

## **Salem City**

Building Department  
PO Box 901  
Salem, UT 84653  
801-423-2770 ext. 205

### **New Single Family -Building Permits**

#### **Needed Documents**

- Engineer Stamped Construction Plans
- Site Plan
- RES Check
- Gas Schematic
- Electrical Request Form
- HVAC Manuals J, D & S
- SWPPP Land Disturbance Permit
- Structural Engineer Calculations
- Owner Builder Certification (if applicable)

#### **Additional documents required throughout the building process**

- Soil report from a licensed soil engineer (required before footing inspection)
- Engineered Roof Truss Package with Wet Stamp
- Letter from Structural Engineer Approving Roof Truss Packet (Required at 4-Way inspection)

Notice: If you are an OWNER/BUILDER you are required to submit an Owner-Builder Certification. Instructions and the document can be found at the following link. <http://www.salemcity.org/owner-builder.htm>

#### **Steps for submitting application for building permit**

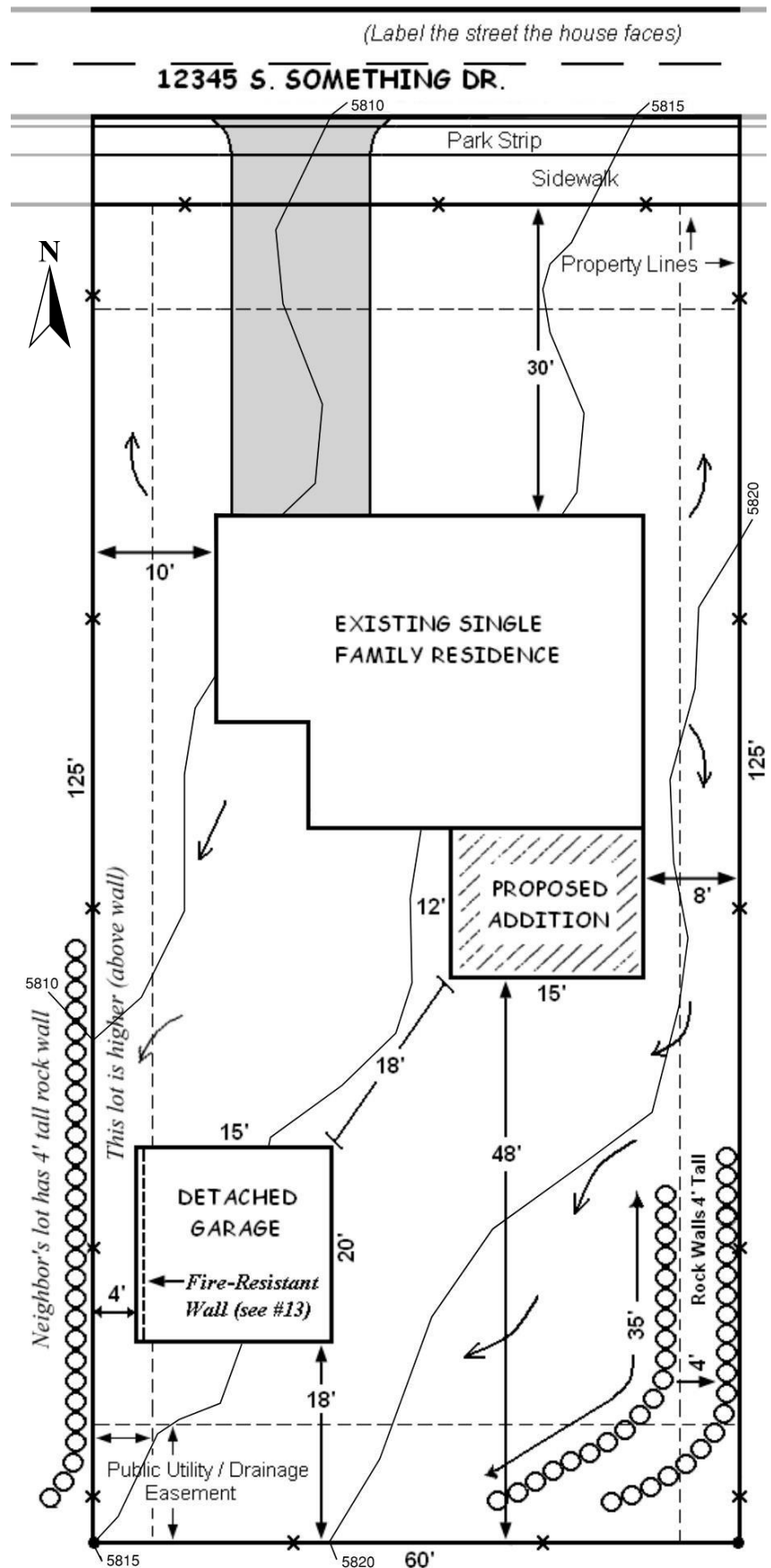
- Go to <http://www.salemcity.org/> (open in Google Chrome or Firefox browser)
- Scroll down to “building department” section (it will be on the left side of the page)
- Click on “permit request (Cityworks Program)” (It is in bright yellow)
- Proceed to create a new user or login if you already have a user setup
- At the top, center of the page click “create application”
- Select “building” tab
- Click “residential”
- Click “single family residential”
- A pop up window appears, read carefully and click “OK”
- Click “begin application” to the bottom right
- Follow prompts and fill out requested information

If you have any questions or need help with anything please call Amy at 801-423-2770 ext. 205.

# TYPICAL SITE PLAN

## CHECK LIST

1. Show dimensions of the property.
2. Put address of home on the street the house faces.
3. Show names of bordering street(s).
4. Show topographical contour lines.
5. Show location and dimensions of all existing and proposed buildings, structures and parking areas.
6. Identify the use of all existing and proposed structures including the number of stories.
7. Show distance between buildings (minimum 6'), and distances from buildings and structures to property lines (minimum 5').
8. Show any rock/masonry walls using small circles. **All walls must be built inside of your property lines.** (No alteration to the land of any kind can obstruct or alter the path of flow of any drainage easement used in the design of the subdivision to drain your lot and neighboring lots.) **Any change in drainage design must have an alternate method of maintaining the flow approved by the City prior to changes being made.)**
9. Show height, length and type of any rock or masonry wall(s) including distance between tiers, if any.
10. Include north arrow.
11. Show and identify easements.
12. Show all architectural projections including stairs, balconies, porch covers, decks, etc.
13. If a structure is closer than 5 feet to the property line, then fire-resistive construction is required. Show a notation on the site plan and details on the construction drawings.
14. Show drainage plan using arrows.
15. If structure or rock/masonry wall exists or will be within surcharge area of another wall (even on neighboring property), show this on plan.



# TYPICAL GAS LINE SCHEMATIC (DIAGRAM)

Delivery Pressure (4 oz. or 2 lb.) = \_\_\_\_\_

Gas Line Size = \_\_\_\_\_

Total BTUs = \_\_\_\_\_

Total Feet of Gas Line = \_\_\_\_\_

