

# **Lindon City Planning Commission Staff Report**



November 12, 2013

# Notice of Meeting

## Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, November 12, 2013** in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **7:00 P.M.** This meeting may be held electronically to allow a commissioner to participate. The agenda will consist of the following:

### AGENDA

Invocation: By Invitation  
Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. **Call to Order**
2. **Approval of minutes from October 22, 2013**
3. **Public Comment**

*(Review times are estimates only.)*

4. **Plat Amendment — Canberra Heights Plat H, 71 South Kings Peak Drive** *(10 minutes)*  
This is a request by Erin Shelley for a one (1) lot plat amendment located in the Residential Single Family (R1-12) zone. Recommendations will be made to the City Council at the next available meeting.

5. **Minor Subdivision — Maxine Meadows, 425 East 400 North** *(15 minutes)*  
This is a request by John Davis for a three (3) lot subdivision located in the Residential Single Family (R1-20) zone. Recommendations will be made to the City Council at the next available meeting.

6. **Site Plan — Osmond Senior Living, 175 North State Street** *(30 minutes)*  
This is a request by Jared Osmond for approval of a 90 bed assisted living facility located in the General Commercial (CG)/Senior Housing Facility Overlay (SHFO) zone. Recommendations will be made to the City Council at the next available meeting.

7. **Public Hearing — Ordinance Amendment, LCC 17.48 Commercial Zones and LCC Standard Land Use Table** *(20 minutes)*  
This a request by Creig Fryer to amend LCC 17.48 to create the General Commercial—Storage (CG-S) zone and reflect said zone in the SLU table. Permitted uses in the CG-S would include self-storage units as well as permitted and conditional uses in the General Commercial (CG) zone. Recommendations will be made to the City Council at the next available meeting.

8. **Public Hearing — Zoning Map Amendment, 439 West Gillman Lane** *(10 minutes)*  
This is a request by Creig Fryer to rezone property currently split zoned Residential Single Family (R1-20) and General Commercial (CG) to the General Commercial—Storage (CG-S) zone. Recommendations will be made to the City Council at the next available meeting.

9. **Concept Review — Timpview RTC, 200 North 1400 West** *(20 minutes)*  
This is a request by Lynn Loftin to review the possible expansion of a nonconforming group home use located in the Heavy Industrial (HI) zone.

**10. Public Hearing — Ordinance Amendment, LCC 17.09 Table #1** (15 minutes)

This is a City initiated request to amend the Land Use and Appeal Authorities for certain land use applications as specified in LCC 17.09 Table #1. Recommendations will be made to the City Council at the next available meeting.

**11. New Business (Reports by Commissioners)**

**12. Planning Director Report**

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at [www.lindoncity.org](http://www.lindoncity.org). The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 hours notice.

**Posted By:** Hugh Van Wagenen  
**Time:** ~ 9:00 am

**Date:** November 8, 2013

**Place:** Lindon City Center, Lindon Public Works, Lindon Community Center

## **Item I – Call to Order**

November 12, 2013 Planning Commission meeting.

### **Roll Call:**

Ron Anderson  
Sharon Call  
DelRay Gunnell  
Rob Kallas  
Carolyn Lundberg  
Mike Marchbanks

# Item 2 – Approval of Minutes

Planning Commission – Tuesday, October 22, 2013.

2 The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday,**  
3 **October 22, 2013 at 7:00 p.m.** at the Lindon City Center, City Council Chambers, 100  
4 North State Street, Lindon, Utah.

6 **REGULAR SESSION** – 7:00 P.M.

7 Conducting: Sharon Call, Chairperson  
8 Pledge of Allegiance: Rob Kallas, Commissioner  
9 Invocation: Del Ray Gunnell, Commissioner

10 **PRESENT**

**ABSENT**

11 Sharon Call, Chairperson  
12 Ron Anderson, Commissioner  
13 Del Ray Gunnell, Commissioner  
14 Carolyn Lundberg, Commissioner  
15 Rob Kallas, Commissioner  
16 Mike Marchbanks, Commissioner  
17 Hugh Van Wagenen, Planning Director  
18 Kathryn Moosman, City Recorder  
19 Special Attendee: Councilmember Bean

- 20
- 21 1. **CALL TO ORDER** – The meeting was called to order at 7:05 p.m.
- 22
- 23 2. **APPROVAL OF MINUTES** – The minutes of the regular meeting of October 8,  
24 2013 were reviewed.

25

26 COMMISSIONER KALLAS MOVED TO APPROVE THE MINUTES OF THE  
27 REGULAR MEETING OF OCTOBER 8, 2013 AS AMENDED. COMMISSIONER  
28 MARCHBANKS SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR.  
29 THE MOTION CARRIED.

- 30
- 31 3. **PUBLIC COMMENT** –

32

33 Chairperson Call called for comments from any audience member who wished to  
34 address any issue not listed as an agenda item. There were no public comments.

35 **CURRENT BUSINESS** –

- 36
- 37 4. **REVIEW:** *Valdez Painting, 452 South Lindon Park Drive.* This is a request by  
38 the Planning Commission to review a sample of a proposed architectural  
39 treatment that Valdez Painting would like to use on their new storage building.

40

41 Hugh Van Wagenen, Planning Director, gave a brief overview of this agenda  
42 item. He explained this is a request by the Planning Commission to review a sample of a  
43 proposed architectural treatment that Valdez Painting would like to use on their new  
44 storage building. Mr. Van Wagenen explained that the site plan for this building was  
45 considered at the previous Planning Commission meeting and approved with the  
46 condition that the proposed treatment would be presented at the October 22<sup>nd</sup> meeting.

2 Mr. Van Wagenen noted at the previous meeting, Val Killian, representing Valdez  
Painting, expressed willingness to present a sample of the concrete painting treatment,  
4 which treatment was also previously approved to be used on another on-site building, but  
has not, to date, been applied.

6 Mr. Killian was in attendance to present the sample of the concrete painting  
treatment to the Commission. After reviewing the sample and following some general  
discussion, the Commission were in agreement that the sample meets their approval. The  
8 Commission also agreed to allow Mr. Killian to spray both buildings at the same time in  
the spring. Chairperson Call asked if there would be any type of follow-up to ensure the  
10 buildings were painted. Mr. Van Wagenen noted that before the final certificate of  
occupancy is issued, staff will do a final inspection and site plan review to make sure that  
12 everything covered in this meeting is complete and adhered to.

14 Chairperson Call asked if there were any further questions or comments. Hearing  
none she called for a motion.

16 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE  
ARCHITECTURAL TREATMENT AS PRESENTED FOR THE VALDEZ PAINTING  
18 STORAGE BUILDING SITE PLAN THAT WILL BE THE SAME AS THE OFFICE  
BUILDING THAT WAS PREVIOUSLY APPROVED AND TO BE COMPLETED IN  
20 A TIMELY MANNER AS THE SEASON PERMIT. COMMISSIONER ANDERSON  
SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

22 CHAIRPERSON CALL AYE  
COMMISSIONER ANDERSON AYE  
24 COMMISSIONER GUNNELL AYE  
COMMISSIONER LUNDBERG AYE  
26 COMMISSIONER KALLAS AYE  
COMMISSIONER MARCHBANKS AYE

28 THE MOTION CARRIED UNANIMOUSLY.

- 30 5. **CONDITIONAL USE PERMIT:** *Erick Johnson, 730 North State Street.* This is  
32 a request by Erick Johnson to operate a gym at the above address in the General  
Commercial (CG) zone. Gymnasiums and Athletic Clubs are conditionally  
34 permitted in the CG zone.

36 Mr. Van Wagenen opened the discussion by giving a brief summary of this  
agenda item and noted this is a request by Erick Johnson for a Conditional Use Permit to  
operate a gym/health club in the General Commercial zone. Mr. Van Wagenen noted that  
38 Gymnasiums & Athletic Clubs are conditionally permitted in the CG zone. He added that  
Mr. Johnson operates a Crossfit gym and is looking to re-locate in Lindon.

40 Mr. Van Wagenen explained that according to the applicant, there are eight (8)  
parking spaces available in front of the building for gym use, along with additional  
42 parking in the rear of the building. Mr. Van Wagenen noted with the state widening  
project all street parking will no longer be available. He added that the hours of  
44 operation will be from 6 a.m. to 10 p.m., with some closed hours during the afternoon.  
Mr. Van Wagenen further explained that Mr. Johnson will only be utilizing a portion of  
46 the building where the old appliance repair shop was previously located. Mr. Van  
Wagenen suggested that the Commission may want to review hours of operation,

2 parking, number of clients at any given time, or any other issue that may affect the health,  
welfare, or safety of local business and residents regarding this application.

4 Mr. Johnson addressed the Commission at this time. He explained what a  
Crossfit gym entails. He noted that it is not a standard type gym, and they also focus on  
6 gymnastics. He added that they plan to have about 10-15 clients at the facility at any one  
time with classes typically running one hour. He added that they currently have 20-25  
8 clients enrolled, with no more than 5-6 clients per class. Mr. Johnson stated that he feels  
there is currently plenty of parking at the facility. Mr. Van Wagenen then referenced a  
10 map showing the facility area and the parking stalls. There was then some general  
discussion regarding the parking at the facility. Mr. Van Wagenen stated the Planning  
12 Commission may impose conditions on this use in this zone. He added that once a  
Conditional Use Permit has been granted, it runs with the land, not the owner.

14 Chairperson Call asked if there were further discussion or comments. Hearing  
none she called for a motion.

16 COMMISSIONER KALLAS MOVED TO APPROVE THE CONDITIONAL  
USE PERMIT TO OPERATE A GYMNASIUM/ATHLETIC CLUB AT 730 NORTH  
18 STATE STREET WITH THE CONDITION THAT THE FACILITY PROVIDE A ONE  
TO ONE PARKING RATIO BASED ON STUDENT CLASS SIZE, NOT INCLUDING  
20 STAFF. COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE  
VOTE WAS RECORDED AS FOLLOWS:

22 CHAIRPERSON CALL AYE  
COMMISSIONER ANDERSON AYE  
24 COMMISSIONER GUNNELL AYE  
COMMISSIONER LUNDBERG AYE  
26 COMMISSIONER KALLAS AYE  
COMMISSIONER MARCHBANKS AYE  
28 THE MOTION CARRIED UNANIMOUSLY.

- 30 6. **PUBLIC HEARING:** *Ordinance Amendment, LCC Standard Land Use Table.*  
This is a request Creig Fryer to amend the SLU table to allow mini-storage in the  
32 General Commercial (CG) zone on lots that do not have frontage on an arterial  
roadway. Recommendations will be made to the City Council at the next available  
34 meeting.

36 COMMISSIONER ANDERSON MOVED TO OPEN THE PUBLIC HEARING.  
COMMISSIONER GUNNELL SECONDED THE MOTION. ALL PRESENT VOTED  
38 IN FAVOR. THE MOTION CARRIED.

