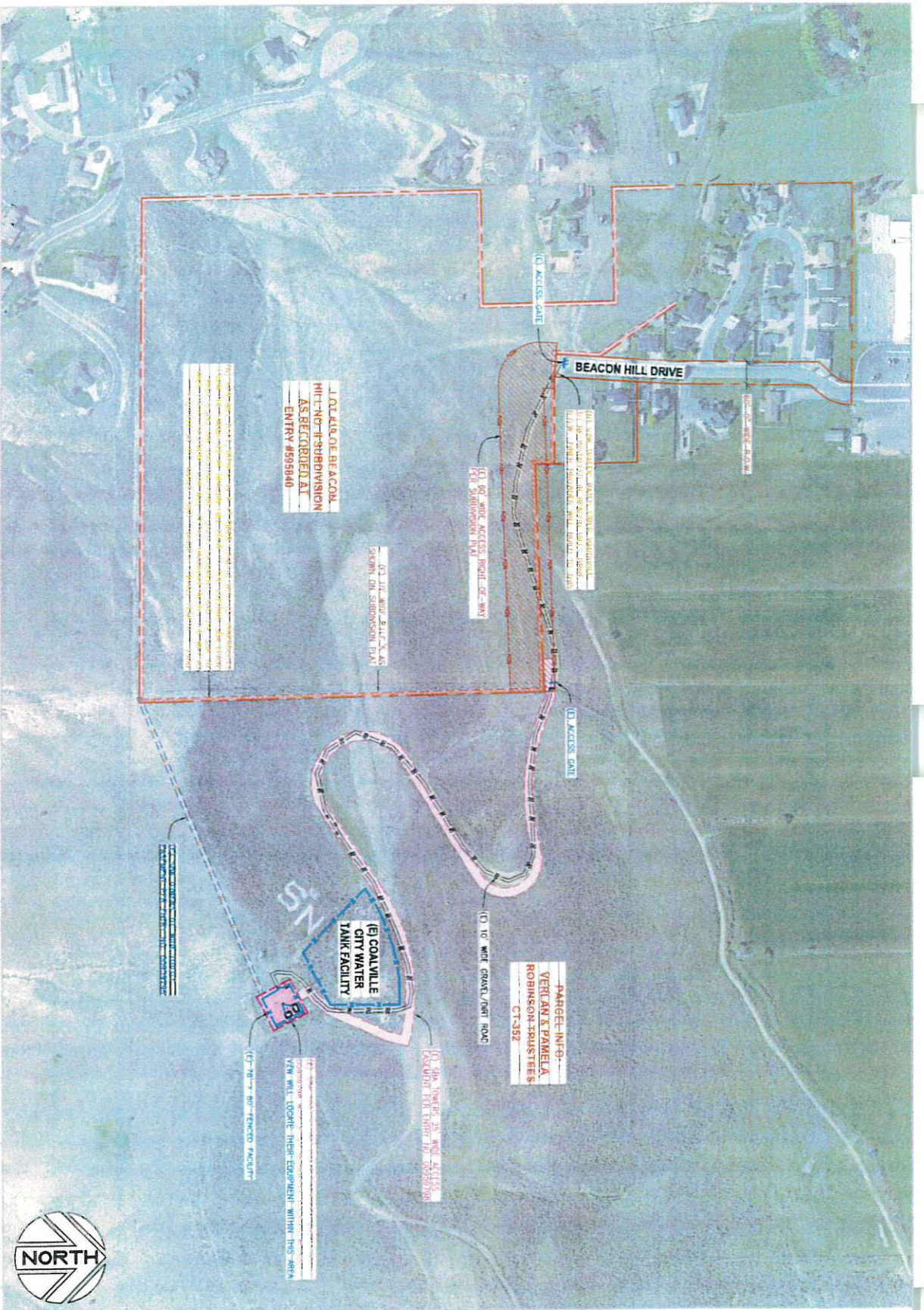
OVERALL SITE PLAN

SHEET NUMBER
C100



SCALE: 1/4" = 60'-0" 1

OVERALL SITE PLAN



KEYED NOTES

- 1 EXISTING SBA TOWERS BE MONOPOL WITH (1) SET OF 7' TALL ANTENNAS AT A 78' CENTERLINE AND (1) SET OF 6' TALL ANTENNAS AT A 60' CENTERLINE.
- 2 PLATFORM WITH CONCRETE (11'-4" x 11'-11" PRE-FAB EQUIPMENT PLATFORM WITH CONCRETE FOUNDATION. SEE E202/2 FOR THE PER FOUNDATION INFORMATION.
- 3 VZW S0020 30WV EXTERNAL DIESEL GENERATOR (7'-37") WITH A 3" x 4" CONCRETE FOUNDATION. SEE E202/2 FOR THE PER FOUNDATION INFORMATION.
- 4 VZW S0020 30WV EXTERNAL DIESEL GENERATOR (7'-37") WITH A 3" x 4" CONCRETE FOUNDATION. SEE E202/2 FOR THE PER FOUNDATION INFORMATION.
- 5 VZW ICE BRIDGE. SEE E202/3 AND E200.
- 6 VZW GRS ANTENNA TO BE MOUNTED TO ONE OF THE SQUARE SHIELD SUPPORT LEGS. SEE E202/1 AND E200.
- 7 VZW ICE BRIDGE. SEE E202/3 AND E200.
- 8 VZW GRS ANTENNA TO BE MOUNTED TO ONE OF THE SQUARE SHIELD SUPPORT LEGS. SEE E202/1 AND E200.

verizon
9656 SOUTH PROSPERITY ROAD
WEST JORDAN, UTAH 84088

Technology Associates
UTAH MARKET OFFICE
5710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123
CORPORATE OFFICE
3115 SOUTH WINDERMERE DRIVE, SUITE 1110
CARLSBAD, CALIFORNIA 92010

DRAWN BY: JAY C
CHECKED BY: DAN T

0 06.13.2017 ZONING DRAWINGS
REV DATE DESCRIPTION

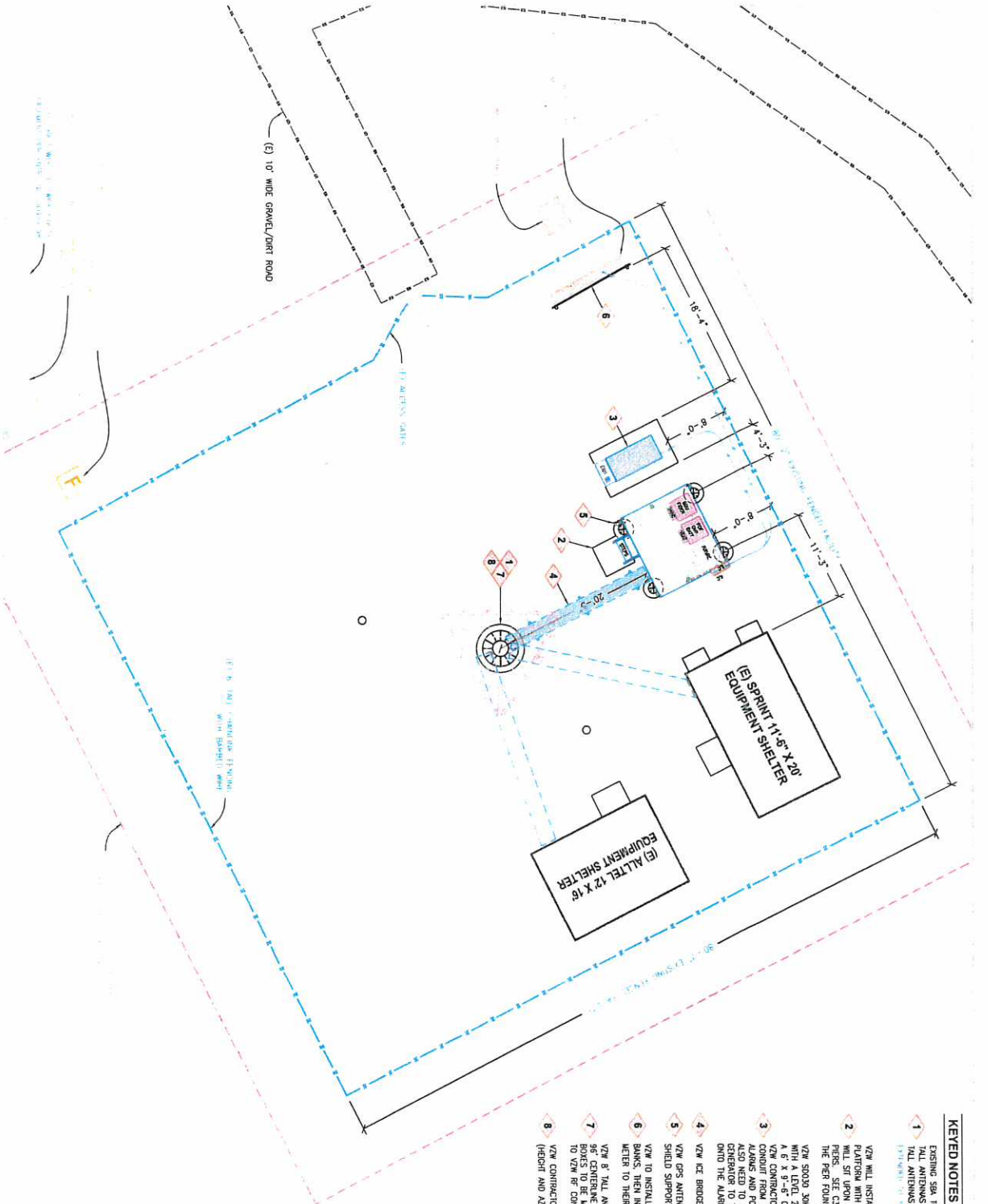


UT2 - COALVILLE
NE SEC 16, T2N, R5E
OFF BEACON HILL DRIVE
COALVILLE, UTAH 84017
- SITE CO-LOCATION -

SHEET NUMBER
C101

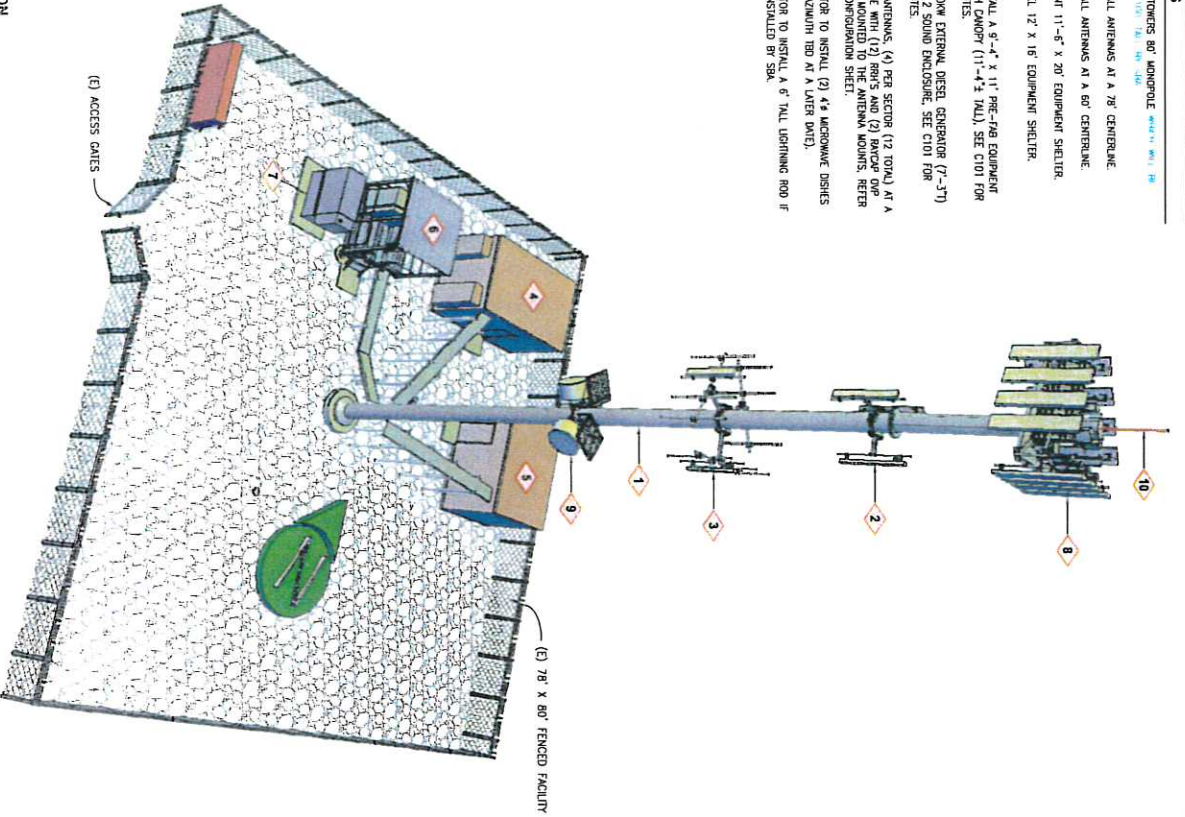
ENLARGED SITE PLAN

SCALE: 1/4" = 3'-0"



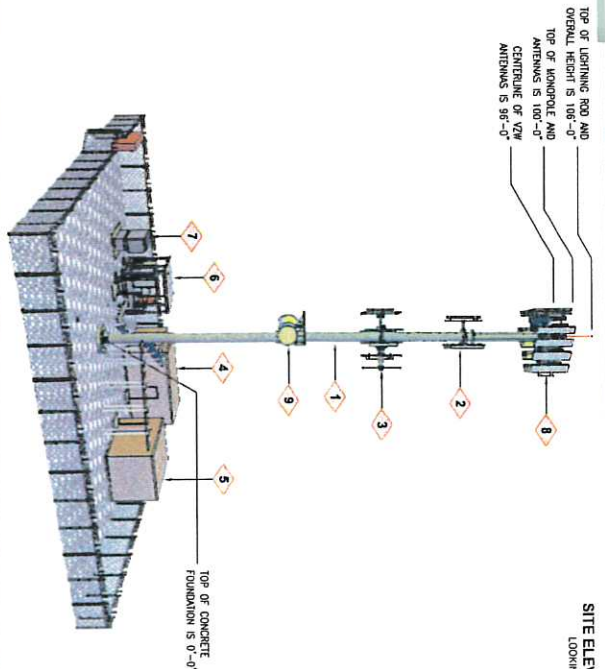
KEYED NOTES

- EXISTING SMA TOWERS 60' MONOPOLE. SEE C101 FOR ELEVATION NOTES.
- EXISTING 7' TALL ANTENNAS AT A 78' CENTERLINE.
- EXISTING 6' TALL ANTENNAS AT A 60' CENTERLINE.
- EXISTING SPRINT 11'-5" X 20' EQUIPMENT SHELTER.
- EXISTING ALTEL 12' X 16' EQUIPMENT SHELTER.
- VZW WILL INSTALL A 5'-4" X 11' PRE-FAB EQUIPMENT PLATFORM WITH CANOPY (11'-4" TALL). SEE C101 FOR ADDITIONAL NOTES.
- VZW SPRINT 20'X20' EQUIPMENT SHELTER (7'-11" WITH A LEVEL 2 SOUND ENCLOSURE. SEE C101 FOR ADDITIONAL NOTES.
- VZW 8' TALL ANTENNAS (4) PER SECTOR (12 TOTAL) AT A 60' CENTERLINE. WITH (2) SPTS AND (2) MONOPOLY BEAMS. SEE C101 FOR ADDITIONAL NOTES. REFER TO VZW RF CONFIGURATION SHEET.
- VZW CONTRACTOR TO INSTALL (2) 4" MICROWAVE DISHES (HEIGHT AND KNUCKLE TBD AT A LATER DATE).
- VZW CONTRACTOR TO INSTALL A 6' TALL LIGHTNING ROD IF ONE IS NOT INSTALLED BY SMA.