40 Mr. Van Wagenen explained this is a request by Creig Fryer to amend the  
Standard Land Use table to allow Vault Security Storage - Mini-Storage in the General  
42 Commercial (CG) zone on lots that do not have frontage on an arterial roadway. He noted  
that the Fryers came before the Commission previously regarding this issue. He noted  
44 that recommendations will be made to the City Council following review by the Planning  
Commission.

46 Mr. Van Wagenen noted that currently, there are four (4) roadways classified in  
the Lindon Street Master Plan Map as arterial roadways: State Street, 700 North, Geneva

2 Road, and 600 South. He added the General Commercial zone runs mostly parallel to  
3 State Street and 700 North.

4 Mr. Van Wagenen then referenced a map (included in the packets) that gives an  
5 idea of the properties (highlighted on map) that would be affected by this ordinance  
6 change. He noted, after doing some research, there are approximately 90 parcels, all  
7 varying in size, on which mini-storage units would be permitted. Although these parcels  
8 do not have arterial frontage, some are more visible from the arterial road than others, he  
9 referenced the parcel near Wal-Mart and the area near the Tri-City Medical Center.

10 Mr. Van Wagenen noted that some additional criteria could be put on this use to  
11 minimize location in the SLU. Mr. Van Wagenen noted that as staff was discussing this  
12 issue, it was discussed that this could be handled similarly to the way the CGA zone was  
13 handled and perhaps create a new zone that could be require review upon request every  
14 application rather than opening it up completely. Mr. Van Wagenen commented that if  
15 this route is taken, re-noticing would have to be done and change up would have to be  
16 done on what has been presented tonight. He added this is another option or alternative to  
17 allow storage units on this type of ground, but there would have to be more of a review  
18 process, because it would require a zone change rather than opening it up completely to  
19 all parcels (by changing the SLU). Mr. Van Wagenen noted this action is based on  
20 direction from the Commission and Council's, and the Fryer's request, to see how to  
21 allow storage units on parcels of this nature.

22 Chairperson Call inquired if this is passed as it is right now would it be difficult to  
23 deny another applicant if they came in with a request. Mr. Van Wagenen confirmed that  
24 statement and noted that if an applicant came in and the application met the code it could  
25 not be denied. Chairperson Call commented that she does not want to see it opened up to  
26 89 possible parcels. Mr. Van Wagenen stated that most of the parcels are already  
27 developed but it would give them the option of the use.

28 Commissioner Kallas asked for clarification of the term "vault storage" and if  
29 there are any minimal requirements as far as what the structure can be built of. Mr. Van  
30 Wagenen commented that "vault storage" is anything that is locked and secured. He also  
31 noted that the building (if it is in the commercial zone) would have to meet the  
32 commercial design guidelines, but there is not a standard for that type of use specifically.  
33 Commissioner Anderson commented that, in reality, most people are not going to use  
34 state street frontage ground for storage units, as they could buy ground cheaper  
35 elsewhere. He added that he feels storage units have a bad name because of what people  
36 were building 20 or 30 years ago were the tin sided building types that didn't look good,  
37 and currently they have to be built to mixed commercial standards so they look a lot  
38 better, however he would not want to see a lot of storage units on state street.

39 Chairperson Call inquired about the issue of having to review each application  
40 upon request. Mr. Van Wagenen stated this would happen if a new zone was created, for  
41 example, CGS (General Commercial Storage Zone), and therefore anytime someone  
42 wanted to apply the new zone to a parcel there would have to be a zone change process  
43 and get approval. Chairperson Call commented that she likes that idea, as there would  
44 be an option to deny it and review it on a case by case basis and then a determination  
45 would be made. Commissioner Kallas agreed that he would like to look at it on a case by  
46 case basis. Commissioner Anderson stated that he thinks the Commissioners agree that this  
47 is a good place for storage units, but to not open it up completely. Commissioner  
48 Lundberg asked if these will be used for individual self storage. Mr. Fryer confirmed that  
49 statement. He added that none of the units will have electricity or water. He further noted

2 that there will be an office in the front with housing for staff. Creig Fryer then presented  
his rough layout for the Commission to review. Mr. Fryer noted the parcel is 1.6 acres  
and proposing 15 larger units (20x50) and possibly adding smaller units on the inside.  
4 He added they plan on using split block so the units will look nice.

6 Chairperson Call inquired what would be needed to create a new CGS zone, so  
that each request could be reviewed on an individual basis. Mr. Van Wagenen replied that  
noticing would have to be done along with review of the code and land use table to get  
8 the CGS language into a new ordinance and the standard land use table. Chairperson Call  
also asked if once the new zone was in place would it apply to the Fryer's property and  
10 request. Mr. Van Wagenen confirmed that statement. Commissioner Lundberg  
mentioned the code for storage units used in a town in Washington that may be  
12 considered for reference. Mr. Van Wagenen noted that he will look at the language in  
that code. Commissioner Lundberg stated that she will email the code to the  
14 Commissioner's and to Mr. Van Wagenen. Chairperson Call commented that she feels  
this item should be continued to allow staff time to make appropriate changes to present  
16 to the Commission at the next meeting. Mr. Fryer noted they would like to see this  
approved as soon as possible to allow them to move forward by the end of the year. Mr.  
18 Van Wagenen stated that he is confident this could be wrapped up by the end of the year.  
Following some additional general discussion Chairperson Call called for a motion.

20  
22 COMMISSIONER KALLAS MOVED TO CONTINUE THE REQUEST FOR  
AN ORDINANCE AMENDMENT TO LCC STANDARD LAND USE TABLE TO  
24 ALLOW VAULT SECURITY STORAGE – MINI STORAGE IN THE GENERAL  
COMMERCIAL ZONE ON PROPERTY THAT HAS NO ARTERIAL ROAD  
FRONTAGE AND GIVE DIRECTION TO STAFF TO WRITE A NEW CGS  
26 (GENERAL COMMERCIAL STORAGE) ZONE TO PRESENT AT THE NEXT  
PLANNING COMMISSION MEETING. COMMISSIONER MARCHBANKS  
28 SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

30 CHAIRPERSON CALL AYE  
COMMISSIONER ANDERSON AYE  
COMMISSIONER GUNNELL AYE  
32 COMMISSIONER LUNDBERG AYE  
COMMISSIONER KALLAS AYE  
34 COMMISSIONER MARCHBANKS AYE  
THE MOTION CARRIED UNANIMOUSLY.

36  
38 7. **PUBLIC HEARING:** *Ordinance Amendment, LCC Standard Land Use Table.*

This is a City initiated request to amend the SLU table to make Bed & Breakfast  
Facilities a non-permitted use in residential zones throughout the City.

40 Recommendations will be made to the City Council at the next available meeting.

42 Mr. Van Wagenen opened the discussion by explaining this is a City initiated  
request to amend the Standard Land Use table to make Bed & Breakfast Facilities a non-  
44 permitted use in residential zones throughout the City. He added that recommendations  
will be made to the City Council at their next available meeting.

46 Mr. Van Wagenen mentioned that earlier this year, a resident applied for a  
Conditional Use Permit to operate a Bed & Breakfast in her home in the R1-12 zone. He  
48 noted this request concerned several neighbors as well as Commissioners and Council

Members who did not realize the effect of allowing Bed & Breakfast facilities as a conditional use in residential neighborhoods.

Mr. Van Wagenen stated that based on these concerns, the City is considering removing “Residential Bed & Breakfast Facility — 3 rooms or less” as a conditional use in residential zones. He noted that essentially this will strike any Bed & Breakfast facilities in residential zone. Mr. Van Wagenen noted that this item is pretty straightforward and a good way to go about addressing this issue. There was then some general discussion regarding this agenda item.

Chairperson Call asked if there were any further questions or comments. Hearing none she called for a motion.

COMMISSIONER MARCHBANKS MOVED TO APPROVE THE ORDINANCE AMENDMENT TO LCC STANDARD LAND USE TABLE WHICH PROHIBITS FUTURE RESIDENTIAL BED & BREAKFAST FACILITIES – 3 ROOMS OR LESS – IN RESIDENTIAL ZONES AND RECOMMEND APPROVAL TO THE CITY COUNCIL. COMMISSIONER GUNNELL SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON CALL	AYE
COMMISSIONER ANDERSON	AYE
COMMISSIONER GUNNELL	AYE
COMMISSIONER LUNDBERG	AYE
COMMISSIONER KALLAS	AYE
COMMISSIONER MARCHBANKS	AYE

THE MOTION CARRIED UNANIMOUSLY.

8. **PUBLIC HEARING:** *Ordinance Amendment, LCC 17.48.040 Commercial Fencing.* This is a City initiated request to omit the white vinyl ranch fencing requirements along public street frontages in commercial zones within the City. Recommendations will be made to the City Council at the next available meeting.

Mr. Van Wagenen opened the discussion by explaining this is a City initiated request to omit the white vinyl ranch fencing requirements along public street frontages in commercial zones. He noted there has been previous discussion regarding the white vinyl fencing. He explained there are several spots in the code that refer to this white fence. One of which is the commercial design guidelines and also one in the landscape strip portion of the commercial zone and a few other handouts etc. He noted if the commission were to move forward with this amendment tonight, there may be a more vigorous discussion at the Council level. He added that it is probably prudent to obtain more feedback before taking this to the Council. He added that this request would completely omit the requirement for the vinyl ranch fence. There was then some general discussion regarding this issue.

Commissioner Anderson mentioned that the Council was trying to push the recurring theme with the white vinyl fencing to make Lindon unique. He inquired if the white fencing is not used could another recurring theme be used or something to give people a choice. Mr. Van Wagenen commented that the question is if this is accomplishing what it set out to do, and if it is a unnecessary burden on businesses and developers that might push people from developing in Lindon. Commissioner Marchbanks commented that he would prefer to strike the language and give business

owners the opportunity to choose for themselves and to be architecturally creative. He added that this has limited the look in the commercial zones. He further noted that the vinyl fencing is hard to maintain, especially in the winter months when the vinyl gets cold and brittle and breaks easily. Mr. Van Wagenen stated another option to striking it all is to use the work “may” rather than the work “shall” in the language, which would encourage the fencing rather than require it. He then referenced the possible strikeout on the code as shown below.

**Lindon City Code 17.48.040 Fencing and Screening**

*2. All required landscaping that abuts frontage on a dedicated street in the CG, PC 1 and PC 2 zones shall contain a continuous white vinyl ranch style two (2) rail fence. The fence shall be three (3) feet tall with post dimensions of five (5) inches by five (5) inches with rail dimensions of two (2) inches by six (6) inches. The posts shall be installed eight (8) feet on center with two (2) rails between posts. The fence shall be placed adjacent to State Street and any other dedicated streets in the CG zone and PC 1 and PC 2 zones in a continuous fashion. Placement of the fence shall typically be two (2) feet behind the sidewalk within the required landscaping strip. Any variation to the location of this fence requirement, 17.48.040 (2), may be granted by the Planning Commission.*

Following some additional discussion regarding this agenda item the Commissioners were in agreement to use the work “may” rather than the word “shall” in the language. Chairperson Call asked if there were any public questions or comments. Councilmember Bean commented that he feels the Commission is heading in a good direction with this issue. Hearing no further comments she called for a motion to close the public hearing.

COMMISSIONER ANDERSON MOVED TO CLOSE THE PUBLIC HEARING. COMMISSIONER LUNDBERG SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

Chairperson Call asked if there were any further questions or comments from the Commission. Hearing none she called for a motion.

COMMISSIONER ANDERSON MOVED TO CONTINUE THE ORDINANCE AMENDMENT TO LINDON CITY CODE 17.48.040 COMMERCIAL FENCING AND SCREENING UNTIL THE FIRST OF THE YEAR TO ALLOW STAFF TIME TO DO MORE RESEARCH. COMMISSIONER KALLAS SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON CALL	AYE
COMMISSIONER ANDERSON	AYE
COMMISSIONER GUNNELL	AYE
COMMISSIONER LUNDBERG	AYE
COMMISSIONER KALLAS	AYE
COMMISSIONER MARCHBANKS	AYE

THE MOTION CARRIED UNANIMOUSLY.

9. **NEW BUSINESS** – Reports by Commissioners.

Chairperson Call called for any new business or reports from the Commissioners.  
2 Chairperson Call noted that the Mayor's Open House went well and she appreciated all of  
the City staff, Commissioners and Council who attended. Commissioner Kallas asked  
4 about the status of the Noah's building on 700 North. Mr. Van Wagenen stated that  
Noah's is not an event center any longer and it will be used for office space. He added  
6 that the new owners will be modifying the building and changing the use. Chairperson  
Call called for any other comments or reports from the Commissioners. Hearing none  
8 she moved on to the next agenda item.

10 **10. PLANNING DIRECTOR'S REPORT –**

12 Mr. Van Wagenen reported on City Council updates as follows:

- 14 • City Council items:
  - Murdock Cars of Lindon Plat Amendment
- 16 • Lindon Senior Housing on Main
- Signatures needed
- 18 • Planner job opening
- City Events
  - Meet the candidates night, Oct. 24, 7 pm, Community Center
  - 20 ○ Halloween Carnival, Oct. 30, 6 pm, Pioneer Park
- Questions on previous applications/developments

22  
24 Chairperson Call asked if there were any other comments or discussion from the  
Commissioners. Hearing none she called for a motion to adjourn.

26 **ADJOURN –**

28 COMMISSIONER KALLAS MADE A MOTION TO ADJOURN THE  
MEETING AT 8:55 P.M. COMMISSIONER GUNNELL SECONDED THE MOTION.  
30 ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

32 Approved – November 12, 2013

34  
36 \_\_\_\_\_  
38 Sharon Call, Chairperson

40  
42 \_\_\_\_\_  
Hugh Van Wagenen, Planning Director

**Item 3 – Public Comment**

**1** - Subject \_\_\_\_\_  
Discussion

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**2** - Subject \_\_\_\_\_  
Discussion

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**3** - Subject \_\_\_\_\_  
Discussion

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## Item 4: Plat Amendment — Canberra Heights Plat H

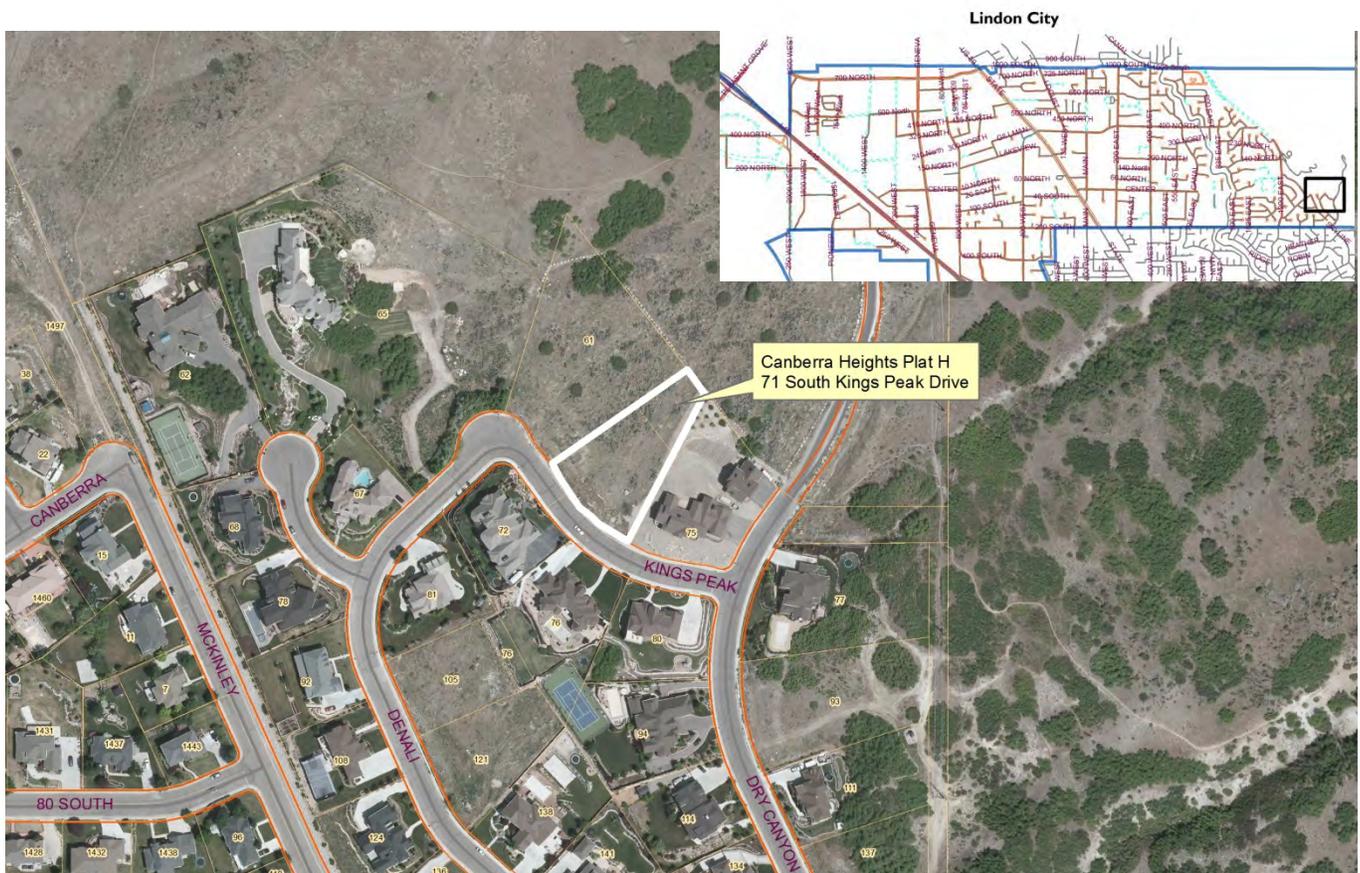
**Presenting Staff:** *Hugh Van Wagenen*  
**Applicant:** *Erin Shelley*  
**Location:** *71 South Kings Peak Drive*  
**Zone:** *Residential Single Family (R1-12)*  
**Acreeage:** *0.68 acres*

### Summary

This is a request by Erin Shelley for a one (1) lot plat amendment located in the Residential Single Family (R1-12) zone. The Shelley's own the current Lot 32 in Canberra Heights Plat A in addition to a parcel behind that lot. This amendment will erase the property line dividing the two pieces of property and combine them into one subdivision lot to be known as Canberra Heights Plat H. The proposed amendment does meet Lindon City Code for subdivision lots in this zone.

Recommendations will be made to the City Council at the next available meeting.

**Motion:** I move to (approve, continue, deny) the one lot plat amendment to be known as Canberra Heights Plat H with the following conditions (if any):

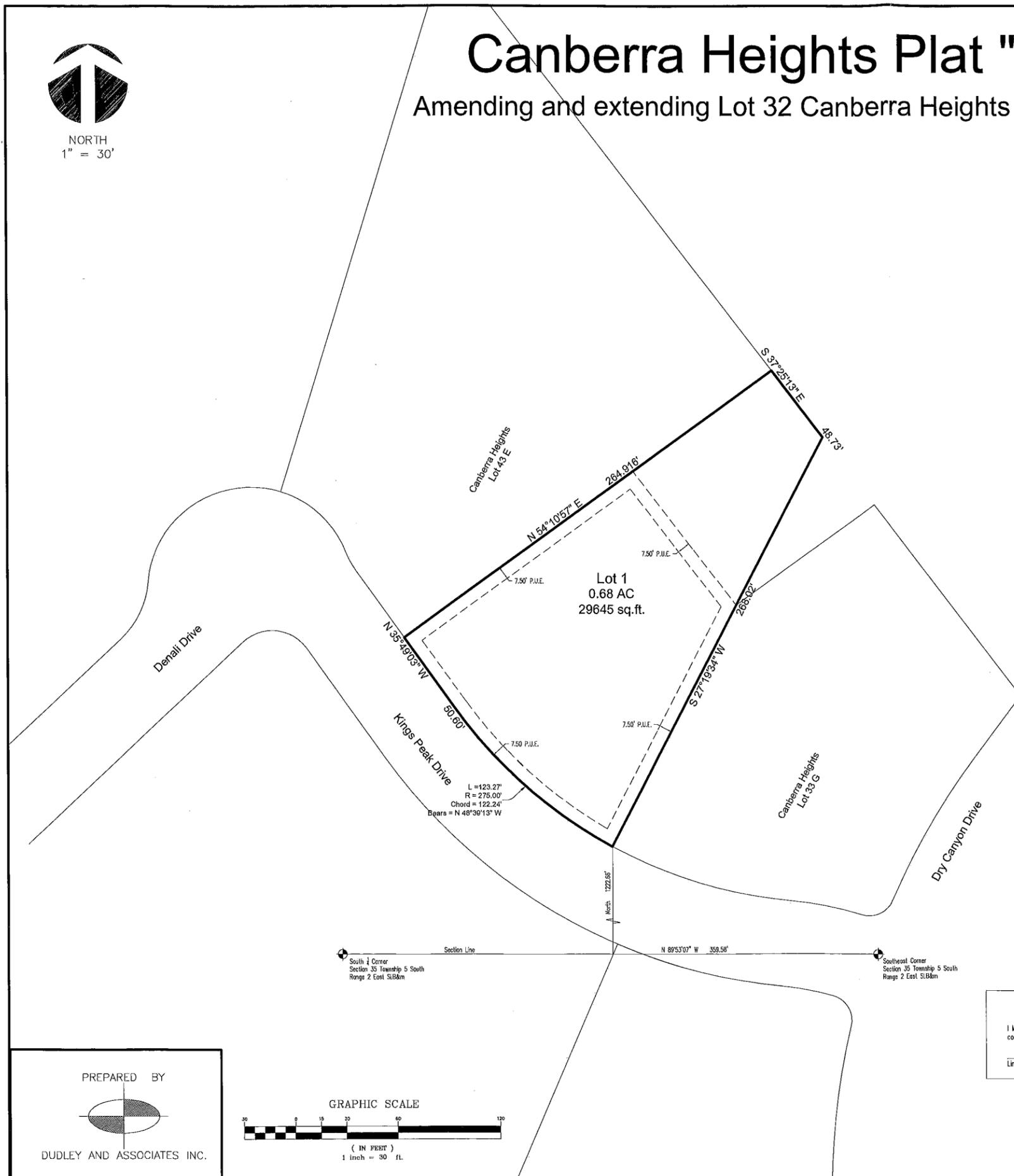




NORTH  
1" = 30'

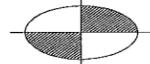
# Canberra Heights Plat "H"

## Amending and extending Lot 32 Canberra Heights Plat "A"



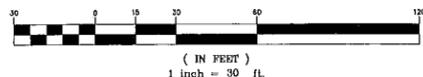
South 1/4 Corner Section 35 Township 5 South Range 2 East S1&M  
North 1/2 Corner Section 35 Township 5 South Range 2 East S1&M

PREPARED BY



DUDLEY AND ASSOCIATES INC.