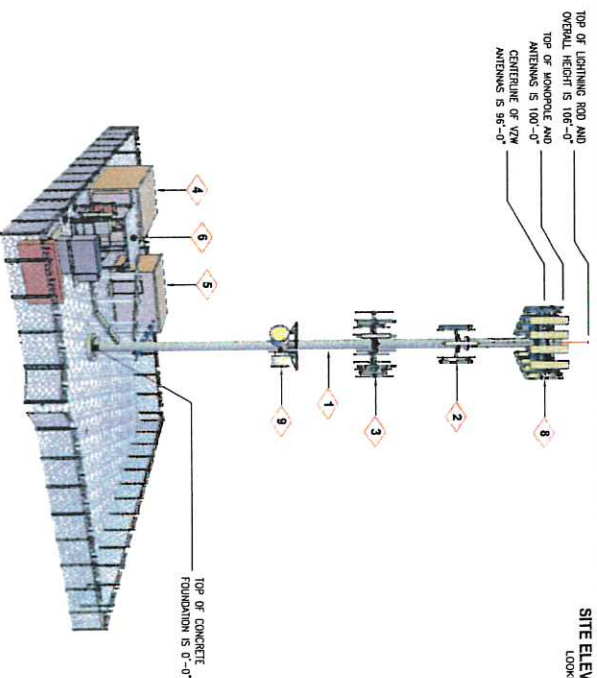
SITE ELEVATION

LOOKING NORTH



SITE ELEVATION

LOOKING EAST



Technology Associates
UTAH MARKET OFFICE
5710 SOUTH GREEN STREET
SALT LAKE CITY, UTAH 84123
CORPORATE OFFICE
3115 SOUTH CENTRAL AVENUE
CARLSBAD, CALIFORNIA 92010

DRAWN BY: JAY C
CHECKED BY: DAN T

0 06.13.2017 ZONING DRAWINGS
REV DATE DESCRIPTION

UT2 - COALVILLE
NE SEC 16, T2N, R5E
OFF BEACON HILL DRIVE
COALVILLE, UTAH 84017
-- SITE CO-LOCATION --

SHEET NUMBER
C200

SITE ELEVATIONS

SITE ELEVATION
NORTHEAST VIEW



J-U-B ENGINEERS, INC.

"Exhibit B"
Joint City Council 9/11/17

J U B COMPANIES



THE
LANGDON
GROUP



GATEWAY
MAPPING
INC.

DATE: September 11, 2017
TO: Coalville City Council
CC: Mayor Trevor Johnson; Zane DeWeese, Public Works Director;
Sheldon Smith, City Attorney;
FROM: Shane McFarland P.E., City Engineer
Derek Moss, AICP, City Planner
SUBJECT: Summit County Final Plan (5518002)

Application Information: Summit County (applicant) has submitted a final plan to demolish and construct phase 1 of the Summit County Fair Grounds.

Applicable Ordinances: Title 8-7

Decision to be Made: The decision to consider approval of the final plan submitted.

Staff Comments:

A demolition plan has been submitted. A demolition permit will be issued upon application.

The property is located in the Public Facilities Overlay within the R4 zone and the plan meets the area, width, and protection of property setbacks, which are:

Planning Comments

- Lot Area: Lot area requirements in the Commercial Zones shall be dictated by off-street parking, adequate circulation, and site design requirements. The maximum floor area ratio shall not exceed sixty percent (60%) of the lot or parcel.
- Where a commercial development adjoins any residential zone or residential use, there shall be provided along the adjoining property line a six (6) foot solid masonry wall. A wall is not required along the adjoining property line in the required front yard setback.
- Front-Yard Setback: Each structure in the Commercial Zone shall be located at least twenty (20) feet from the edge of any public street, provided however, that no off-street parking shall be located closer than ten (10) feet from any public street.
- Side-Yard Setback: Each structure in the Commercial Zones shall be located at least twelve (12) feet from the nearest building and no less than three (3) feet from the property line.
- Rear-Yard Setback: Each structure in the Commercial Zones shall be located at least twelve (12) feet from the rear property line or adjacent building in order to provide for adequate alleyways for deliveries.

- Landscape plans have been submitted and meet all landscaping requirements per 10-15-070

Engineering Comments

- Additional details for the storm drain and detention area should be submitted prior to construction. Please include storm water detention calculations.
- The storm drain inlets, piping, and detention basin area will all be privately owned. All maintenance should be the county responsibility.
- Additional details for pavement sections should be submitted. APWA 58-28 asphalt mix is the preferred city standard.
- The plans indicate sheets that have not been submitted. These should be submitted prior to construction.
- The 100 year flood plain should be indicated on the plans. This may affect the finish floor elevation of livestock building B
- It would be recommended to pave more of the approach to the livestock barns to help relieve any potential tracking on 100 south from the gravel parking area.
- Architectural plans will be under full review during the building permit process.

If you have any questions feel free to contact us.



GENERAL NOTES AND LEGEND:

- 1. SEE THE SHEET FOR GENERAL NOTES.
- 2. SEE THE SHEET FOR GENERAL NOTES.
- 3. SEE THE SHEET FOR GENERAL NOTES.
- 4. SEE THE SHEET FOR GENERAL NOTES.
- 5. SEE THE SHEET FOR GENERAL NOTES.
- 6. SEE THE SHEET FOR GENERAL NOTES.
- 7. SEE THE SHEET FOR GENERAL NOTES.
- 8. SEE THE SHEET FOR GENERAL NOTES.
- 9. SEE THE SHEET FOR GENERAL NOTES.



7001 WEST 1700 SOUTH
SALT LAKE CITY, UTAH 84105
WWW.SITEENGINEERING.COM

KEYED NOTES:

- 1. SEE THE SHEET FOR GENERAL NOTES.
- 2. SEE THE SHEET FOR GENERAL NOTES.
- 3. SEE THE SHEET FOR GENERAL NOTES.
- 4. SEE THE SHEET FOR GENERAL NOTES.
- 5. SEE THE SHEET FOR GENERAL NOTES.
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- 7. SEE THE SHEET FOR GENERAL NOTES.
- 8. SEE THE SHEET FOR GENERAL NOTES.
- 9. SEE THE SHEET FOR GENERAL NOTES.

NOT FOR
CONSTRUCTION

ARCHITECT / CONSULTANT

PROJECT DESCRIPTION
SUMMIT COUNTY
COMMUNITY
CENTER

300 Park Blvd
Coeville, UT 84017

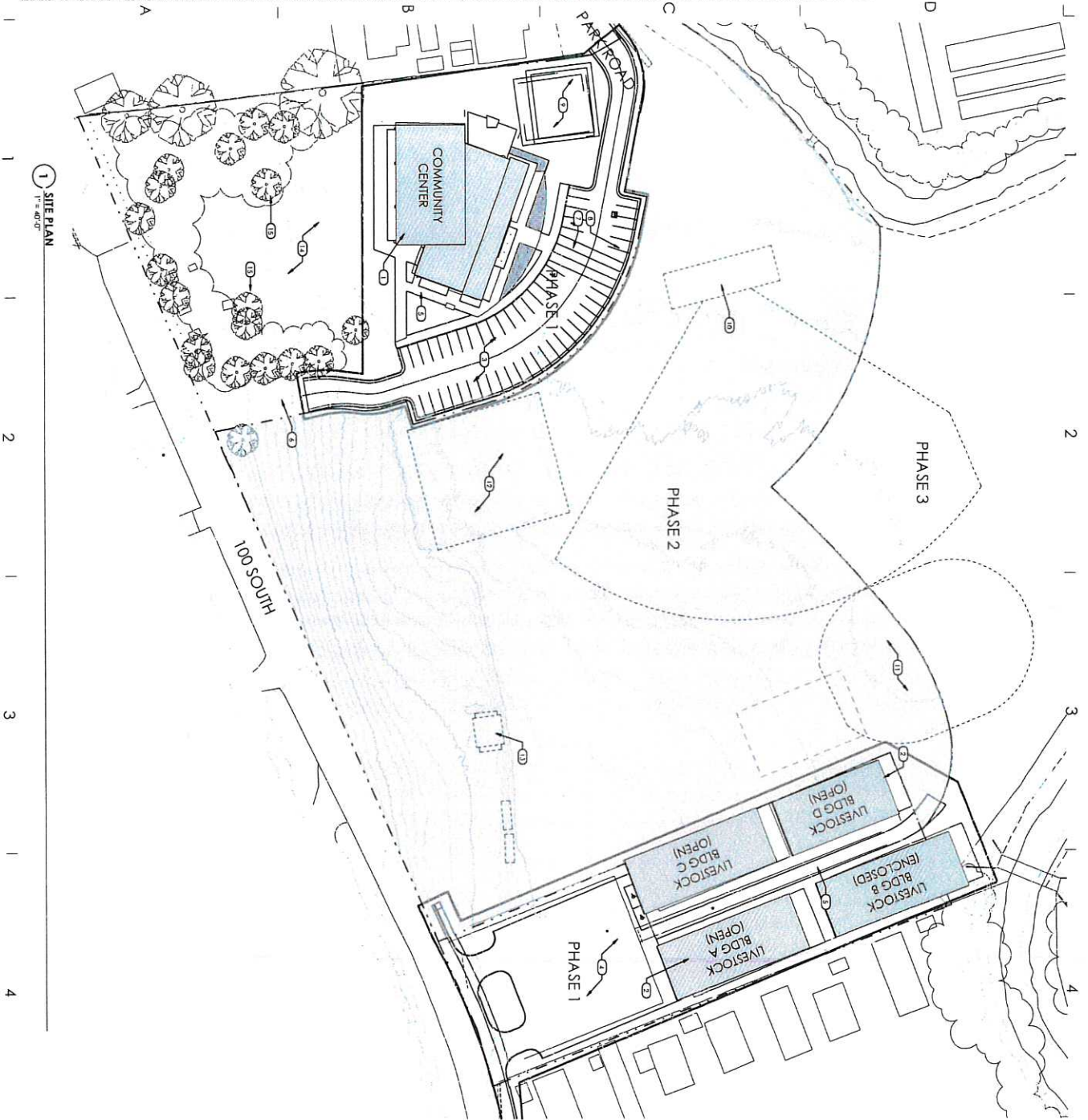
AND STAMP

SHEET NAME
ARCHITECTURAL SITE
DEMOLITION PLAN

REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 08/07/2017
ISSUE TYPE: 50% PRELIMINARY
DRAWN BY: BM / RM
CHECKED BY: K. RICHIE
PROJECT#: 1730.01
SHEET NUMBER:

AS100



1 SITE PLAN
1" = 40'-0"

GENERAL NOTES AND LEGEND:

- 1. SEE SHEET 100 FOR GENERAL NOTES.
- 2. SEE SHEET 100 FOR DRAWING INDEX.
- 3. DO NOT SCALE DIMENSIONS.
- 4. CONSTRUCTION OF THIS PROJECT SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE UTAH BUILDING CODE, UTAH ELECTRICAL CODE, UTAH MECHANICAL CODE, AND UTAH PLUMBING CODE. ALL WORK SHALL BE SUBJECT TO INSPECTION BY THE LOCAL BUILDING DEPARTMENT.
- 5. ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE APPROVED BY THE LOCAL BUILDING DEPARTMENT.
- 6. THE OWNER SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
- 7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
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- 14. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.
- 15. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE LOCAL BUILDING DEPARTMENT.



703 East 1700 South
Salt Lake City, Utah 84105
www.micarchitects.com

KEYED NOTES:

- 1. THE PROJECT IS LOCATED AT THE INTERSECTION OF 100 SOUTH AND PARK ROAD.
- 2. THE PROJECT IS A COMMUNITY CENTER AND LIVESTOCK BUILDINGS.
- 3. THE PROJECT IS A COMMUNITY CENTER AND LIVESTOCK BUILDINGS.
- 4. THE PROJECT IS A COMMUNITY CENTER AND LIVESTOCK BUILDINGS.
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- 14. THE PROJECT IS A COMMUNITY CENTER AND LIVESTOCK BUILDINGS.
- 15. THE PROJECT IS A COMMUNITY CENTER AND LIVESTOCK BUILDINGS.