GRAPHIC SCALE



**Approved Rocky Mountain Power**

Rocky Mountain Power Representative \_\_\_\_\_ Date \_\_\_\_\_

**Approved Questar Gas**

Questar Gas Representative \_\_\_\_\_ Date \_\_\_\_\_

**Approved Utopia**

Utopia Representative \_\_\_\_\_ Date \_\_\_\_\_

**Occupancy Restriction Notice**  
It is unlawful to occupy any building within this subdivision without first having obtained a certificate of occupancy issued by the City.

**NOTES**

A geotechnical study has been completed for this project prepared by Applied Geotechnical Engineering Consultants (AGEC) dated April 3, 1997. In addition with a supplemental letter to the report dated January 25, 1999. A subsequent review report has also been prepared by the Utah Geological Survey dated November 20, 1998. These reports are on file in the Lindon City Offices.

The geotechnical report identifies the possibility of collapsible soils onsite. It will be the responsibility of each lot owner to provide Lindon City with a written documentation prepared by a geotechnical engineer verifying that footing excavations were inspected and mitigations measures taken, where needed to deal with collapsible soils.

All Canberra Heights, Plat "H" Lots are subject to Lindon City's Hillside Protection Zone. (Section 17.57 of the Lindon City Code.)

All Canberra Heights, Plat "H" Lots are subject to covenants, conditions and restrictions.

Primary Building sites are to be 20 feet from the side lot lines and 30 feet from front and rear lot lines.

The maximum square footage home allowed without additional fire protection measures being employed is 9400 sq. ft. (Type 5N construction based on 2500 GPM fire flow with residual pressure at 20 P.S.I.) Homeowner to verify water pressure and flow rates prior to construction and obtaining a building permit.

On all building lots the finished floor elevation shall be established to provide a driveway that slopes up from the back of the sidewalk at an average of at least 3.0% for the first 32 feet.

Occupancy notice: It's unlawful to occupy any building located within this subdivision without first having obtained a certificate of occupancy issued by the city.

**City Engineer's Certificate**  
I Mark L. Christensen as the Lindon City Engineer, have inspected the foregoing plat and legal description and find them to be correct, and do hereby give the approval of said plat on this \_\_\_\_\_ day of \_\_\_\_\_, 20\_\_\_\_.

Lindon City Engineer (see seal)

Community Development  
Lindon City

OCT 03 2013

RECEIVED

mark received  
hard copy

**Surveyor's Certificate**

I, Roger D. Dudgey, do hereby certify that I am a registered land surveyor, and that I hold certificate No. 147082 in accordance with Utah Code, Title 58, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act. I further certify that at the request of the owner of the below-described land, I performed a survey of said land in accordance with Section 17-23-17 of the Utah Code; that the boundary description below correctly describes the land surface upon which will be constructed. That I have verified all measurements, and that the reference markers shown on said plat are located as shown and are sufficient to readily retraced or reestablish this survey.

**Boundary Description**

Commencing at the Southeast corner of Lot 32, Plat "A", Canberra Heights Subdivision, said point being located North 89°53'07" West along the Section line 505.07 feet and North 1222.66 feet from the Southeast corner of Section 35, Township 5 South, Range 2 East, Salt Lake Base and Meridian; thence along the arc of a 275.00 foot radius curve to the right 123.27 feet (chord bears North 48°39'33" West 122.24 feet); thence North 35°48'03" West 50.60 feet to the Southeast corner of Lot 43, Plat "E", Canberra Heights Subdivision; thence North 54°10'57" East along said Lot 43 264.916 feet; thence South 37°25'13" East 48.73 feet; thence South 27°19'34" West 268.02 feet to the point of beginning.

AREA=0.68 acre

Date \_\_\_\_\_ Surveyor \_\_\_\_\_  
(See Seal Below)

**Owner's Dedication**

The undersigned owners ("owner" without regard to number or gender) of the above-described land hereby certifies that: owner has caused a survey to be made of said land and to be prepared for the \_\_\_\_\_, Owner hereby consents to the concurrent recordation of the plat and Declaration and hereby submits the described land to the provisions and requirements of the declaration, owner hereby dedicates any public streets reflected on the map for the use by the general public.

In witness hereof we have hereunto set our hands this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

**Acknowledgement**

State of Utah }  
County of Utah } S.S.

On this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_, personally appeared before me the signers of the foregoing dedication who duly acknowledge to me that they did execute the same.

My Commission Expires \_\_\_\_\_ Notary Public \_\_\_\_\_  
(see Seal below)

**Acceptance of Legislative Body**

The City of Lindon, County of Utah, approves this Subdivision subject to the Conditions and Restrictions stated herein, and hereby accepts the dedication of all streets, easements and other parcels of land intended for perpetual use of the public this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_.

Mayor \_\_\_\_\_ Council Member \_\_\_\_\_  
Council Member \_\_\_\_\_ Council Member \_\_\_\_\_  
Council Member \_\_\_\_\_ Council Member \_\_\_\_\_

Attest:  
Approved this \_\_\_\_\_ day of \_\_\_\_\_, A.D. 20\_\_\_\_ by the Lindon City Planning Commission.

Director - Secretary \_\_\_\_\_ Chairman, Planning Commission \_\_\_\_\_

**Conditions of Approval**

Plat "H"

# Canberra Heights

Subdivision  
Lindon City, \_\_\_\_\_ Utah County, Utah  
Scale: 1" = 30 Feet

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLERK-RECORDER SEAL
-----------------	--------------------	---------------------------	---------------------

## Item 5: Minor Subdivision — Maxine Meadows

**Presenting Staff:** *Hugh Van Wagenen*  
**Applicant:** *John Davis*  
**Location:** *425 East 400 North*  
**Zone:** *Residential Single Family (R1-20)*  
**Acreage:** *1.48 acres*

### Summary

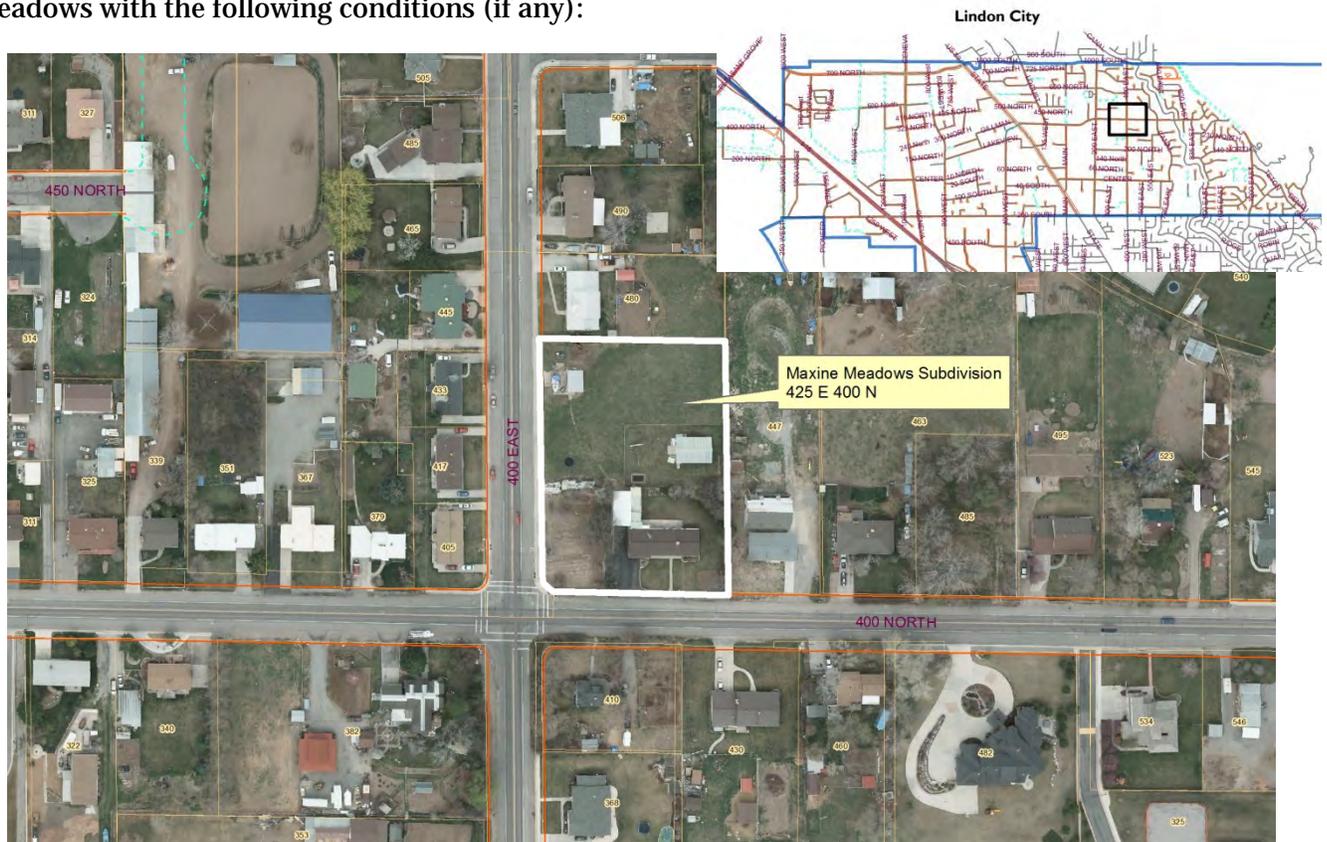
This is a request by John Davis for a three (3) lot subdivision located in the Residential Single Family (R1-20) zone. Several accessory buildings will have to be removed from the property, but the proposed lots do meet frontage and minimum acreage requirements for the zone.