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CONSTRUCTION

ARCHITECT / CONSULTANT

PROJECT DESCRIPTION
SUMMIT COUNTY
COMMUNITY
CENTER

202 Park Road
Coalville, UT 84017

AND STAMP

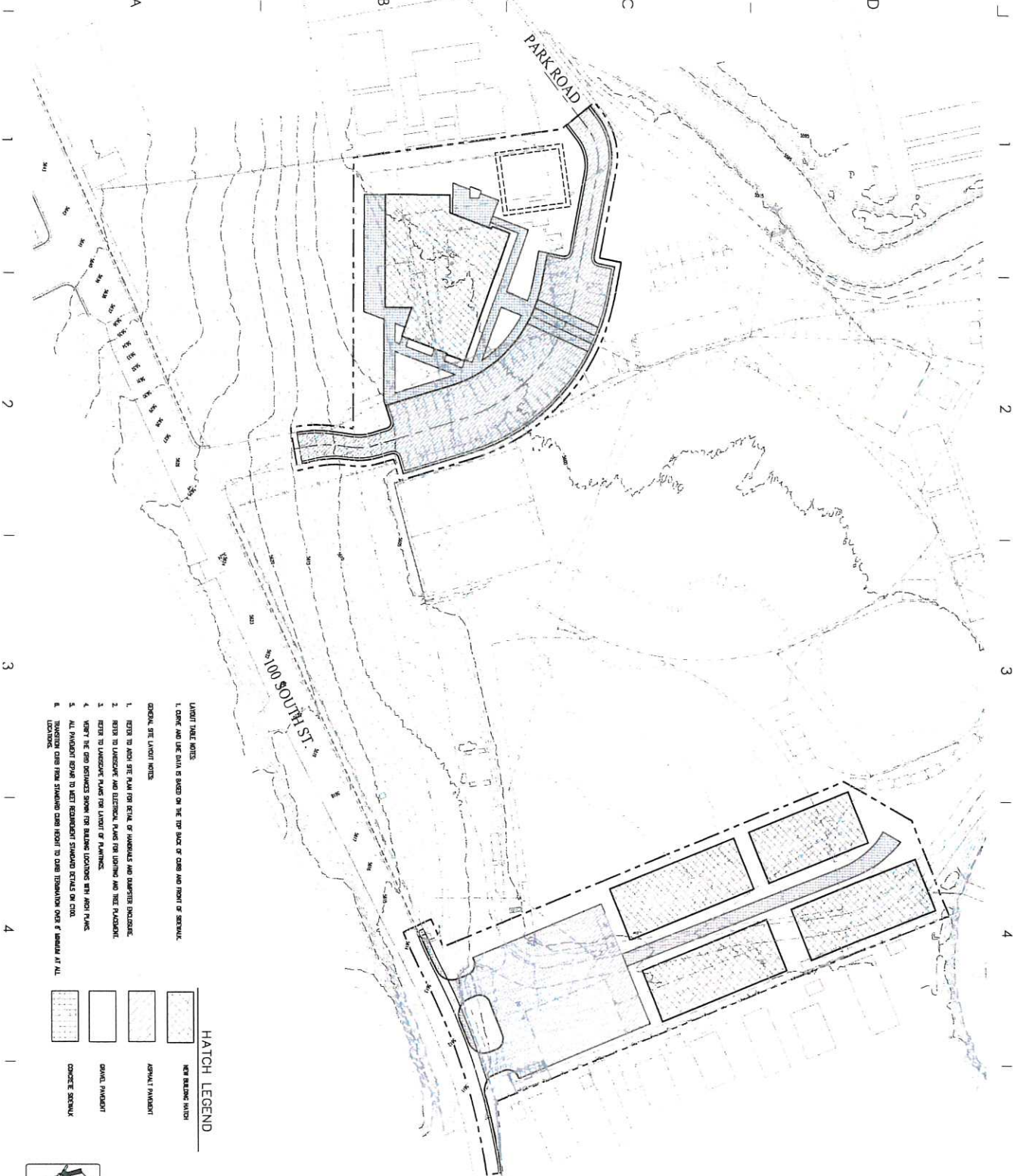
SHEET NAME
ARCHITECTURAL SITE
PLAN

REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 08/07/2017
ISSUE TYPE: 50% PROCESS
DRAWN BY: BB / BAA
CHECKED BY: K. RIGBY
PROJECT: 1730.01
SHEET NUMBER:

AS101

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- LAND USE NOTES:**
1. CONVEY AND USE DATA IS BASED ON THE TOP SURFACE OF CURB AND FRONT OF SETBACK.
- GENERAL SITE LAYOUT NOTES:**
1. REFER TO ARCH SITE PLAN FOR DETAIL OF HATCHES AND SHADING ENVELOPES.
 2. REFER TO LANDSCAPE AND ELECTRICAL PLANS FOR LIGHTING AND TREE PLACEMENT.
 3. REFER TO LANDSCAPE PLANS FOR LANDSCAPE PLANTING.
 4. REFER TO THE CIVIL SERVICES SHOWING THE BUILDING LOCATIONS WITH ARCH PLANS.
 5. ALL PAVEMENT DEPTH TO MEET REQUIREMENT STANDARD DETAILS ON CURB.
 6. TRAVELWAY CURB FROM STANDARD CURB HEIGHT TO CURB ELEVATION OVER 6' HIGHER AT ALL LOCATIONS.

HATCH LEGEND	
	NEW BUILDING FOOTING
	ASPHALT PAVEMENT
	GRAVEL PAVEMENT
	CONCRETE PAVEMENT

SCALE 1"=40'

Meridian Engineering, Inc.
207 Park Road
Coeville, UT 84013

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CS210

ISSUE DATE: 08/11/17
ISSUE TYPE: 50% PROGRESS
DRAWN BY: MJC
CHECKED BY: PJC
PROJECT: 173001
SHEET NUMBER:

SHEET NAME:
OVERALL
SITE LAYOUT
PLAN

REVISIONS:
MARK DATE USER/REVISION

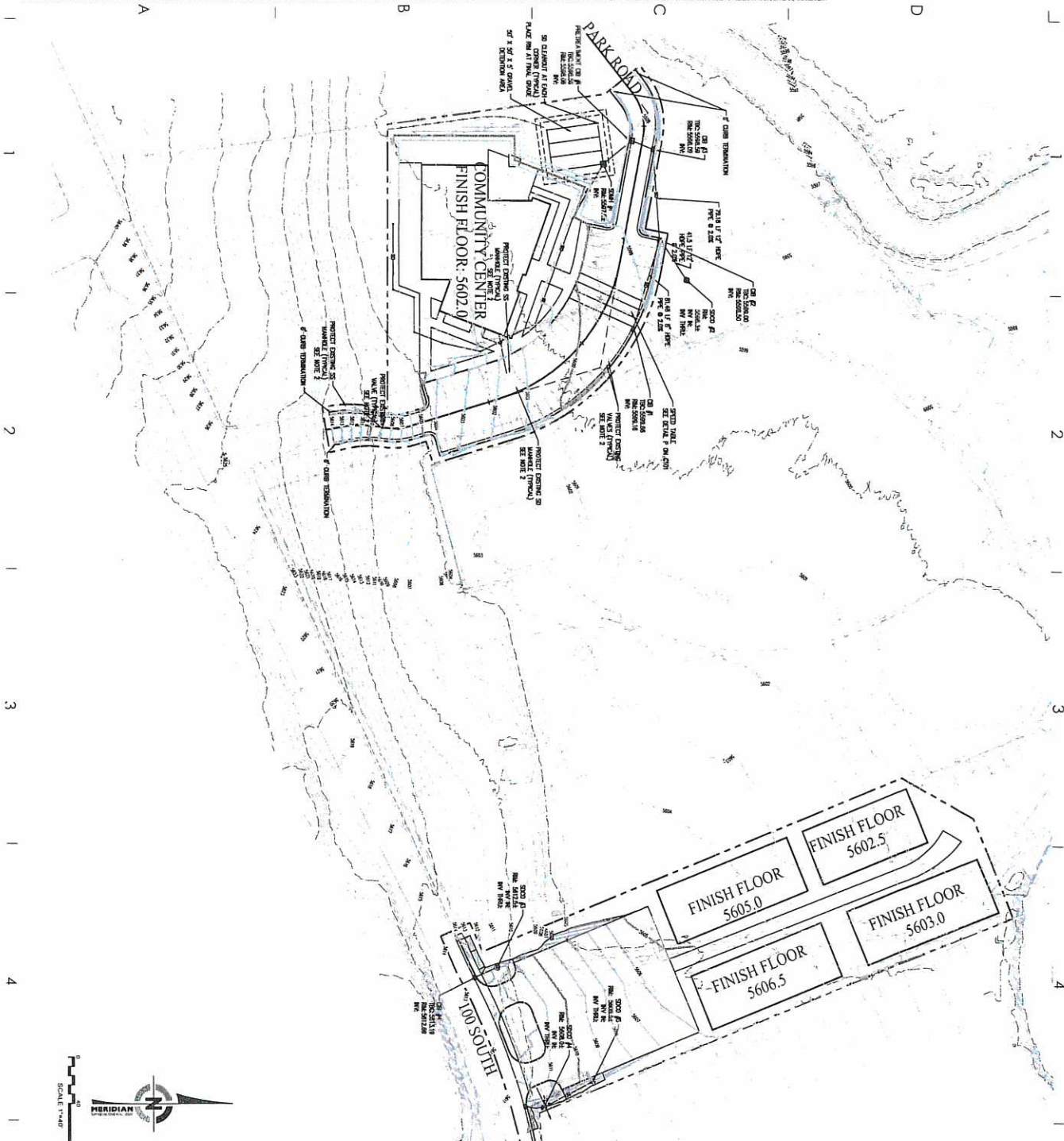
PROJECT DESCRIPTION:
SUMMIT COUNTY
COMMUNITY
CENTER

AUTOMATIC
207 Park Road
Coeville, UT 84013

ARCHITECT / CONSULTANT

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CONSTRUCTION

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Coeville, UT 84013
www.meridianeng.com



1. GENERAL PURPOSES
2. STANDARDIZATION
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100. STANDARDIZATION



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PALE STAKES OF UTAH
UTILITY NOTIFICATION CENTER

CG-400

ISSUE DATE:	06/11/17
ISSUE TYPE:	SOME PROGRESS
DRAWN BY:	MC
CHECKED BY:	RV
PROJECT#:	1730.01
SHEET NUMBER:	

[illegible]

SHEET NAME:
OVERALL
GRADING
PLAN

Codville, UT 84013

AHJ STAMP

PROJECT DESCRIPTION
SUMMIT COUNTY
COMMUNITY
CENTER

ARCHITECT / CONSULTANT

NOT FOR
CONSTRUCTION





703 east 1700 south
salt lake city, Utah 84105
www.ojcaarchitects.com



1. REFER TO SHEET C0400 FOR DRIVING NOTES.
2. RISE OR LOWER RIMS OF EXISTING UTILITY S...



SCALE 1"=20'

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UTILITY NOTIFICATION CENTER
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www.UhUtilities.org


ARCHITECT / CONSULTANT

202 Park Road

AHJ STAFF

COMMUNITY

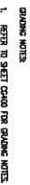
REVISIONS

MARK	DATE	DESK RPTC IN
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MARK DATE DEPOSIT

ISSUE DATE:	08/11/17
ISSUE TYPE:	50% PROGRESS
DRAWN BY:	MC
CHECKED BY:	RV
PROJECT#:	1730.01
SHEET NUMBER:	

CG401



PROJECT DESCRIPTION
SUMMIT COUNTY
COMMUNITY
CENTER
207 Park Road
Coeville, UT 84017
AMU STAMP

ARCHITECT / CONSULTANT

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CONSTRUCTION



703 east 1700 south
salt lake city, utah 84105
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CG402

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blu architects
 202 Park Road
 Summit, CO 80417
 303.461.1700
 info@bluarch.com
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 202 Park Road
 Summit, CO 80417
 303.461.1700
 info@bluarch.com
 www.bluarch.com

PROJECT DESCRIPTION
 SUMMIT COUNTY
 COMMUNITY
 CENTER

202 Park Road
 Summit, CO 80417

ARCHITECT

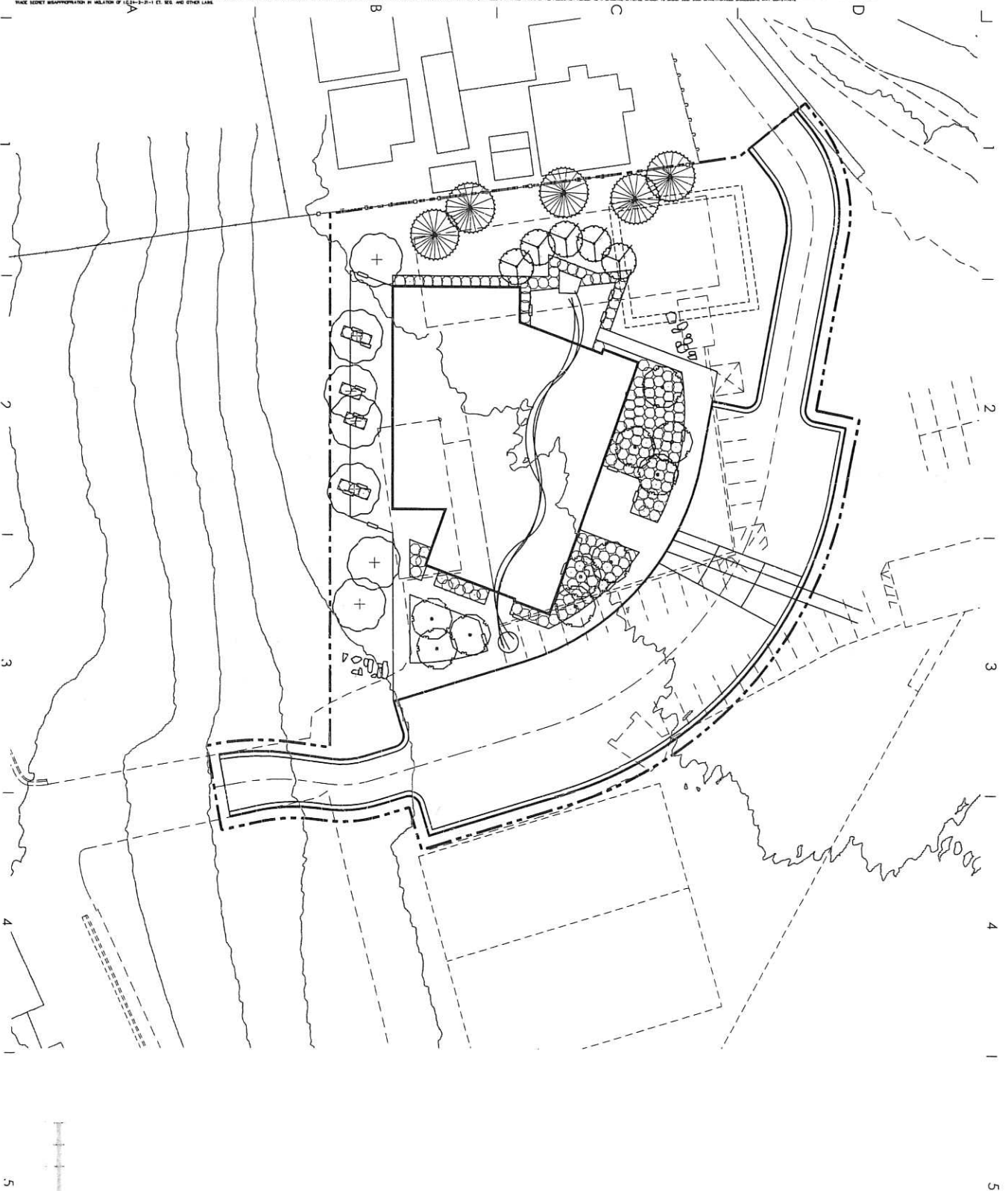
SHEET NAME
 Overall
 Landscape Plan

REVISIONS
 MARK DATE DESCRIPTION

ISSUE DATE 08/11/17
ISSUE TYPE 50% PROGRESS
DRAWN BY SS
CHECKED BY CS
PROJECT 1730.01
SHEET NUMBER

L100

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703 east 1700 south
Salt Lake City, Utah 84116
www.btlarchitects.com