Recommendations will be made to the City Council at the next available meeting.

### Condition

The preliminary plat shows a jog between Lot 1 and Lot 2. The jog encroaches on the 30 foot rear yard setback of Lot 1 and therefore needs to be shifted to the west so that no point of the existing house on Lot 1 is within 30 feet of any point of Lot 2.

**Motion:** I move to (approve, deny, continue) the three (3) lot subdivision to be known as Maxine Meadows with the following conditions (if any):





## Item 6: Site Plan — Osmond Senior Living

**Presenting Staff:** *Hugh Van Wagenen*

**Applicant:** *Jared Osmond*

**Location:** *175 North State*

**Zone:** *General Commercial (CG) with Senior Housing Facility Overlay (SHFO)*

**Acreage:** *1.48 acres*

### Summary

This is a request by Jared Osmond for approval of a 90 bed assisted living facility located in the General Commercial (CG)/Senior Housing Facility Overlay (SHFO) zone. This site will consist of remodeling the former “Somewhere Inn Time” building and an expansion consisting of two additional wings. The Planning Commission may add conditions to the site approval as is necessary for the health, welfare, and safety of the public.

Recommendations will be made to the City Council at the next available meeting.

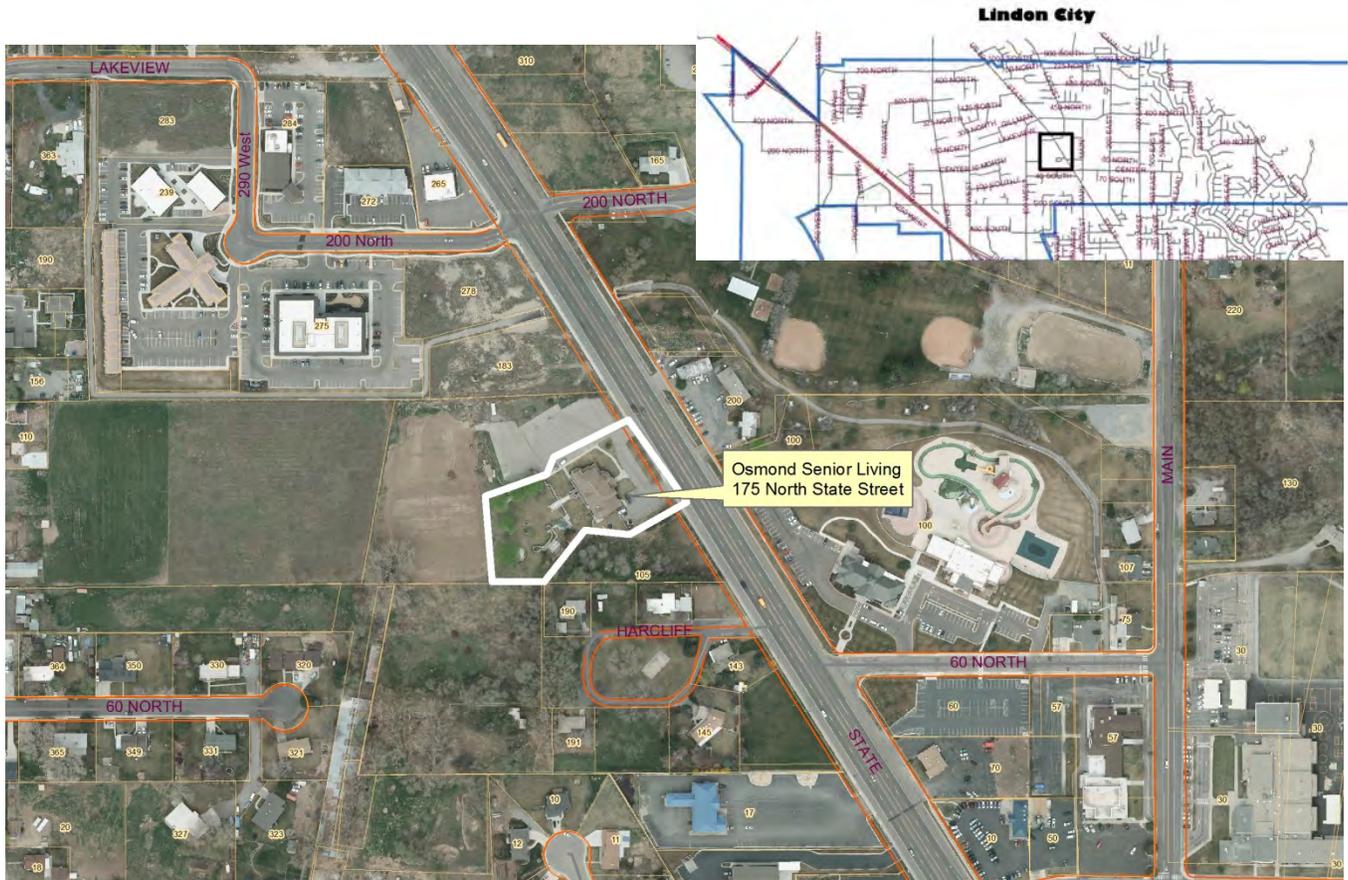
### Requirements

Large care facilities are *conditionally* permitted in the General Commercial zone and have to meet the following site requirements:

1. Facility Separation Requirement. Large facilities shall not be within one-thousand five-hundred (1500) feet of any other approved small or large care facility, group home for the elderly, group home for persons with a disability, juvenile group home, or transitional/treatment group home as defined by the Lindon City Code. **Requirement met; see attached map.**
2. Lot Size Requirement. Lot size shall be according to the zone where proposed. **Requirement met.**
3. Project Site and Design Requirements. Large facilities shall be subject to the architectural, site plan, height and setback requirements of the commercial zone were proposed. **Setbacks met; height verified at time of building permit approval.**
4. Landscaping. A minimum of thirty (30) percent of the lot shall be maintained in permanent landscaped open space. **Requirement met; 48% in landscaping.**
5. Parking. Off-street parking shall be provided to accommodate staff and one (1) visitor per three (3) residents. If at such time parking is deemed insufficient by the Lindon City Planning Commission and/or City Council, facility operators may be required to increase the number of parking stalls on their site or reduce the number of residents in their facility. **Requirement met; 39 stalls provided, 30 for visitors and 9 for staff.**
6. Facility Size. Large facilities shall provide a minimum of four-hundred (400) square feet of floor area per resident. **Requirement met; over 40,000 total square feet provided or 444 per resident.**

7. Architectural Design. The architectural design of care centers shall comply with architectural design guidelines as established in the respective commercial zone where the facility is proposed. See elevations.

**Motion:** I move to (approve, deny, continue) the request for a 90 bed assisted living facility to be known as Osmond Senior living located at 175 North State Street with the following conditions (if any):



Map displaying distance to existing facilities/homes.



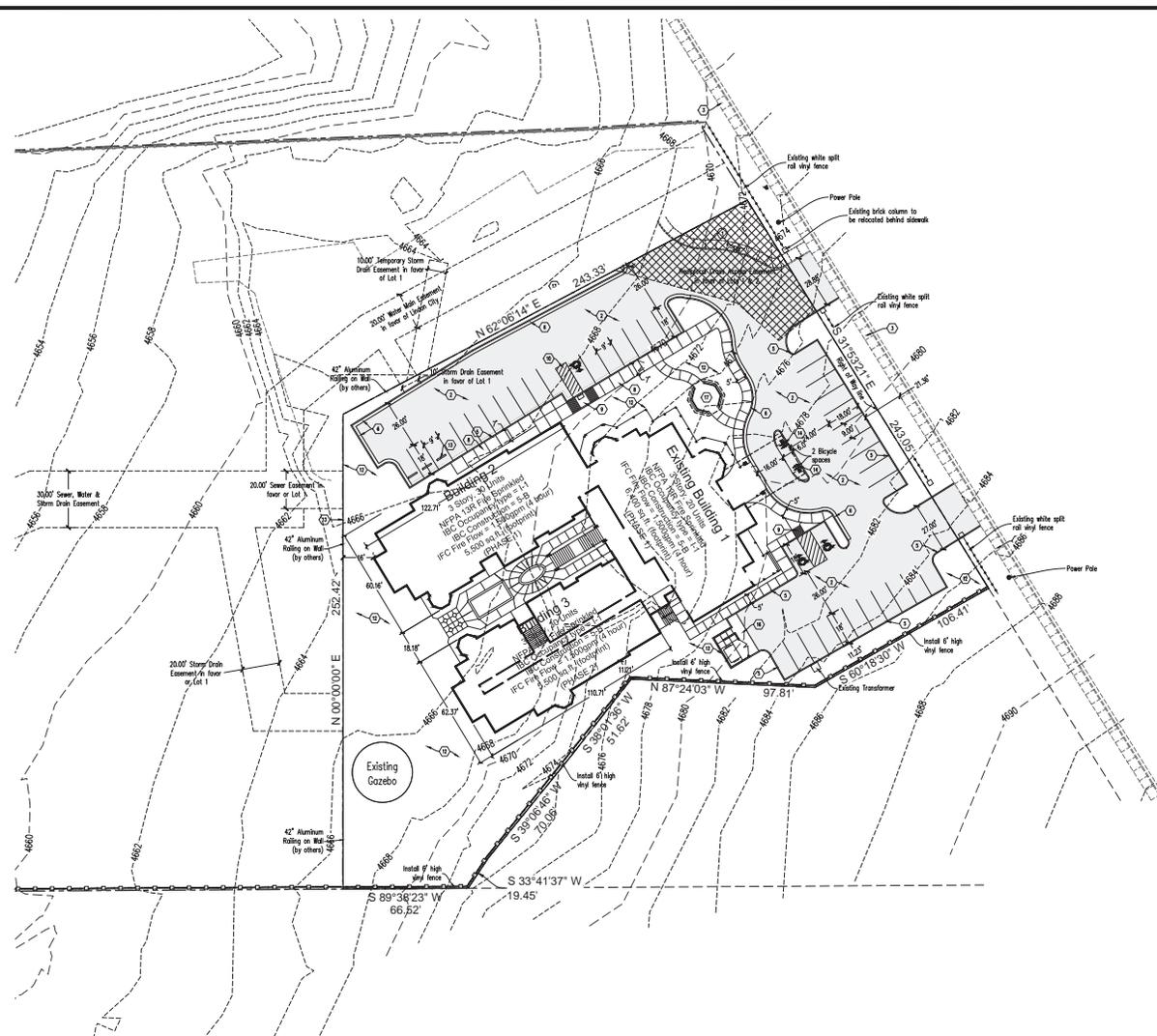


NORTH  
1" = 30'

KEYED NOTES

- ① New sidewalk (by others)
- ② Existing asphalt paving to remain
- ③ Existing sidewalk to remain
- ④ Existing edge of asphalt
- ⑤ Const. 6" high back curb wall.
- ⑥ Const. 24" curb and gutter.
- ⑦ Const. 5' concrete sidewalk.
- ⑧ Const. thicken face sidewalk.
- ⑨ Const. ADA ramp with necessary signage.
- ⑩ Const. ADA stalls and aisle (2% max. grade).
- ⑪ Const. Asphalt paving (see paving section).
- ⑫ Landscaped Area (refer to landscaping plan for details).
- ⑬ Install wheel stops (if requested by owner)
- ⑭ Bicycle parking rack.
- ⑮ Masonry enclosed, solid waste dumpster's with slight overlying gates. Materials to be consistent with building materials.
- ⑯ Concrete Paving (see paving detail)
- ⑰ Construct Gazebos (refer to Architectural drawings).
- ⑱ Parking Lot area light.

Asphalt Paving Area



CAUTION!! Notice to contractors

The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

Notes:

1. Telecommunication conduit shall be installed to serve this site. Run the conduit to the site from an existing service box at a nearby site as shown in the UTOPA design. Run the conduit within the public right-of-way or secure easements to run it on private property. Lay the conduit at a minimum depth of cover of 24".
2. Install one orange 3/4" diameter SR-11 HDPE conduit meeting ASTM 3035, or in different quantities and sizes as shown in the UTOPA design. A twelve (12) gauge solid THHN tracer wire shall be installed inside all conduits according to NEC-5 standards. Telecommunications conduit shall include a 3" caution tape installed in the piped line trench approximately 12" below the ground surface, with the words "CAUTION: FIBER OPTIC CABLE" printed on it.
3. The applicant is responsible for compliance with all requirements of the "American with Disabilities Act" (ADA).
4. All landscaped areas shall have an automatic, underground sprinkling system with a backflow prevention device and a backflow prevention device to the building, unless landscaping is served by the secondary water system.
5. Water Meters are to be located behind back of walk or back of curb in an area that is accessible, not located behind fenced areas or under covered parking.
6. Linden Standard Specifications and Drawings apply to construction of public improvements that will be owned or maintained by Linden City and take precedence over other standards.

Notes:

1. The applicant is responsible for compliance with all requirements of the "Americans with Disabilities Act" (ADA).
2. All landscaped areas shall have an automatic, underground sprinkling system with a backflow prevention device and a backflow prevention device to the building, unless landscaping is served by the secondary water system.
3. Water Meters are to be located behind back of walk or back of curb in an area that is accessible, not located behind fenced areas or under covered parking.
4. Linden Standard Specifications and Drawings apply to construction of public improvements that will be owned or maintained by Linden City and take precedence over other standards.

Project Benchmark is the South quarter corner of Section 33, Township 5 South, Range 2 East, with an elevation of 4546.42'

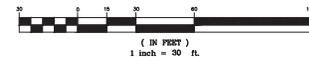
	Square Footage	Acres	Percent of total
Total Area	72,324	1.66	100
Total Building / Pad Area	17,400	0.40	24
Total Hard Surface Area	20,632	0.47	29
Total Impervious Area	38,032	0.87	52
Total Landscaped Area	34,292	0.79	48

Tabulation Table

Site Data:

Zone = Senior Housing Overlay Zone  
 Total Area = 72,324 sq. ft. 1.66 acres  
 Total number of beds = 90  
 Parking Requirements = 1 space/3 beds  
 Spaces Required = 30  
 Spaces provided = 39 (3ADA, 2 VAN accessible)

GRAPHIC SCALE



**Know what's below. Call 811 before you dig.**

**811**

BLUE STAKES OF UTAH  
 UTILITY NOTIFICATION CENTER, INC.  
 www.bluestakes.org  
 1-800-642-4111



DUDLEY AND ASSOCIATES  
 ENGINEERS PLANNERS SURVEYORS  
 363 EAST 1200 SOUTH, OREM, UTAH  
 801-224-1252

Osmond Assisted Living Center

Site Plan

Revisions

Date	9-12-2013
Scale	1"=30'
By	
TD	
Tracing No.	
L.	

Sheet No.  
**C - 3**



NORTH  
1" = 20'

PLANT SO THAT TOP OF ROOT BALL IS EVEN WITH THE FINISHED GRADE  
PAINT ALL CUTS OVER 1" DIA.

2 STRAND TRISTED 12 GAUGE GAL. WIRE ENCASED IN 1" DIA. RUBBER HOSE

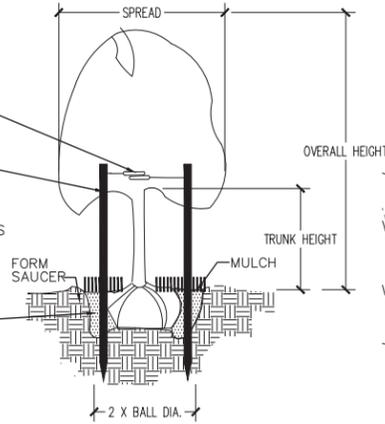
(2) GREEN STEEL "1" POST DRIVEN (MIN. 18") FIRMLY INTO SUBGRADE PRIOR TO BACKFILLING

STAKE ABOVE FIRST BRANCHES OR AS NECESSARY FOR FIRM SUPPORT

REMOVE BURLAP OR PULL BACK AWAY FROM TOP OF BALL ROOT

SPECIFIED PLANTING MIX WATER & TAMP TO REMOVE AIR POCKETS

NOTE:  
STAKING AS REQUIRED



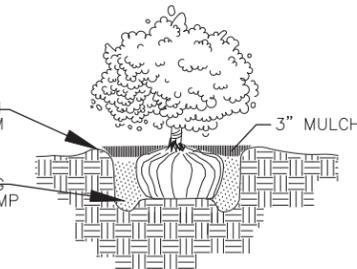
**TREE PLANTING - VERTICAL STAKES**

SCALE: NOT TO SCALE

Landscaping along Westerly Boundary line to remain undisturbed until adjacent property develops, at which time the retaining wall and landscaping will be completed.

FORM SAUCER WITH 3" CONTINUOUS RIM

SPECIFIED PLANTING MIX WATER & TAMP TO REMOVE AIR POCKETS



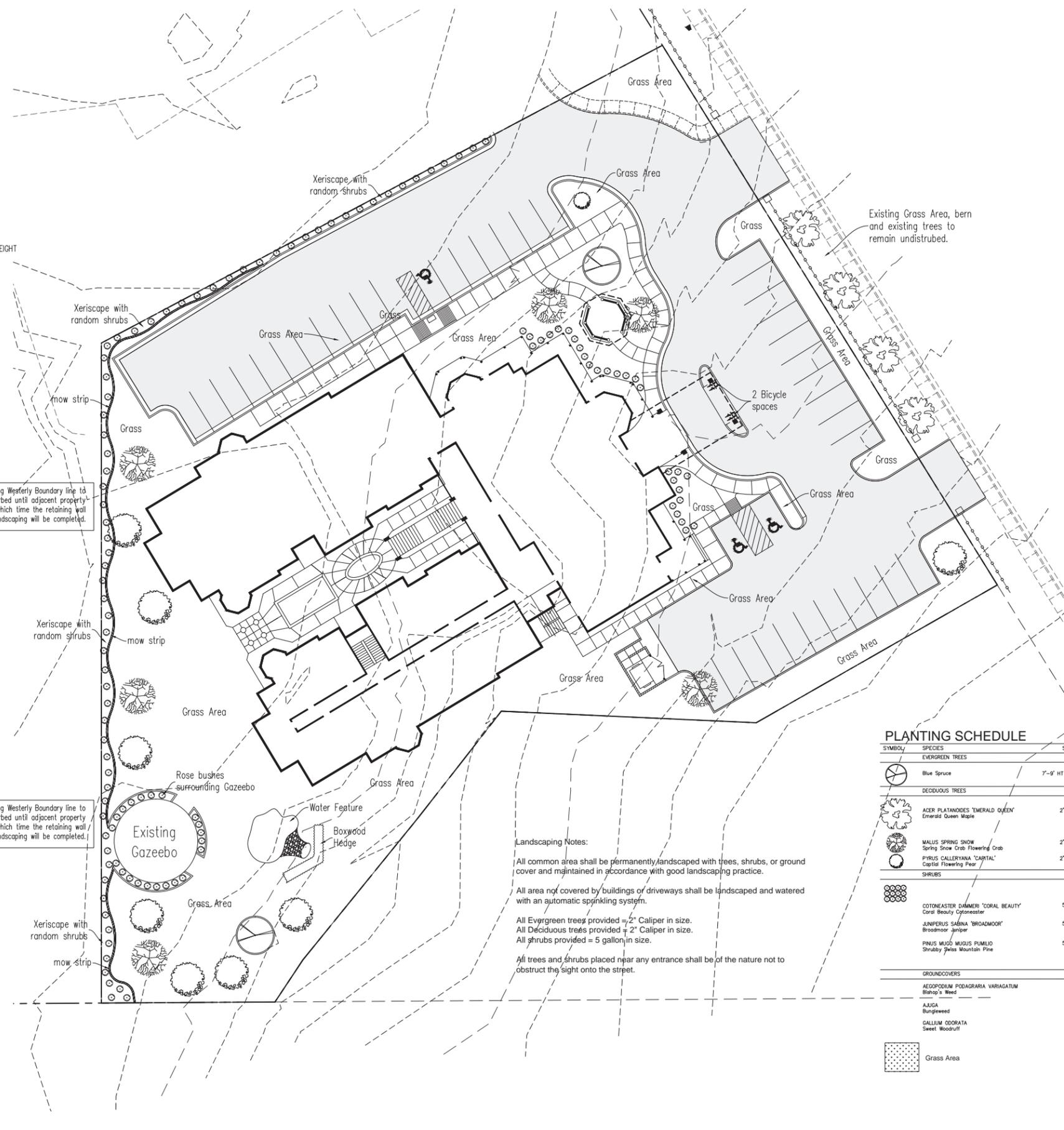
**SHRUB PLANTING**

SCALE: NOT TO SCALE

Landscaping along Westerly Boundary line to remain undisturbed until adjacent property develops, at which time the retaining wall and landscaping will be completed.

	Square Footage	Acreage	Percent of total
Total Area	72,324	1.66	100
Total Building / Pad Area	17,400	0.40	24
Total Hard Surface Area	20,632	0.47	29
Total Impervious Area	38,032	0.87	52
Total Landscaped Area	34,292	0.79	48

Tabulation Table



**Landscaping Notes:**  
All common area shall be permanently landscaped with trees, shrubs, or ground cover and maintained in accordance with good landscaping practice.  
All area not covered by buildings or driveways shall be landscaped and watered with an automatic sprinkling system.  
All Evergreen trees provided = 2" Caliper in size.  
All Deciduous trees provided = 2" Caliper in size.  
All shrubs provided = 5 gallon in size.  
All trees and shrubs placed near any entrance shall be of the nature not to obstruct the sight onto the street.