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CONSTRUCTION

ARCHITECT / CONSULTANT



btl architects
btl architects, llc
703 East 1700 South
Salt Lake City, Utah 84116
www.btlarchitects.com

PROJECT DESCRIPTION

SUMMIT COUNTY
COMMUNITY
CENTER

207 Park Road
Coeville, UT 84017

ANU STAMP

SHEET NAME

Landscape Plan

REVISIONS

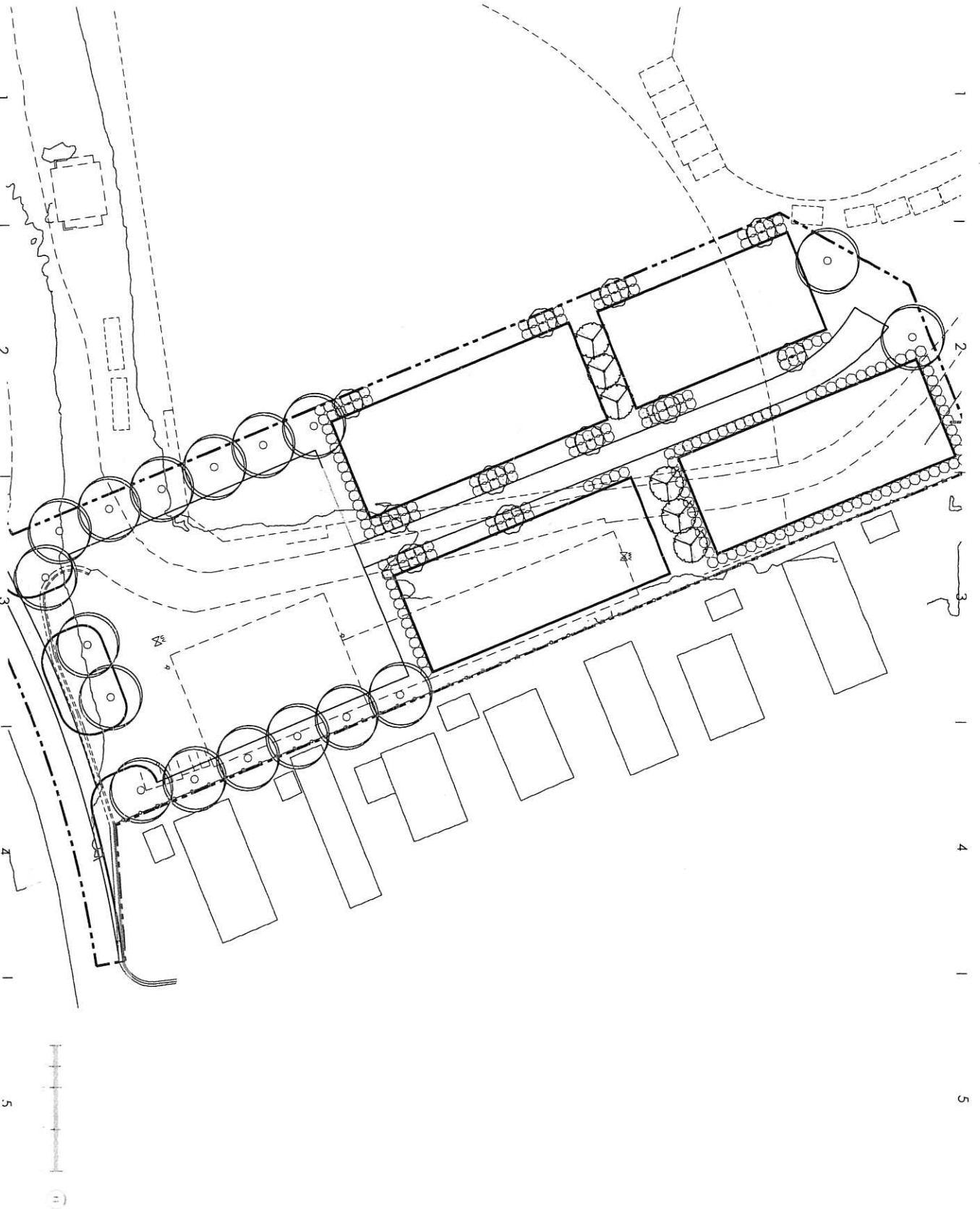
MARK DATE DESCRIPTION

ISSUE DATE: 08/11/17
ISSUE TYPE: 50% PROGRESS
DRAWN BY: H
CHECKED BY: CS
PROJECT#: 17301

SHEET NUMBER

L101

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700 West 1700 South
Salt Lake City, Utah 84119
www.bluchicago.com

NOT FOR
CONSTRUCTION

ARCHITECT / CONSULTANT



BLU ARCHITECTS
700 West 1700 South
Salt Lake City, Utah 84119
www.bluchicago.com

PROJECT DESCRIPTION
SUMMIT COUNTY
COMMUNITY
CENTER

300 East 1000
Cedarville, UT 84017

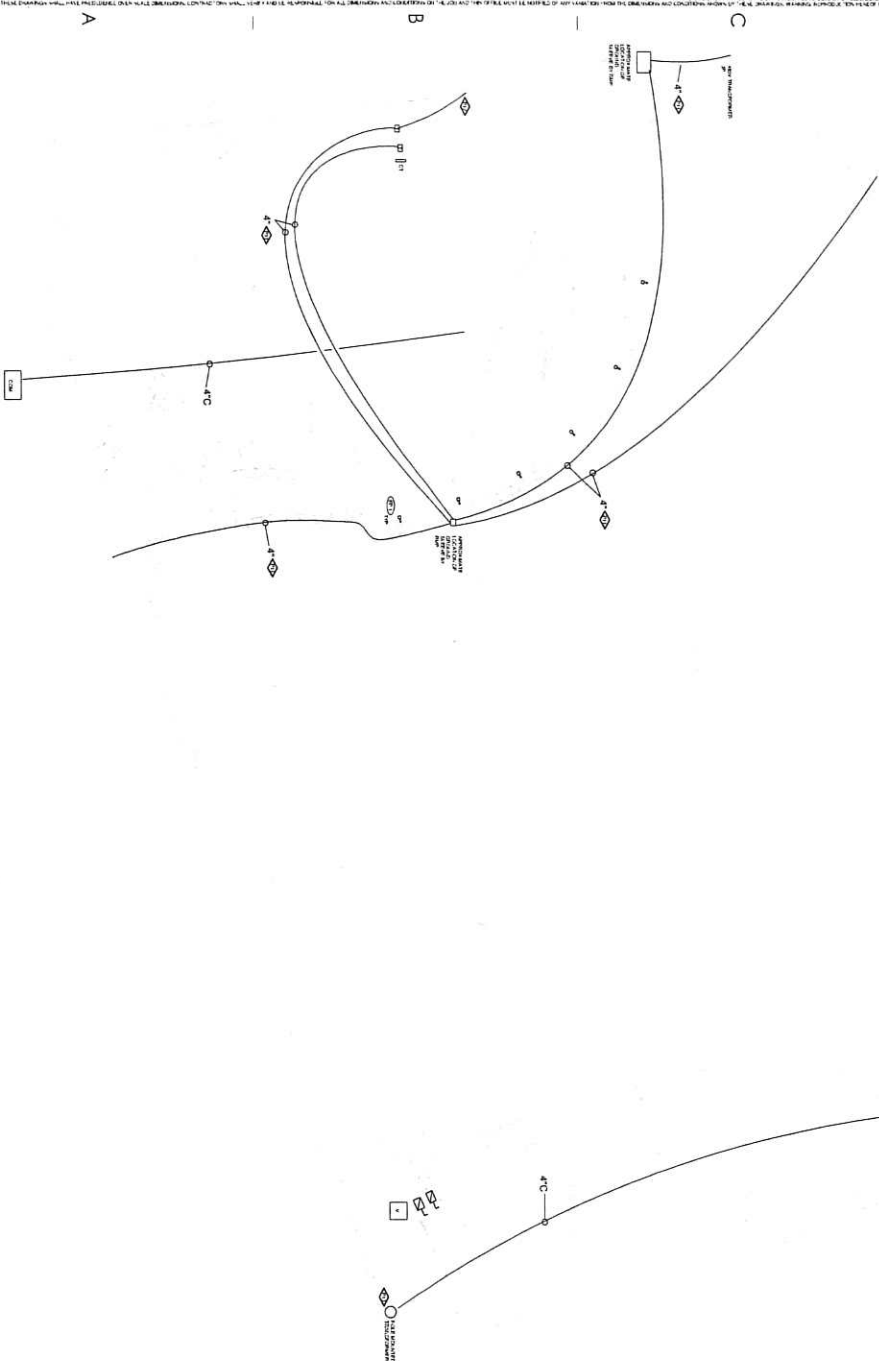
ANALYST

SHEET NAME
Landscape Plan

REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 08/11/17
ISSUE TYPE: SCA PROGRESS
DRAWN BY: W
CHECKED BY: CS
PROJECT: 173001
SHEET NUMBER:

L102



REFERENCE NOTES

1. RUN PVC CONDUITS WITH RULL STRING IN THE GROUND. PROVIDE EXACT PATH AND CONDUIT SIZES WITH RAMP. COORDINATE EXACT PATH AND CONDUIT SIZES WITH SWEEP BENDS TO MEET RAMP'S REQUIREMENTS.
2. PROVIDE NEW WETTER BASE FOR TEH EXISTING HOUSE. SHOW AND RUN NEW CONDUIT AS NECESSARY SO THAT ADDITIONAL CONDUIT, CONDUCTORS, ETC FOR A COMPLETE INSTALLATION. COORDINATE THIS WORK WITH RAMP PRIOR TO ROLLOVER.
3. APPROXIMATE LOCATION OF NEW POLE MOUNTED TRANSFORMER TO FEED TEH NEW BUILDING. COORDINATE WITH THE RAMP FOR EXACT LOCATION. REFER TO THE POWER SHOULD LINE DIAGRAM FOR MORE INFORMATION.

REFERENCE NOTES - SITE

1. RUN 4" PVC CONDUITS WITH RULL STRING AT BRG'S BELOW. PROVIDE TRENCHING AND BACK FILLING. FIELD VERIFY EXACT LOCATION. CONTRACTOR SHALL COORDINATE WITH LOCAL POWER COMPANY FROM THROUGHOUT LOCAL ELECTRICAL CODES AND STANDARDS. UTILIZE GALVANIZED RIGID ELBOWS. PROVIDE NEW TRANSFORMER VAULT TO MEET LOCAL POWER COMPANY'S REQUIREMENTS. REFER TO POWER SHOULD LINE DIAGRAM.
2. FURNISH AND INSTALL 4" SCHEDULE 40 PVC CONDUIT WITH RULL STRING AT BRG'S BELOW FINISHED GRADE FROM THE TRANSFORMER VAULT TO THE NEW BUILDING. PROVIDE TRENCHING AND BACK FILLING. UTILIZE LONG SWEEP RIGID ELBOWS. COORDINATE THIS WORK WITH LOCAL POWER COMPANY.
3. FURNISH AND INSTALL 4" PVC CONDUIT 36" BRG'S BELOW FINISHED GRADE FROM THE TRANSFORMER VAULT TO THE NEW BUILDING. PROVIDE TRENCHING AND BACK FILLING. UTILIZE LONG SWEEP RIGID ELBOWS. COORDINATE THIS WORK WITH THE LOCAL COMMUNICATION COMPANY PRIOR TO TRENCHING. PROVIDE TRENCHING AND BACK FILLING.
4. THE THE EXTERIOR LIGHT FIXTURES TO THE INDICATED CIRCUIT THROUGH LIGHTING CONTRACTORS WHICH SHALL BE SWEEP BENDS TO MEET RAMP'S REQUIREMENTS. PROVIDE TRENCHING AND BACK FILLING. UTILIZE LONG SWEEP RIGID ELBOWS. COORDINATE THIS WORK WITH LOCAL POWER COMPANY.



703 east 1200 south
Salt Lake City, Utah 84105
www.bicarchitects.com

EELD



ARCHITECT / CONSULTANT

PROJECT DESCRIPTION

SUMMIT COUNTY
FAIRGROUNDS

202 Park Road

ANY STAMP

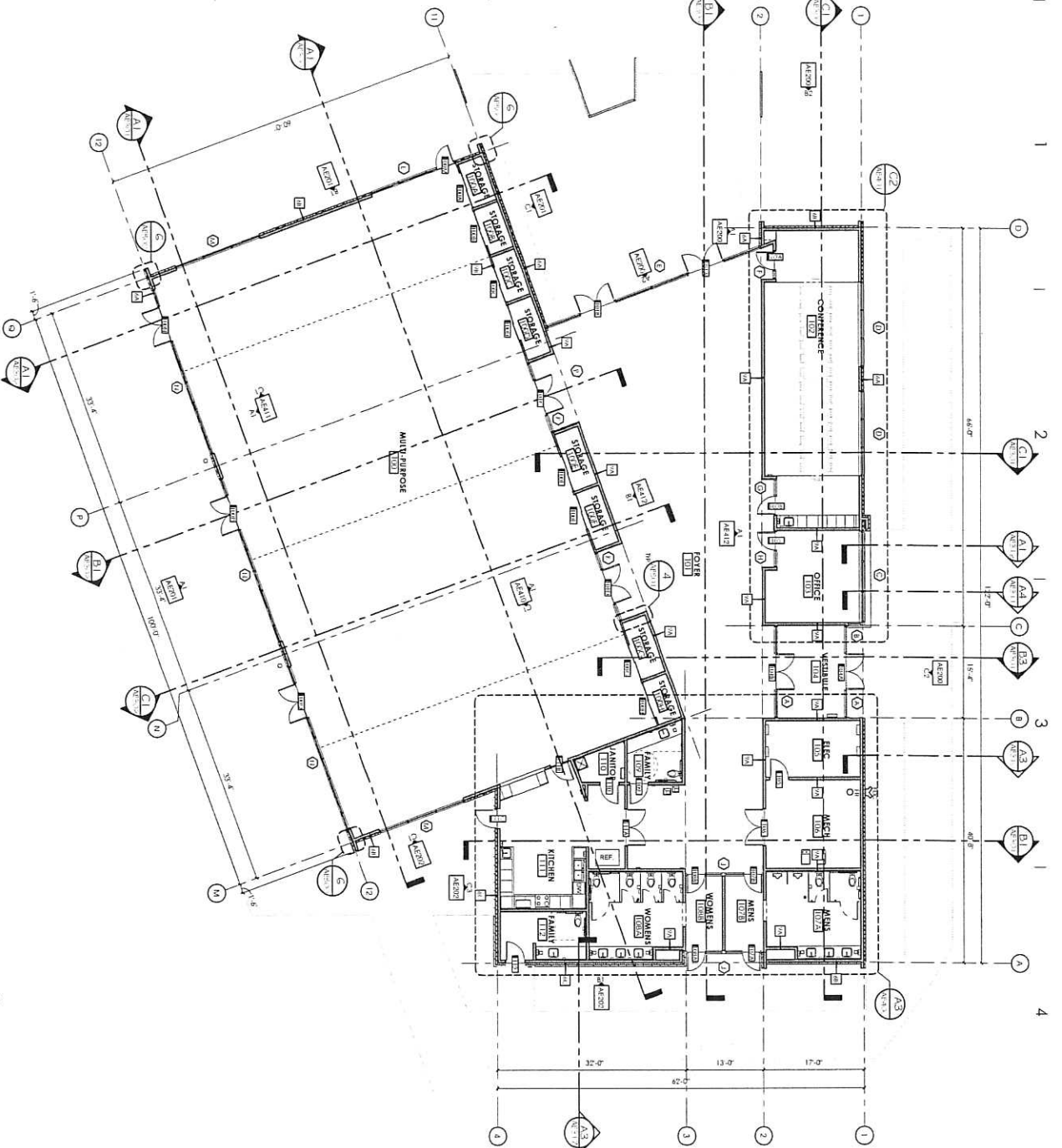
SHEET NAME
SITE ELECTRICAL PLAN

REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: 08/11/17
ISSUE TYPE: 30% CD
DRAWN BY: AE
CHECKED BY: MM
PROJECT #: 646

SHEET NUMBER
ES-101

A1 LEVEL 1 - FLOOR PLAN
1/8" = 1'-0"



GENERAL NOTES AND LEGEND:

- SEE SHEET FOR GENERAL NOTES.
- SEE SHEET FOR GENERAL NOTES.
- DO NOT SCALE DIMENSIONS.
- CONSTRUCTION: THE CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.



303 East 1700 South
Salt Lake City, Utah 84143
www.dickarchitect.com

KEYED NOTES:

**NOT FOR
CONSTRUCTION**

ARCHITECT / CONSULTANT

PROJECT DESCRIPTION
**SUMMIT COUNTY
COMMUNITY
CENTER**

202 Park Road
Coalville, UT 84007

ARCHITECT

REVISIONS	DATE	DESCRIPTION

SHEET NUMBER
AE101

DATE: 2017
ISSUE TYPE: 50% PROGRESS
DRAWN BY: RB / RAA
CHECKED BY: K. RICHY
PROJECT#: 173001

A1 SOUTH ELEVATION (3)
1/8" = 1'-0"

A2 WEST ELEVATION (2)
1/8" = 1'-0"

B2 WEST ELEVATION (1)
1/8" = 1'-0"

C2 NORTH ELEVATION (1)
1/8" = 1'-0"

GENERAL NOTES AND LEGEND:

- SEE SHEET A201 FOR GENERAL NOTES.
- SEE THIS SHEET FOR DRAWING INDEX.
- DO NOT SCALE DIMENSIONS.
- CONSTRUCTION AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.



203 RICH 1700 SOUTH
LAWSON
www.spcarchitect.com

NOT FOR
CONSTRUCTION

KEYED NOTES:

1. SEE SHEET A201 FOR GENERAL NOTES.
2. SEE THIS SHEET FOR DRAWING INDEX.
3. DO NOT SCALE DIMENSIONS.
4. CONSTRUCTION AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.
5. SEE SHEET A201 FOR GENERAL NOTES.
6. SEE THIS SHEET FOR DRAWING INDEX.
7. DO NOT SCALE DIMENSIONS.
8. CONSTRUCTION AND CONTRACTOR SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK, AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.

MATERIAL LEGEND:

PREPARED WITH STAINING	40	1
SEAM STAINING / KNOCK	40	2
PREPARED WOOD VENEER PANEL	40	3
BRICK VENEER	40	4
HYPOCOTY (FANDED)	40	5
STAINLESS STEEL / GLASSING	40	6
SEE WINDOW TYPES	40	7
PREPARED WOOD VENEER	40	8
ALUMINUM / POWER FINISH	40	9
PREPARED WOOD VENEER	40	10

SHEET NAME:
EXTERIOR ELEVATIONS

REVISIONS:
MARK DATE DESCRIPTION

ISSUE DATE: 2017
ISSUE TYPE: 50% PROGRESS
DRAWN BY: BB / BIA
CHECKED BY: K. MCKAY
PROJECT#: 173001

SHEET NUMBER:
AE200



ojc architeciv

- 703 east 1700 south
salt lake city, utah 84105
www.dicorhbfacts.com

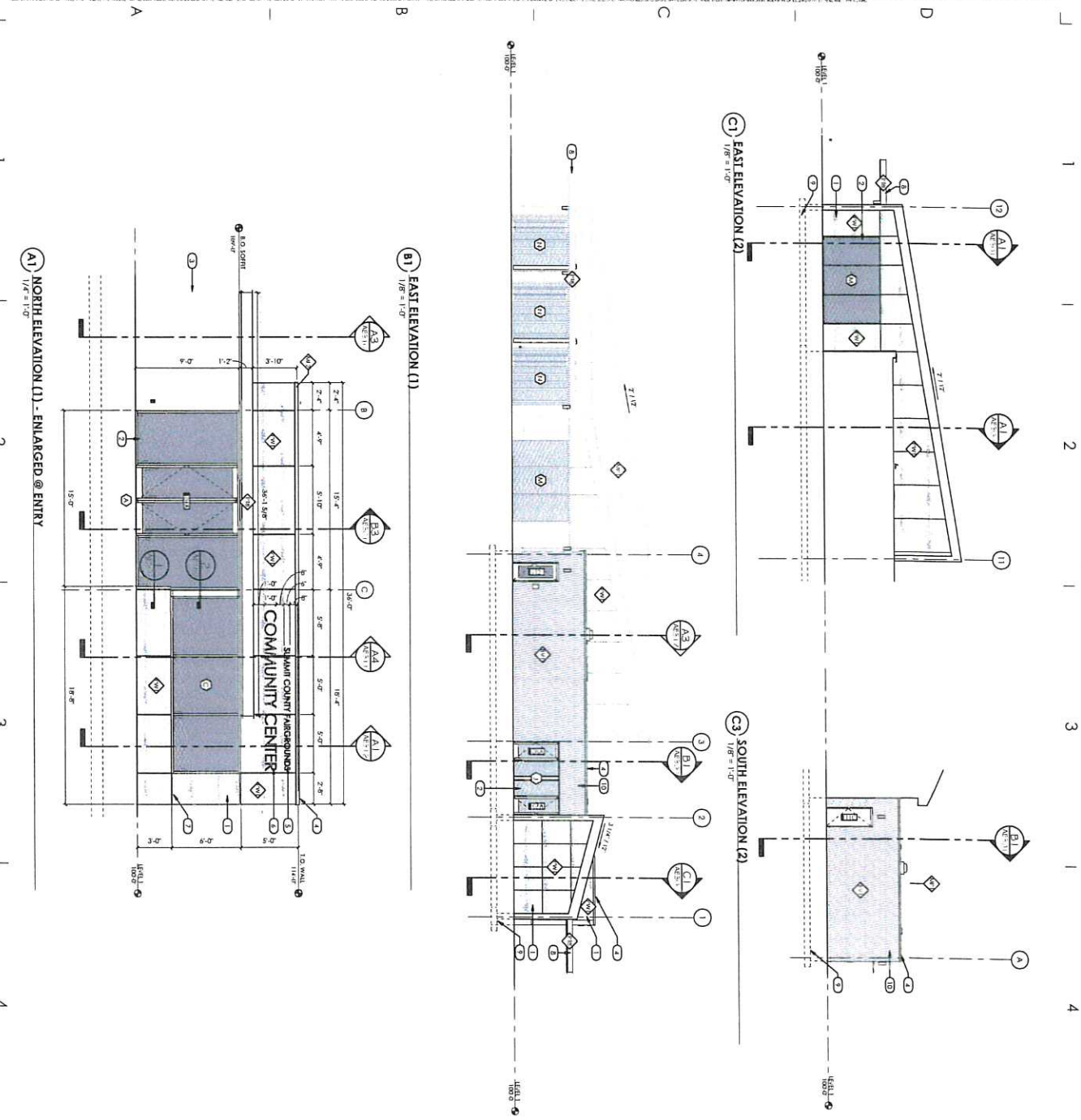
ARCHITECT / CONSULTANT

- NOT FOR
CONSTRUCTION

SHEET NAME:
EXTERIOR ELEVATIONS

SHEET NUMBER

AE201



GENERAL NOTES AND LEGEND:

- SEE SHEET A201 FOR GENERAL NOTES.
- SEE SHEET A202 FOR DRAWING INDEX.
- DO NOT SCALE DIMENSIONS.
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF FEATURES AND MATERIALS WITH THE ARCHITECT AND PROVIDE RECORD DRAWINGS.
- GENERAL NOTES AND SPECIFICATIONS.

KEYED NOTES:

1. UNLESS OTHERWISE SPECIFIED, ALL MATERIALS AND FINISHES SHALL BE AS SHOWN ON THE DRAWINGS.
2. ALL MATERIALS AND FINISHES SHALL BE APPROVED BY THE ARCHITECT PRIOR TO INSTALLATION.
3. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S INSTALLATION INSTRUCTIONS.
4. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS.
5. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS.
6. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS.
7. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS.
8. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS.
9. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS.
10. ALL MATERIALS AND FINISHES SHALL BE INSTALLED IN ACCORDANCE WITH THE ARCHITECT'S SPECIFICATIONS.

MATERIAL LEGEND:

MARK	DESCRIPTION
1	PERMANENT WHITE STAINING
2	PERMANENT WHITE STAINING
3	PERMANENT WHITE STAINING
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99	PERMANENT WHITE STAINING
100	PERMANENT WHITE STAINING

PROJECT DESCRIPTION

SUMMIT COUNTY COMMUNITY CENTER

300 East Blvd
Cortez, UT 84017

ARCHITECT / CONSULTANT

NOT FOR CONSTRUCTION

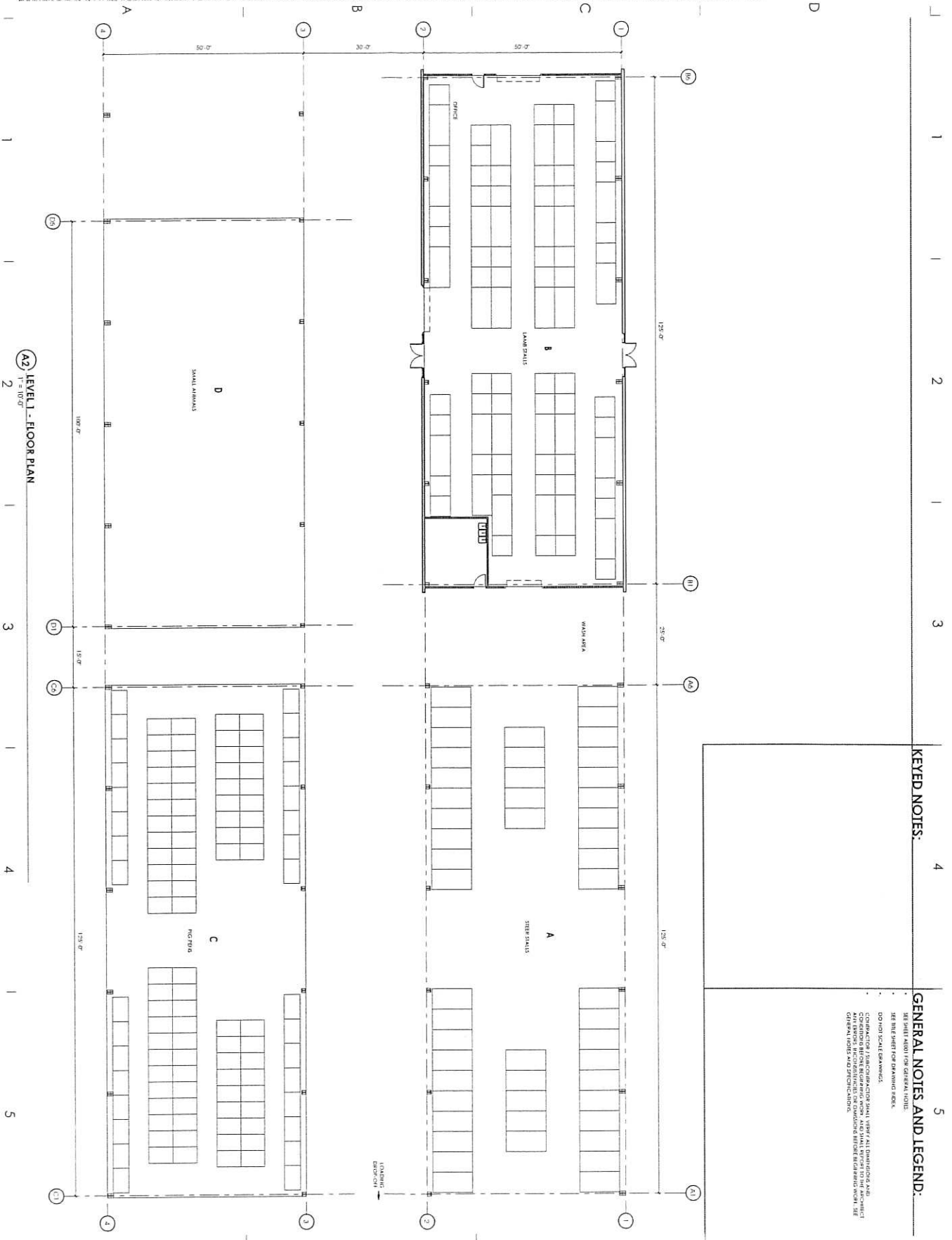
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97	08/01/17	ISSUE DATE
98	08/01/17	ISSUE DATE
99	08/01/17	ISSUE DATE
100	08/01/17	ISSUE DATE

PROJECT INFORMATION

PROJECT NAME: SUMMIT COUNTY COMMUNITY CENTER

PROJECT NUMBER: AE202



KEYED NOTES:

GENERAL NOTES AND LEGEND:

- SEE SHEET 1001 FOR GENERAL NOTES.
- SEE SHEET 1002 FOR DRAWING INDEX.
- DO NOT SCALE DIMENSIONS.
- CONSTRUCTION OF THIS PLAN SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.
- ALL MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE LATEST EDITIONS OF THE INTERNATIONAL BUILDING CODES (IBC) AND ALL APPLICABLE LOCAL ORDINANCES.