**PLANTING SCHEDULE**

SYMBOL	SPECIES	SIZE	CONDITION	SPACING
<b>EVERGREEN TREES</b>				
	Blue Spruce	7'-9" HT (EQUAL MIX)	B & B	
<b>DECIDUOUS TREES</b>				
	ACER PLATANOIDES 'EMERALD QUEEN' Emerald Queen Maple	2" CAL.	B & B	
	MALUS SPRING SNOW Spring Snow Crab Flowering Crab	2" CAL.	B & B	
	PYRUS CALLERYANA 'CAPITAL' Capital Flowering Pear	2" CAL.	B & B	
<b>SHRUBS</b>				
	COTONEASTER DAMMERI 'CORAL BEAUTY' Coral Beauty Cotoneaster	5 Gal.	Cont.	
	JUNIPERUS SABINA 'BROADMOOR' Broadmoor Juniper	5 Gal.	Cont.	
	PINUS MUGO MUGUS PUMILO Shrubby Mugo Mountain Pine	5 Gal.	Cont.	
<b>GROUNDCOVERS</b>				
	AEGOPODIUM PODAGRARIA VARIAGATUM Stirps's Weed	1 Gal.	Cont.	24" O.C.
	ALYSSA Bungelweed	1 Gal.	Cont.	24" O.C.
	CALLIUM ODORATA Sweet Woodruff	1 Gal.	Cont.	24" O.C.
	Grass Area			

**DUDLEY AND ASSOCIATES**  
ENGINEERS PLANNERS SURVEYORS  
353 EAST 1200 SOUTH, OREM, UTAH  
801-224-1252

Osmond Assisted Living Center  
**Landscape Plan**  
Utah  
City

Revisions


Date  
9-12-2013  
Scale  
1"=20'  
By  
TD  
Tracing No.  
L -

Sheet No.  
**C - 6**







01 EAST ELEVATION  
A201 SCALE: 1/8"=1'-0"



02 NORTH ELEVATION OF NORTH WING  
A201 SCALE: 1/8"=1'-0"



03 WEST ELEVATION  
A201 SCALE: 1/8"=1'-0"

PRINTED DATE  
11.08.2013

Chris Layton & Associates  
ARCHITECTURE | PLANNING | INTERIORS  
2005 East 2700 South | Suite 200 | Salt Lake City, Utah 84109  
P: 801.487.0715 | F: 801.487.0716

LINDON ASSISTED  
CARE FACILITY  
175 North State Street  
Lindon, Utah

CHRONOLOGY

PROJECT NO  
13.038

OWN BY / CHK BY  
ZZ / CWL

TITLE  
EXTERIOR ELEVATIONS

SHEET  
A201  
23 OF 24

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01 SOUTH ELEVATION OF NORTH WING  
SCALE: 1/8"=1'-0"



02 NORTH ELEVATION OF STAIR TOWER  
SCALE: 1/8"=1'-0"



03 EAST ELEVATION OF STAIR TOWER  
SCALE: 1/8"=1'-0"



04 SOUTH ELEVATION OF STAIR TOWER  
SCALE: 1/8"=1'-0"



05 NORTH ELEVATION OF SOUTH WING  
SCALE: 1/8"=1'-0"

PRINTED DATE  
11.08.2013

Chris Layton & Associates  
ARCHITECTURE | PLANNING | INTERIORS  
2005 East 2700 South | Suite 200 | Salt Lake City, Utah 84109  
P: 801.487.0715 | F: 801.487.0716



LINDON ASSISTED  
CARE FACILITY  
175 North State Street  
Lindon, Utah

CHRONOLOGY

PROJECT NO  
13.038

OWN BY / CHK BY  
ZZ / CWL

TITLE  
EXTERIOR ELEVATIONS

SHEET  
A202  
24 OF 24

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01 SOUTH ELEVATION OF SOUTH WING  
 A203 SCALE: 1/8"=1'-0"

PRINTED DATE

11.08.2013

Chris Layton & Associates  
 ARCHITECTURE | PLANNING | INTERIORS



2005 East 2700 South | Suite 200 | Salt Lake City, Utah 84109  
 P: 801.487.0715 | F: 801.487.0716

LINDON ASSISTED

CARE FACILITY

175 North State Street  
 Lindon, Utah

ORIGINATOR

PROJECT NO.

13.038

DRAWN BY / CHK BY

ZZ / CWL

TITLE

EXTERIOR  
 ELEVATIONS

SHEET

A203

25-111213

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## **Item 7: Public Hearing — Ordinance Amendment LCC 17.48 Commercial Zones and LCC Standard Land Use Table**

**Presenting Staff:** *Hugh Van Wagenen*

**Applicant:** *Creig Fryer*

**Zone:** *New CG-S zone being considered*

### **Summary**

This is a request by Creig Fryer to amend LCC 17.48 to create the General Commercial—Storage (CG-S) zone and reflect said zone in the SLU table. Permitted uses in the CG-S would include mini-storage units as well as existing permitted and conditional uses in the General Commercial (CG) zone.

Recommendations will be made to the City Council at the next available meeting.

### **Changes**

Please refer to the changes as outlined in the pages below.

### **Benefits**

There are several properties located in the CG zone that do not have frontage along major traffic corridors. Properties without frontage do not have the same appeal as lots with frontage for traditional commercial uses. Creating the CG-S zone allows one additional use of mini-storage units to optimize the use of properties not along major corridors. A new zone also allows for the regulated development of mini-storage developments, as any request for a zone change comes before the Planning Commission and City Council.

**Motion:** I move to (approve, deny, continue) the ordinance amendment to LCC 17.48 specifically modifying, amending, and revising 17.48.010, 17.48.020, 17.48.030, 17.48.040, 17.48.080 and Table 17.48.020 and the Standard Land Use Table as presented with the new CG-S column with the following conditions (if any):

**ORDINANCE NO. 2013- \_\_\_\_**

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING CHAPTER 17.48 OF THE LINDON CITY CODE TITLED COMMERCIAL ZONES, SPECIFICALLY MODIFYING, AMENDING, AND REVISING 17.48.010, 17.48.020, 17.48.030, 17.48.040, 17.48.080 AND TABLE 17.48.020 AND AMENDING THE STANDARD LAND USE TABLE OF THE LINDON CITY CODE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS, the Municipal Council of Lindon City finds it is necessary to amend the ordinance regulations found in Lindon City Code 17.48.010, 17.48.020, 17.48.030, 17.48.040, 17.48.080 and table 17.48.020 and the Standard Land Use Table, creating the General Commercial-Storage (CG-S) zone, and defining permitted and conditional uses, within the community and amending provisions found within the code, finding that approval of such would benefit the city; and

WHEREAS, the City finds it is necessary to create a commercial zone that allows for an additional use of mini-storage units that are more appropriate for specific locations of the community; and

WHEREAS, the Planning Commission recommended adoption of revised provisions, and the revision of such provisions will assist in carrying out general plan goals related to the promotion of businesses and industry within the City, and said changes are compatible with land use guidelines as found in the General Plan; and

WHEREAS, the current ordinance should be amended to provide such provisions and be added to the Municipal Code of Lindon City.

NOW, THEREFORE, BE IT ORDAINED by the City Council of Lindon City, Utah County, State of Utah, Chapter 17.48.010, 17.48.020, 17.48.030, 17.48.040, 17.48.080 and Table 17.48.020 and the Standard Land Use Table of the Lindon City Code are hereby amended and will read as follows:

**SECTION I:**

Section 17.48.010 General provisions.

The Commercial Ordinance is established to promote commercial and service uses for general community shopping. The objective in establishing commercial zones is to provide areas within the City where commercial and service uses may be located. These zones include the General Commercial zones (CG, CG-A, CG-A8, CG-S) and the Planned Commercial (PC-1 and PC-2) zones.

For a full list of permitted uses in these zones, refer to the Standard Land Use Table in appendix A. (Ord. 98-6, Repealed and Replaced, 10/03/2000, Ord 2006-10 adopted 10/4/06)

Section 17.48.020 Zone development standards.

The following development standards apply, except as otherwise approved by the Planning Commission for site designs in the various CG zones that are consistent with the Lindon City Commercial Design Guidelines. (See Table 17.48.020)

(Ord. 2008-6, adopted 04/15/2008, Ord. 99-6, Amended, 10/04/2000; Ord. 98-6, Repealed and Replaced, 10/03/2000 Ord 2006-10 adopted 10/4/06)

Section 17.48.030 Landscaping within the general commercial zones (CG, CG-A, CG-A8, CG-S).

1. Landscaping objectives. Landscaping plans shall be prepared with a view toward accomplishing the following design objectives (plans will be approved or denied based on how well these objectives are satisfied).
  - a. Enhance the visual environment by:
    - i. Adding visual interest through texture, color, size, shape, etc., and
    - ii. Enhancing perspective by framing view complimenting architecture screening and creating points of interest and activity.
  - b. Ensure public safety by:
    - i. Guiding the circulation of cars and people,
    - ii. Controlling access to parking lots,
    - iii. Making traffic diverters prominent, and
    - iv. Creating street identification by varying the species, height, and location of landscaping.
  - c. Minimize noise and glare.
  - d. Conserve energy.
  - e. Complement architecture by landscaping around buildings.
  - f. Screen areas of low visual interest.
2. Overall landscaping plan. With the application for site plan approval, an overall landscaping plan shall be submitted. Landscaping plans shall show details on specific types and locations of trees and shall also identify areas to be sod or other types of vegetation or ground cover. Additional 'interior parking lot landscaping' may be required per LCC 17.18.
3. Open space. A minimum of twenty percent (20%) of each lot shall be maintained in permanent landscaped open space.
4. Landscaping Strip. Unless otherwise approved by the Planning Commission, a landscaped berm at least three (3) feet high and twenty (20) feet width shall be planted with grass and maintained in a living, growing condition along all public street frontages.
  - a. The measurement of the twenty (20) feet in landscaping will be measured from the back of walk, or back curb if no sidewalk exists. Areas with meandering sidewalks will have the twenty (20) feet measured from back of curb but may not count sidewalk width as part of the twenty (20) feet in landscaping requirement.
  - b. Thirty percent (30%) of the landscaping strip may consist of decorative rock, bark, mulch, and/or other ground covers other than grass. A planting/landscaping plan detailing types of ground covers, weed barriers, sprinklers, etc., in the non-grass areas shall be submitted and approved by the Planning Director.
  - c. Trees shall be planted thirty (30) feet on center, centered ten feet from the edges of the strip in all required landscaped and bermed areas.
  - d. Landscaping requirements concerning berming, trees, and landscape materials can be changed and/or altered (with regard to location and design) upon approval of the Planning Commission at the site plan review stage of an application. No net loss of landscaping should occur with any approved alterations. Other landscaping layouts consistent with the Lindon Commercial Design Guidelines may also be considered by the Planning Commission.
5. Trees. Recommended trees may be found in the list of tree species located in the Lindon City Tree Planting Guide and, unless otherwise specified, shall be at least two (2) inch caliper, measured one (1) foot above the ground and shall be at least six (6) feet in height when planted.
6. Sprinkling and irrigation. All plantings shall be serviced by an acceptable underground automatic irrigation or sprinkler system, and maintained in a healthful living condition. Dead plant materials shall be replaced as necessary within the first year of planting.
7. Concrete curbing shall be provided between landscaped areas and off-street parking areas that is at least six inches (6") higher than the parking areas. (Ord 2008-10, amended 09/02/2008, Ord. 99-6, Amended, 10/04/2000; Ord. 98-6, Repealed and Replaced, 10/03/2000, Ord 2006-10, adopted 10/4/2006)

Section 17.48.040 Fencing and screening.