700 EAST 1700 SOUTH
SALT LAKE CITY, UTAH 84143
WWW.AJCCORP.COM

NOT FOR
CONSTRUCTION

ARCHITECT / CONSULTANT

PROJECT DESCRIPTION
**SUMMIT COUNTY
LIVESTOCK
BUILDINGS**

200 Park Road
Coalville, UT 84017

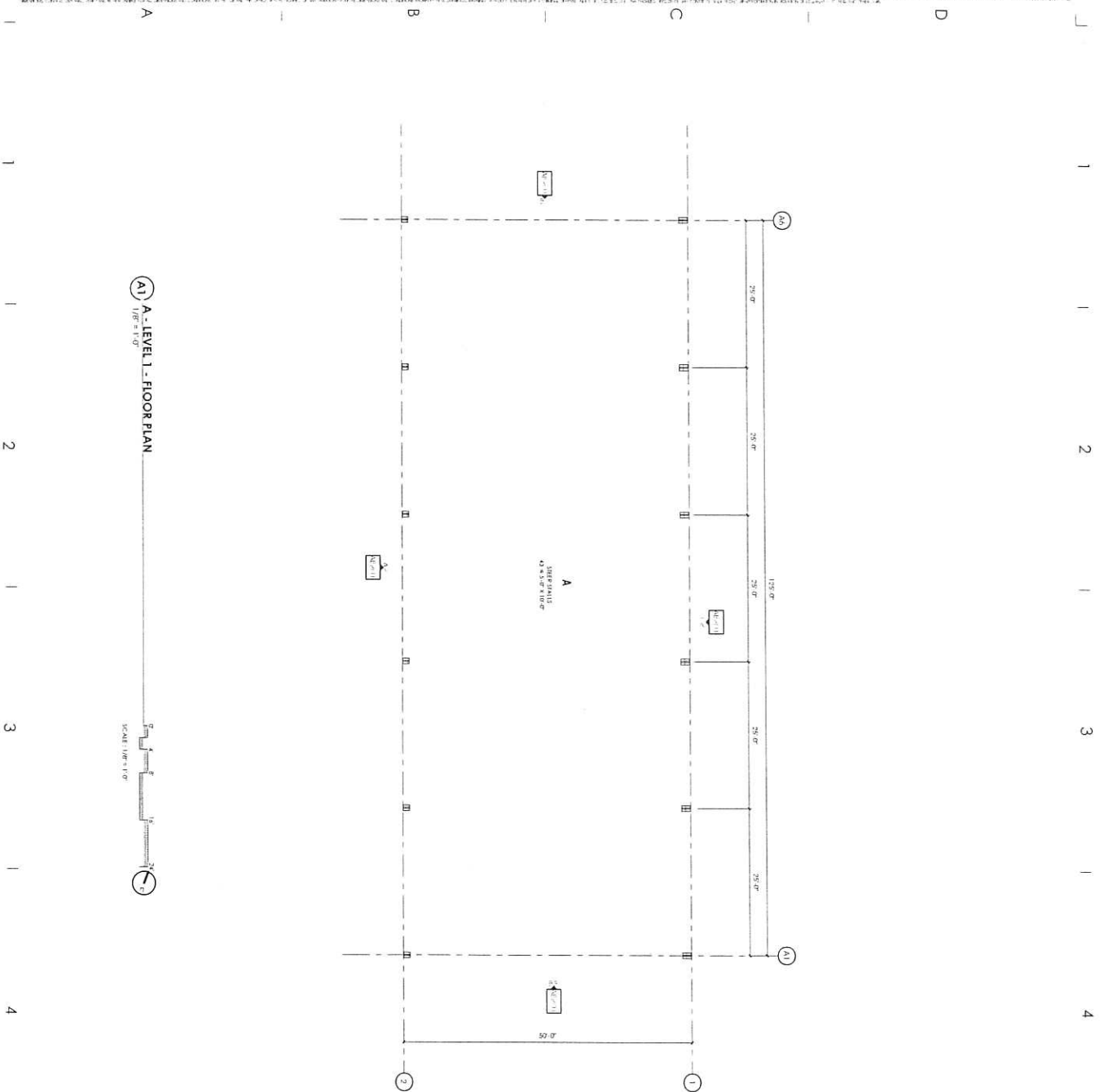
ARCHITECT

SHEET NAME
**LEVEL 1 - FLOOR PLAN
(OVERALL)**

REVISIONS
MARK DATE DESCRIPTION

ISSUE DATE: AUG 18, 2017
ISSUE TYPE: 50% PROCESS
DRAWN BY: BB / RMA
CHECKED BY: K. BINGBY
PROJECT#: 17301

SHEET NUMBER
AE100



GENERAL NOTES AND LEGEND:

- SEE SHEET ABOVE FOR GENERAL NOTES.
SEE TITLE SHEET FOR DRAWING INDEX.
DO NOT SCALE DRAWINGS.
CONTRACTOR TO SUBMIT DRAWINGS THAT VERIFY ALL DIMENSIONS AND
COORDINATIONS WITH THE ARCHITECT'S INTENT. THE CONTRACTOR SHALL
VERIFY THE DIMENSIONS OF THE EXISTING WORK, AND SHALL REPORT TO THE ARCHITECT
ANY DISCREPANCIES OR DISCREPANCIES OF DIMENSIONS BEFORE BEGINNING WORK. SEE
GENERAL NOTES AND SPECIFICATIONS.



703 east 1700 south
Salt Lake City, utah 84105
www.apc-direct.com

KEYED NOTES:

NOT FOR
CONSTRUCTION

ABSTRACT / CONCLUSION

PROJECT DESCRIPTION
SUMMIT COUNTY
LIVESTOCK
BUILDINGS

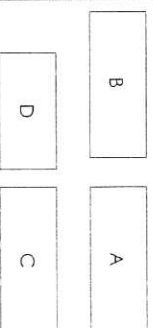
202 PINE ROAD
COOKVILLE, UT 84017

ALL STAFF

SHEET NAME:
LEVEL 1 - FLOOR PLAN
(A)

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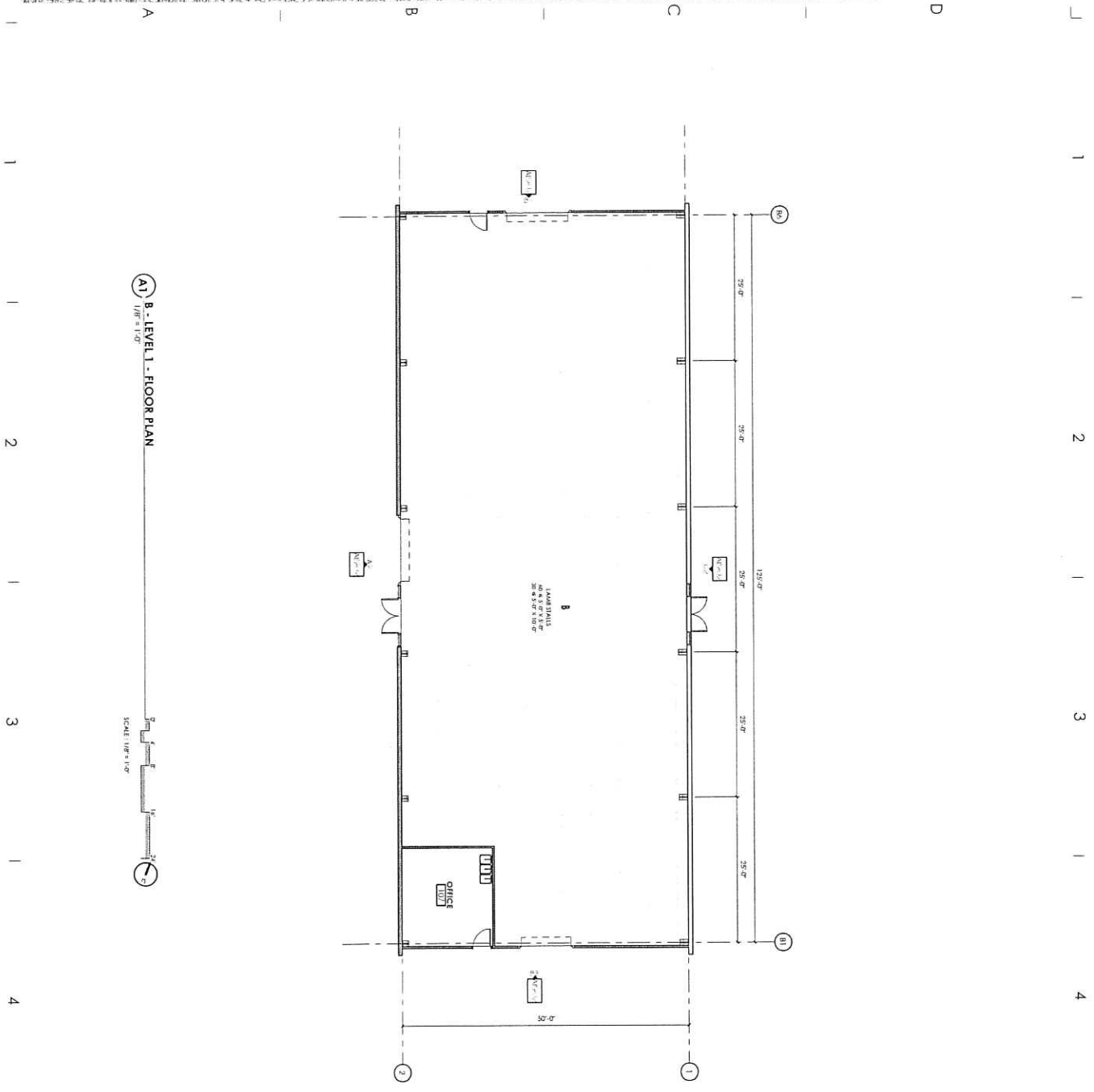
REFERENCE PLAN:



ISSUE DATE:	AUG 18, 2017
ISSUE TYPE:	SQM PROGRESS
DRAWN BY:	BB / PMA
CHECKED BY:	F. PUGNEY
PROJECT#:	17301

SHEET NUMBER

AE101



GENERAL NOTES AND LEGEND:

- SEE SHEET A-1001 FOR GENERAL NOTES
- SEE TITLE SHEET FOR DIMENSIONAL NOTES
- DO NOT SCALE DIMENSIONS
- CONTRACTOR / SUBCONTRACTOR SHALL VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL STRUCTURES AND UTILITIES BEFORE CONSTRUCTION OF CONSTRUCTED IMPROVED IMPROVED FROM SEE GENERAL NOTES AND SPECIFICATIONS



703 WEST 1700 SOUTH
SALT LAKE CITY, UTAH 84105
WWW.JLCARCHITECT.COM

KEYED NOTES:

NOT FOR
CONSTRUCTION

ARCHITECT / CONSULTANT

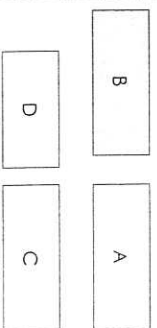
PROJECT DESCRIPTION
SUMMIT COUNTY
LIVESTOCK
BUILDINGS
303 East Second
Cedarville, UT 84407

ALL STAMP

SHEET NAME:
LEVEL 1 - FLOOR PLAN
(B)

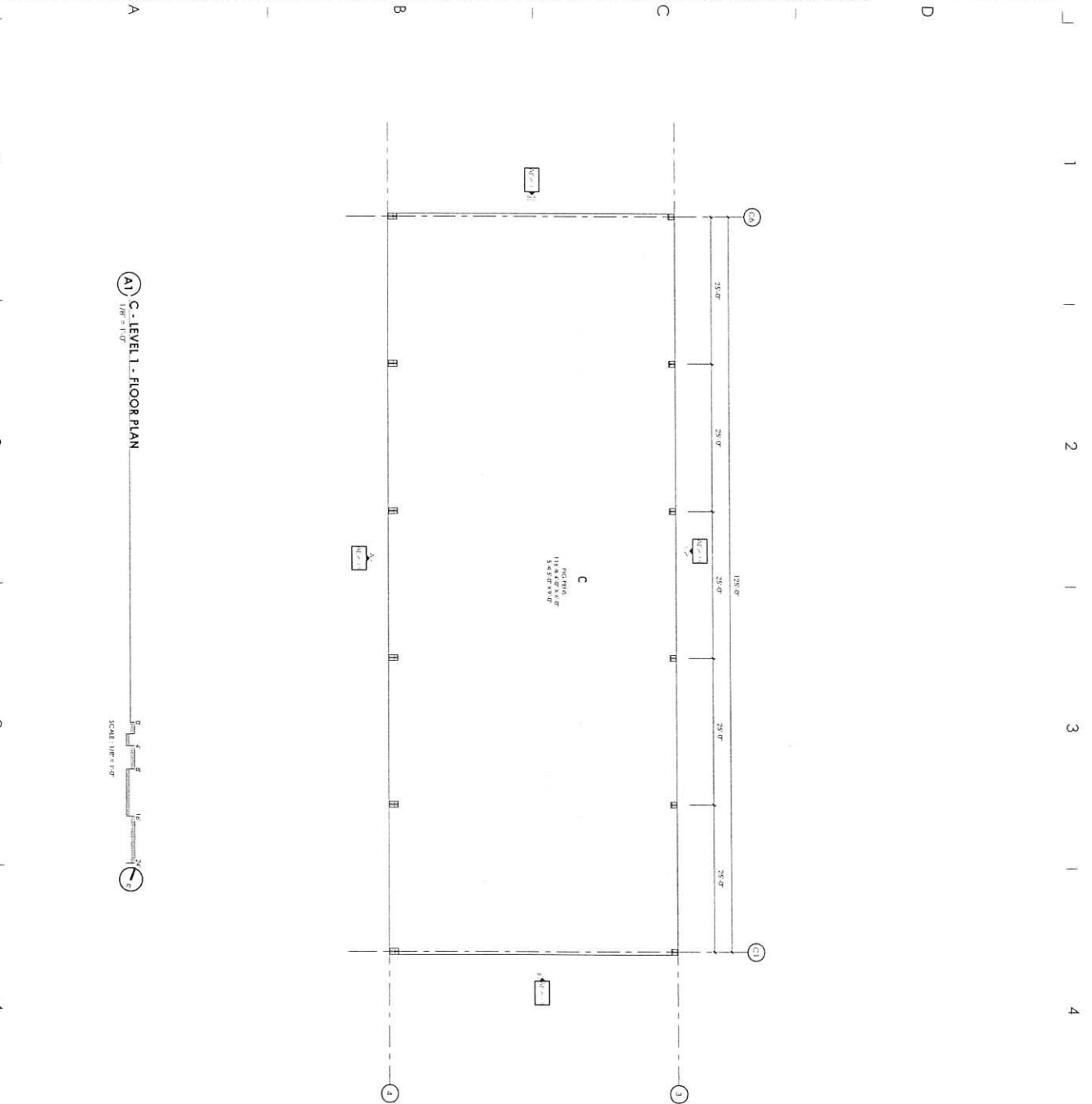
REVISIONS
MARK DATE DESCRIPTION

REFERENCE PLAN:



DATE DATE	AUG 16, 2017
DATE TYPE	SCHEMATIC
DATE TYPE	SCHEMATIC
DATE TYPE	SCHEMATIC
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DATE TYPE	SCHEMATIC
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DATE TYPE	SCHEMATIC
DATE TYPE	SCHEMATIC
DATE TYPE	SCHEMATIC

AE102



5

GENERAL NOTES AND LEGEND:

- SEE SHEET A001 FOR GENERAL NOTES
- SEE SHEET A002 FOR DRAWING NOTES
- DO NOT SCALE DIMENSIONS
- CONSTRUCTION / FABRICATION SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK AND SHALL REPORT TO THE ARCHITECT ANY DISCREPANCIES OR OMISSIONS IMMEDIATELY



105 WEST 1100 SOUTH
SALT LAKE CITY, UT 84119
WWW.AJLARCHITECTS.COM

KEYED NOTES:

NOT FOR
CONSTRUCTION

ARCHITECT / CONSULTANT

PROJECT DESCRIPTION
SUMMIT COUNTY
LIVESTOCK
BUILDINGS

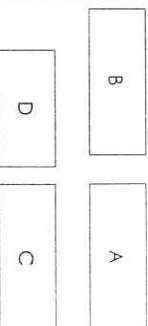
207 Park Road
Coalville, UT 84007

ARCHITECT

SHEET NAME:
LEVEL 1 - FLOOR PLAN
(C)

REVISIONS
NO. DATE DESCRIPTION

REFERENCE PLAN:



AE103

SHEET NUMBER
DATE: AUG 18, 2017
ISSUE TYPE: SDR PROGRESS
DRAWN BY: BB / PMA
CHECKED BY: K. P. B. B.
PROJECT: 173001

A

B

C

D

1

2

3

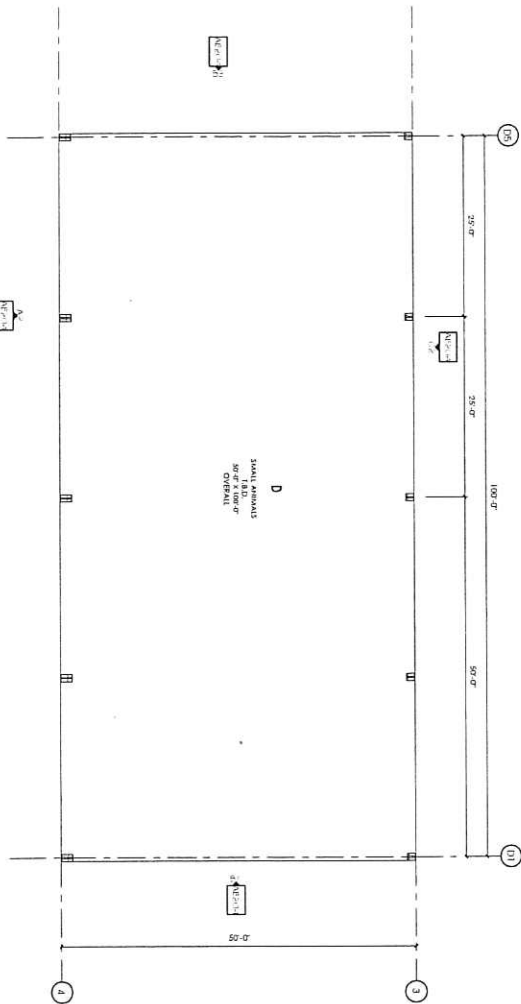
4

5

A1) D - LEVEL 1 - FLOOR PLAN

1/8" = 1'-0"

SCALE: 1/8" = 1'-0"



5

GENERAL NOTES AND LEGEND:

- SEE SHEET A201 FOR GENERAL NOTES.
- SEE SHEET A201 FOR DRAWING INDEX.
- DO NOT SCALE DRAWINGS.
- CONTRACTOR / SUBCONTRACTORS SHALL VERIFY ALL DIMENSIONS AND CONDITIONS BEFORE BEGINNING WORK. ANY DISCREPANCIES SHALL BE REPORTED TO THE ARCHITECT IMMEDIATELY.
- GENERAL NOTES AND SPECIFICATIONS.



733 East 1730 South
Salt Lake City, UT 84143
www.jccorboarchitect.com

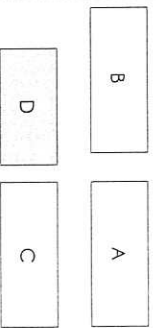
KEYED NOTES:

ARCHITECT / CONSULTANT

NOT FOR
CONSTRUCTION

PROJECT DESCRIPTION
SUMMIT COUNTY
LIVESTOCK
BUILDINGS
202 Peak Road
Coeville, UT 84601
A1131A0P

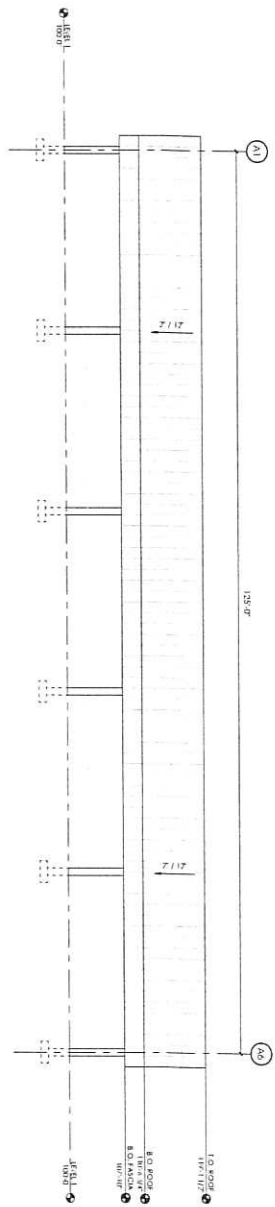
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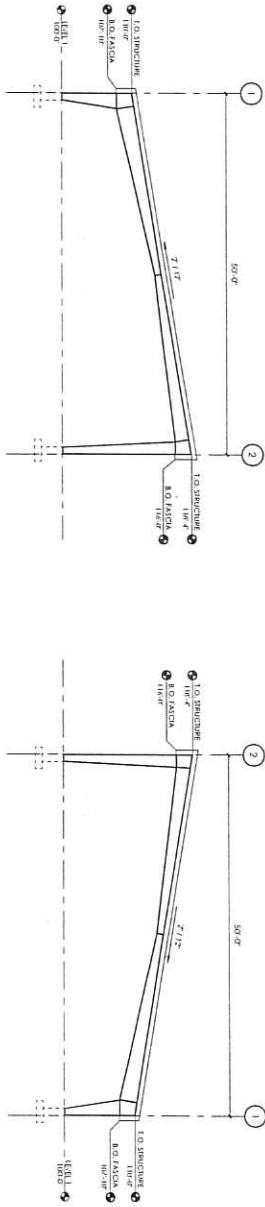
ISSUE DATE: AUG 16, 2017
ISSUE TYPE: 50% PROGRESS
DRAWN BY: BB / RGA
CHECKED BY: K. PERRY
PROJECT #: 1730.01
SHEET NUMBER:

AE104

1 2 3 4

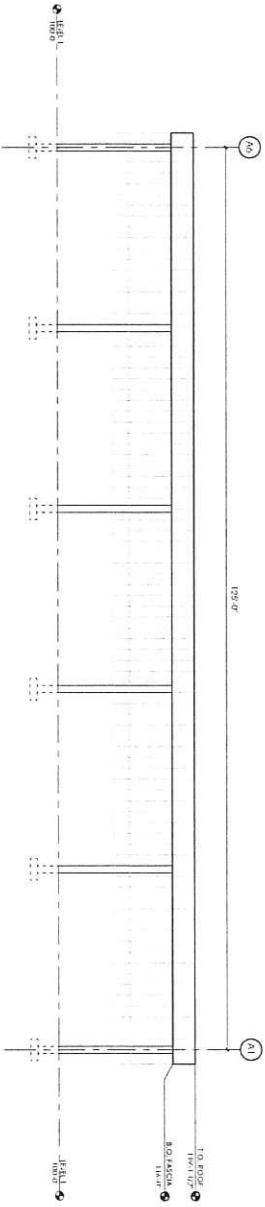


C2 EAST ELEVATION (A)
1/8" = 1'-0"



B1 NORTH ELEVATION (A)
1/8" = 1'-0"

B3 SOUTH ELEVATION (A)
1/8" = 1'-0"



A2 WEST ELEVATION (A)
1/8" = 1'-0"

5

GENERAL NOTES AND LEGEND:

- SEE SHEET A201 FOR GENERAL NOTES.
- SEE SHEET FOR DIMENSIONS.
- DO NOT SCALE DRAWINGS.
- CONSTRUCTION AND MATERIALS SHALL BE IN ACCORDANCE WITH THE SPECIFICATIONS AND SHALL BE IN ACCORDANCE WITH THE NOTES AND DIMENSIONS.



203 West 1200 South
Salt Lake City, Utah 84103
www.dccdesign.com

KEYED NOTES:

ARCHITECT / CONSULTANT

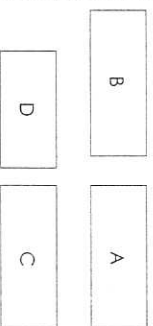
NOT FOR
CONSTRUCTION

PROJECT LOCATION
SUMMIT COUNTY
LIVESTOCK
BUILDINGS

202 Park Road
Cedarvale, UT 84017

4110 35000'

REFERENCE PLAN:

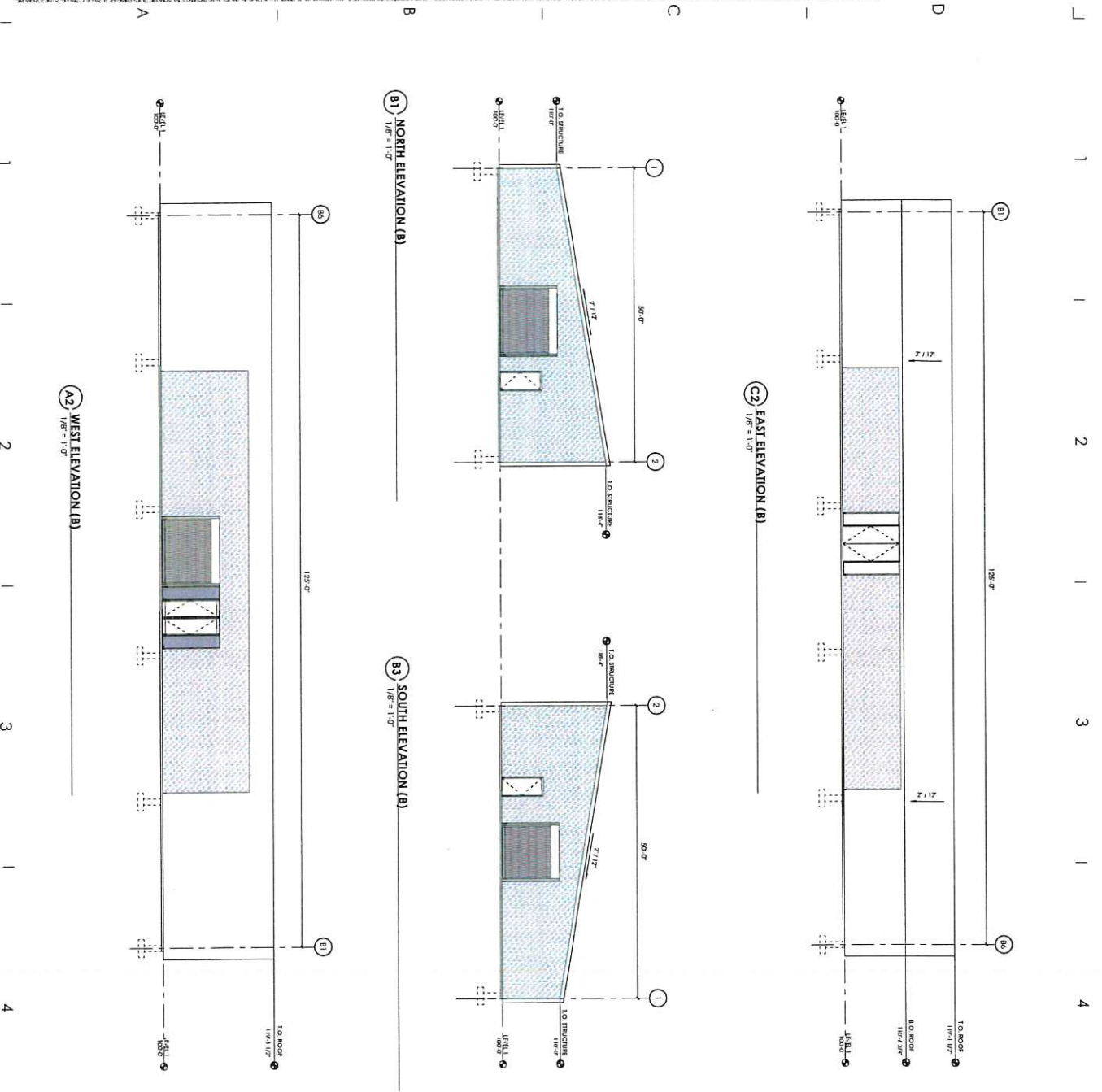


SHEET NAME:
EXTERIOR ELEVATIONS
(A)

REVISIONS
MARK DATE REVISION

ISSUE DATE: AUG 18, 2017
ISSUE TYPE: 50% PROGRESS
DRAWN BY: BB / BAA
CHECKED BY: K. PERRY
PROJECT #: 17301

SHEET NUMBER:
AE201



GENERAL NOTES AND LEGEND:

- SEE SHEET 1001 FOR GENERAL NOTES
- SEE SHEET 1002 FOR GENERAL NOTES
- DO NOT SCALE DRAWINGS
- CONTRACTOR TO VERIFY ALL DIMENSIONS AND LOCATIONS OF ALL WORK INCORPORATED OR OMISSIONS BEFORE BEGINNING WORK. SEE GENERAL NOTES AND SPECIFICATIONS.



703 West 1700 South
Salt Lake City, Utah 84105
www.jegreenlee.com

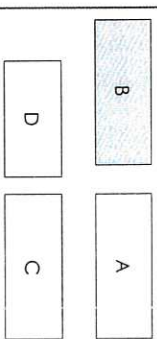
KEYED NOTES:

NOT FOR
CONSTRUCTION

ARCHITECT / CONSULTANT

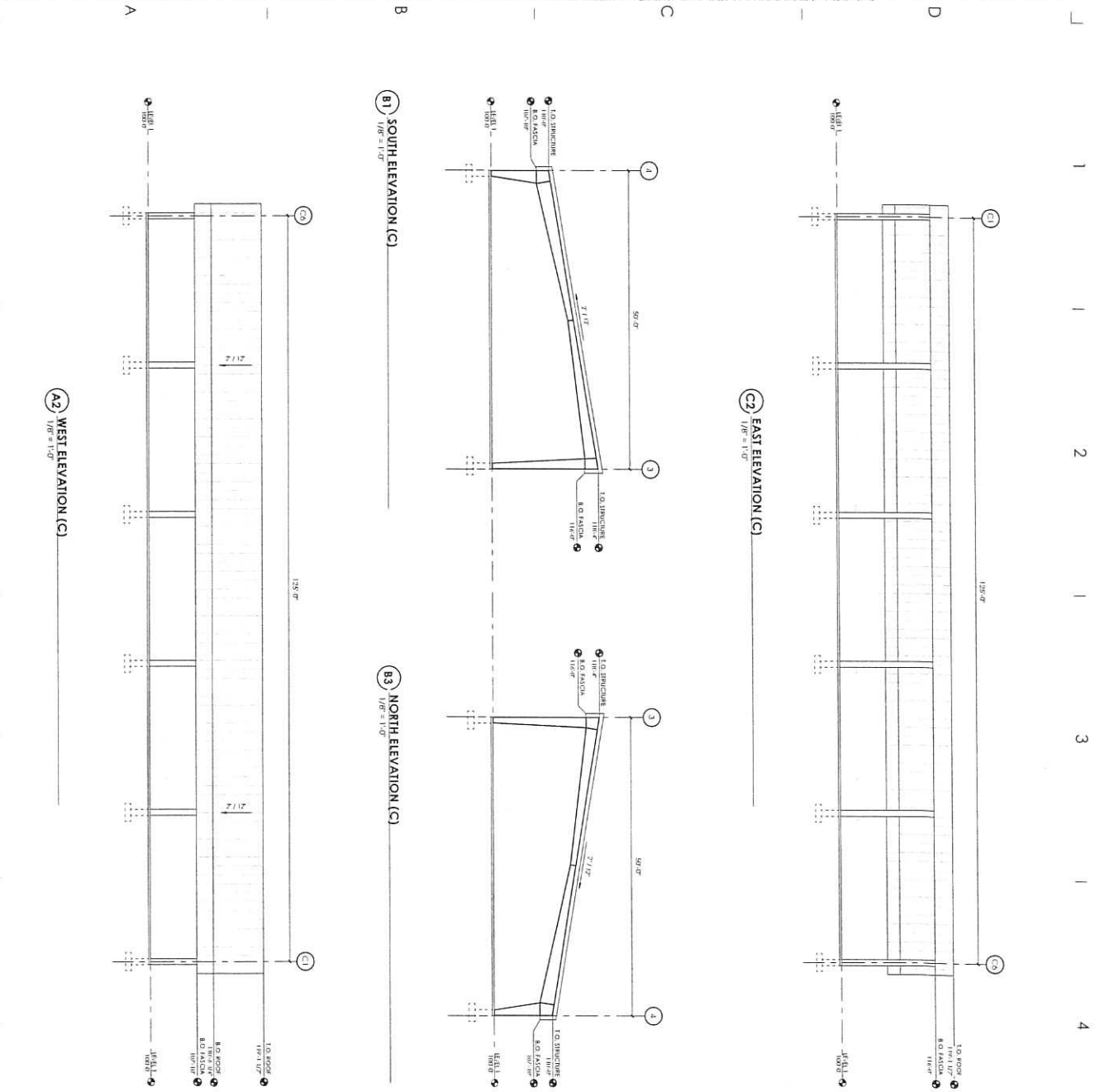
PROJECT DESCRIPTION
SUMMIT COUNTY
LIVESTOCK
BUILDINGS
202 Fair Road
Coalville, UT 84017
A41 STAMP

REFERENCE PLAN:



ISSUE DATE: AUG 18, 2017
ISSUE TYPE: 50% PROCESS
DRAWN BY: BM / BJA
CHECKED BY: K. RIGBY
PROJECT: 173001
SHEET NUMBER:

AE202



GENERAL NOTES AND LEGEND:

- SEE SHEET 1730-01 FOR GENERAL NOTES.
- SEE SHEET 1730-02 FOR EXTERIOR ELEVATIONS.
- DO NOT SCALE DIMENSIONS.
- CONSTRUCTION / INTERCONNECTION SHALL VERIFY ALL DIMENSIONS AND
- ANY DIMENSIONS NOT SHOWN SHALL BE VERIFIED BY THE ARCHITECT.
- GENERAL NOTES AND SPECIFICATIONS.



703 ROAD 1730 SOUTH
SALT LAKE CITY, UT 84105
WWW.AE203.COM

KEYED NOTES:

NOT FOR
CONSTRUCTION

ARCHITECT / CONSULTANT

PROJECT DESCRIPTION
SUMMIT COUNTY
LIVESTOCK
BUILDINGS

2021 FARM ROAD
Cedarville, UT 84107

ARCHITECT

SHEET NAME
EXTERIOR ELEVATIONS
(C)

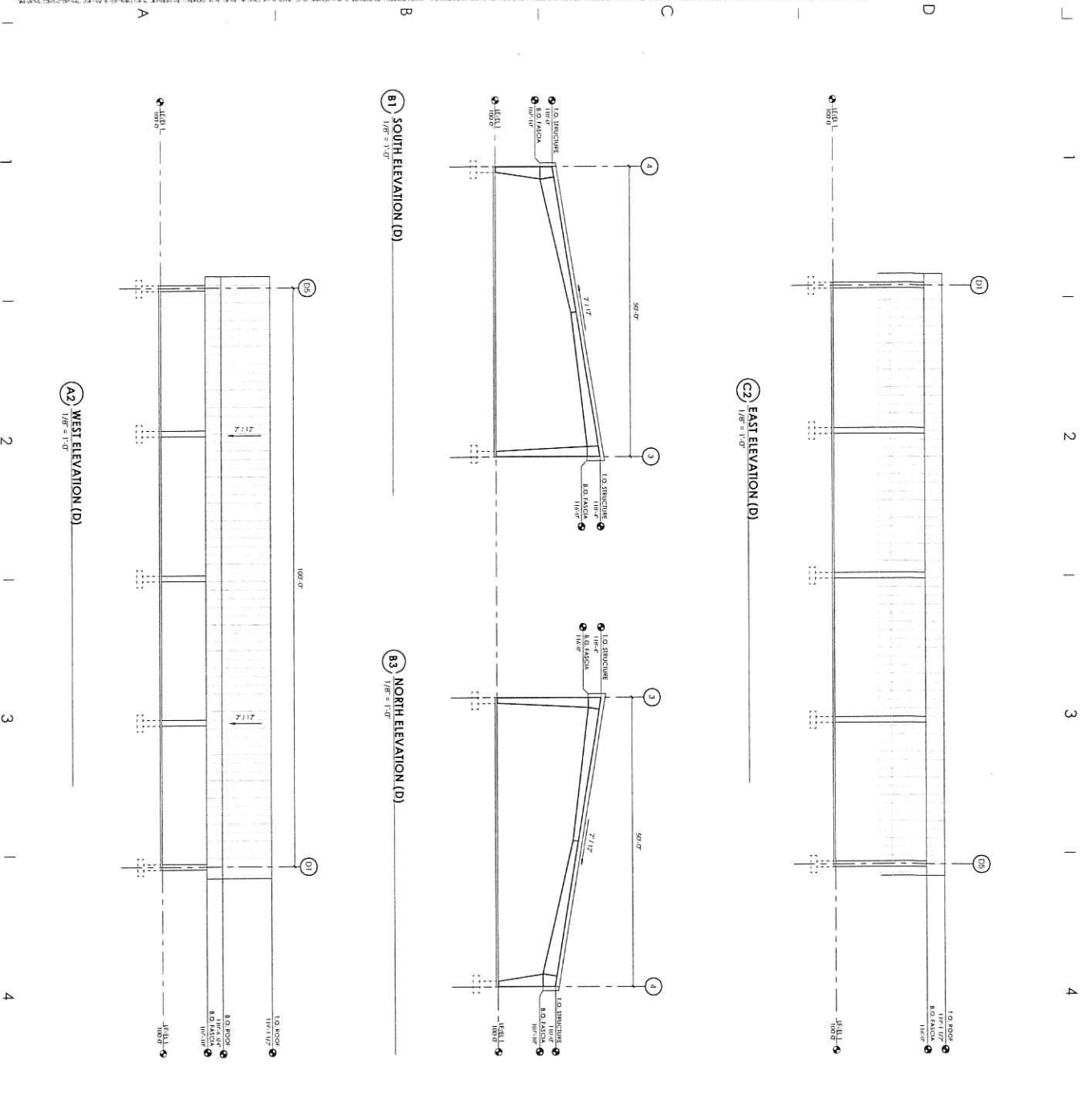
REVISIONS
MARK DATE DESCRIPTION

REFERENCE PLAN:

B	A
D	C

ISSUE DATE: AUG 18, 2017
ISSUE TYPE: 50% PRELIMINARY
DRAWN BY: BB / BAA
CHECKED BY: K. BROWN
PROJECT #: 1730-01
SHEET NUMBER:

AE203



GENERAL NOTES AND LEGEND:

- SEE THE SHEET FOR DRAWING INDEX.
- USE THE KEY FOR GENERAL NOTES.
- DO NOT SCALE DRAWINGS.
- CONSTRUCTION / FINISHES: SEE THE SHEET FOR DRAWING INDEX.
- ALL DIMENSIONS ARE IN FEET AND INCHES. DIMENSIONS ARE GIVEN TO THE CENTER OF THE MEMBER UNLESS OTHERWISE NOTED. IN GENERAL, WORK SHALL BE DONE TO THE CENTER OF THE MEMBER.

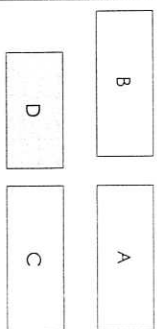
703 east 1700 south
SOUTH - CH - JEN 84105
www.acorp.com

KEYED NOTES:

NOT FOR
CONSTRUCTION

ARCHITECT / CONSULTANT

REFERENCE PLAN:



SHEET NAME:
EXTERIOR ELEVATIONS
(D)

REVISIONS
DATE DESCRIPTION

PROJECT DESCRIPTION
SUMMIT COUNTY
LIVESTOCK
BUILDINGS
200 Park Road
Coalville, UT 84017
AUS SHARP

ISSUE DATE: AUG 18, 2017
ISSUE TYPE: SOW PROGRESS
DRAWN BY: BM / RMA
CHECKED BY: P. RICHY
PROJECT #: 173001
SHEET NUMBER:

AE204



"Exhibit C"
Joint City Council 9/11/17

September 11, 2017

Mike Crittenden
1070 S. Hoytsville Rd.
Coalville, Utah 84017

Re: Annexation Petition of Hoytsville Property

Dear Mike:

This letter is to respond to your application for annexation filed with Coalville City (the "Original Petition") as required by Utah Code Annotated 10-2-405. Due to deficiencies in the Original Petition and the Revised Plat Petition, Coalville City is rejecting the Original Petition and the Revised Plat Petition. The reasons for rejection are as follows:

ORIGINAL PETITION

- (1) Properties are not contiguous and/or result in the creation of peninsulas or islands.
- (2) Does not provide an accurate recordable map, prepared by a licensed surveyor, of the area proposed for annexation.

REVISED PLAT PETITION

- (1) Does not include property that is equal in value to at least 1/3 of the value of all private real property within the area proposed for annexation; and
- (2) Does not provide an accurate recordable map, prepared by a licensed surveyor, of the area proposed for annexation.

Under Utah law it appears that you have thirty (30) days to modify and correct the deficiencies for which the Original Petition and the Revised Plat Petition was rejected and then refile with the Coalville City recorder. It is the intent of Coalville City to work with you to facilitate obtaining a petition that meets the requirements of Utah law. If you have any questions or you would like to discuss this matter, please contact me.

Mayor
Trever Johnson

Council
Adrienne Anson
Cody Blonquist
Arlin Judd
Rodney Robbins
Tyler Rowser

Sincerely,

Sheldon A Smith
Coalville City Attorney

cc: Mayor Johnson
City Council Members
Coalville City staff

PO Box 188
10 North Main Street
Coalville, UT 84017

P: 435.336.5981
F: 435.336.2062
cityhall@coalvillecity.org
www.coalvillecity.org