1. A masonry or concrete fence seven feet (7') high, shall be constructed and maintained along any property line between a commercial development and a residential use or a residential zone. The fence shall be constructed and maintained by the owner of the commercial development. In all commercial zones the Planning Commission may approve a landscaping screen in lieu of a fence, a fence other than a masonry fence or approve a fence height

greater than seven feet (7') if it makes the following findings:

- a. The proposed fence/landscape screen provides an adequate buffer for the adjoining residential use.
- b. The appearance of the fence/landscape screen will not detract from the residential use and/or commercial use of the property.
- c. The proposed fence/landscape screen will shield the residential use from noise, storage, traffic or any other characteristic of the commercial use that is incompatible with residential uses. The Planning Commission may waive or adjust this fence/screening requirement upon findings that the fence is not needed to protect adjacent residential uses from adverse impacts and that such impacts can be mitigated in another appropriate manner.

2. All required landscaping that abuts frontage on a dedicated street in the CG, CG-A, CG-A8, CG-S, PC-1 and PC-2 zones shall contain a continuous white vinyl ranch style two (2) rail fence. The fence shall be three (3) feet tall with post dimensions of five (5) inches by five (5) inches with rail dimensions of two (2) inches by six (6) inches. The posts shall be installed eight (8) feet on center with two (2) rails between posts. The fence shall be placed adjacent to State Street and any other dedicated streets in the CG, CG-A, CG-A8, CG-S, zone and PC-1 and PC-2 zones in a continuous fashion. Placement of the fence shall typically be two (2) feet behind the sidewalk within the required landscaping strip. Any variation to the location of this fence requirement, 17.48.040 (2), may be granted by the Planning Commission.

(Ord. 2000-3, Amended, 10/04/2000; Ord. 99-6, Amended, 10/04/2000; Ord. 98-6, Repealed and Replaced, 10/03/2000 Ord 2006-10, adopted 10/4/2006)

Section 17.48.080 Architectural design.

1. Architectural character, streetscape, site design and other amenities in the CG, CG-A, ~~CG-A8~~, or CG-S zones shall be consistent with the Lindon City Commercial Design Guidelines as presently constituted and as may be amended from time to time.

2. All sides of the buildings shall receive design consideration consistent with the Commercial Design Guidelines, particularly where exposed to vehicular traffic or adjoining properties.

(Ord. 98-6, Repealed and Replaced, 10/03/2000; Ord. 97-7, Amended, 08/17/2000, Ord 2006-10, adopted 10/4/2006).

Table 17.48.020

	CG	CG-A	CG-A8	<u>CG-S</u>	PC-1, PC-2
Minimum lot size	20,000 sq/ft	20,000 sq/ft	20,000 sq/ft	<u>20,000 sq/ft</u>	1 acre
Front setback	20'	20'	20'	<u>20'</u>	30'
Side or rear yard setback when adjacent to a non-residential zone.	0'	0'	0'	<u>0'</u>	0'
Side or rear yard setback when adjacent to a residential use or a residential zone.	40'	40'	40'	<u>40'</u>	50'
Street-side yard setback (corner lot)	20'	20'	20'	<u>20'</u>	30'
Minimum structure height	10'	10'	10'	<u>10'</u>	14'
Maximum structure height	48'	48'	80'	<u>48'</u>	48'

STANDARD LAND USE TABLE BY ZONE

Parking Group	Permitted Primary Uses	Residential			Mixed Rec.		Commercial						Industrial		R&B
		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI		
<b>MISCELLANEOUS</b>															
N/A	Solicitors	See LCC 5.40 - Solicitors Ordinance													
N/A	Itinerant Merchants	N	N	N	See LCC 17.17.140 - Temporary Site Plans										
7100	Fireworks Stands	See 8.28 - Fireworks Ordinance													
7100	Christmas Tree Sales	N	N	N	See LCC 17.17.140 - Temporary Site Plans										
7100	Mechanical Amusement	N	N	N	C	C	C	C	C	C	C	C	C	N	
N/A	Individual Containers for Recyclable Materials - commercial storage	N	N	N	N	N	C	C	C	C	C	C	C	N	
<b>RESIDENTIAL</b>															
N/A	Single Family	P	N	N	N	N	N	N	N	N	N	N	N	N	
1111	Accessory Apartments	See 17.46 R2 Overlay	N	N	N	N	N	N	N	N	N	N	N	N	
1111	Condominium		N	N	N	N	N	N	N	N	N	N	N	N	
1111	Apartments		N	N	N	N	N	N	N	N	N	N	N	N	
1200	Rooming & Boarding Houses	N	N	N	N	N	N	N	N	N	N	N	N	N	
1233	Fraternity & Sorority Houses	N	N	N	N	N	N	N	N	N	N	N	N	N	
1500	Membership Lodging	N	N	N	N	N	C	C	C	C	N	N	N	N	
1233	Student Housing	See 17.46 - R2 Overlay													
1241	Youth Rehabilitation	See 17.70 - Group Homes and 17.72 - Care Facilities Overlay													
1241	Assisted Living Facilities - small	See 17.70 - Group Homes and 17.72 - Care Facilities Overlay													
1241	Assisted Living Facilities - large	See 17.70 - Group Homes and 17.72 - Care Facilities Overlay													
1200	Transitional Treatment Home - sm.	See 17.70 - Group Homes and 17.72 - Care Facilities Overlay													
1200	Transitional Treatment Home - lg.	See 17.70 - Group Homes and 17.72 - Care Facilities Overlay													
1400	Subdivided Manufactured Mobile Homes Parks	N	N	N	N	N	N	N	N	N	N	N	N	N	
1300	Hotels, Tourist Courts, Bed & Breakfast and Motels	N	N	N	P	P	P	P	P	P	P	N	N	P	
1300	Residential Bed & Breakfast Facility - 3 rooms or less	C	N	N	N	N	N	N	N	N	N	N	N	N	
N/A	Caretaker Facilities - accessory to main uses only	N	N	N	C	C	C	C	C	C	C	C	C	C	
<b>MANUFACTURING</b>															
<b>NOTE: Any listed "indoor only" manufacturing business proposing "outdoor storage" in the HI or LI zones is required to obtain a Conditional Use Permit.</b>															
2000	Slaughterhouse	N	N	N	N	N	N	N	N	N	N	N	N	N	
2000	Meat & Dairy	N	N	N	N	N	N	N	N	N	N	P	C	N	
2000	General Food Mfg.- under 20,000 sq/ft.	N	N	N	N	N	N	N	N	N	C	P	P	N	
2000	General Food Mfg.- over 20,000 sq/ft.	N	N	N	N	N	N	N	N	N	N	C	C	N	
2000	Candy & Other Confectionary Products	N	N	N	N	N	C	C	C	C	C	P	P	N	
2000	Preparing Feeds for Animals & Fowl	N	N	N	N	N	N	N	N	N	N	P	C	N	
2000	Brewery (Liquors & Spirits) max. 1,000 sq. ft. and must be in conjunction with a restaurant	N	N	N	N	N	N	N	N	N	C	P	C	N	
2000	Ice Manufacturing	N	N	N	N	N	N	N	N	N	P	P	P	N	
2000	Textile Mill Products	N	N	N	N	N	N	N	N	N	N	P	N	N	
2000	All General Apparel	N	N	N	N	N	N	N	N	N	P	P	P	N	
2000	Lumber & Wood Products	N	N	N	N	N	N	N	N	N	N	P	C	N	
2000	Cabinets and Similar furniture & Fixtures - indoor storage and production only	N	N	N	N	N	N	N	N	N	C	P	P	N	
2000	Pulp Products	N	N	N	N	N	N	N	N	N	N	N	N	N	

STANDARD LAND USE TABLE BY ZONE

Parking Group	Permitted Primary Uses	Residential	Mixed Rec.		Commercial							Industrial		R&B	
		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI		
2000	Publishing, Printing, & Misc. Related Work	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
2000	Industrial Chemical	N	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N
2000	Explosives	N	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N
2000	Petroleum & Coal Products	N	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N
2000	Other Gas Productions	N	N	N	N	N	N	N	N	N	<u>N</u>	N	C	N	N
2000	Candle and wax products manufacturing	N	N	N	N	N	N	N	N	N	<u>N</u>	C	P	P	N
2000	Rubber and Misc. Plastics	N	N	N	N	N	N	N	N	N	<u>N</u>	N	C	N	N
2000	Stone, Clay, Glass, & Associated Products - indoor storage & production only	N	N	N	N	N	N	N	N	N	<u>N</u>	C	P	P	N
2000	Asphalt & Concrete Batch Plants or Road Product Manufacturing - concrete crushing, road base, etc.	N	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N
2000	Recycling businesses (indoor processing only. Outdoor product storage areas require site obscuring fencing. Applications must meet SLU compatibility standards.)	N	N	N	N	N	N	N	N	N	<u>N</u>	N	C	C	N
2000	Fabricated Metal Products	N	N	N	N	N	N	N	N	N	<u>N</u>	N	P	C	N
2000	Fabricated Metal products, indoor storage & production only.	N	N	N	N	N	N	N	N	N	<u>N</u>	C	P	P	N
2000	Professional, Scientific, Photographic, Optical instruments & Associated Equipment	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
2000	Tobacco Products	N	N	N	N	N	N	N	N	N	<u>N</u>	N	P	C	N
2000	Motion Picture production (permanent studios)	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
2000	Signs & Advertising	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
<b>TRANSPORTATION, COMMUNICATIONS, &amp; UTILITIES</b>															
4000	Railroad Lines Extension & Associated Uses	N	N	N	N	N	N	N	N	N	<u>N</u>	C	C	C	N
4000	Bus Passenger Terminals	N	N	N	N	N	C	C	C	C	<u>C</u>	P	P	P	N
4000	Bus Garaging & Equipment Maintenance	N	N	N	N	N	N	N	N	N	<u>N</u>	N	P	P	N
4000	Motor Freight Terminals	N	N	N	N	N	N	N	N	N	<u>N</u>	N	P	C	N
4000	Motor Freight Garaging & Equipment Maintenance	N	N	N	N	N	N	N	N	N	<u>N</u>	N	P	C	N
4000	Taxicab Terminal/Garage	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
4000	Auto Parking Facilities - private	N	N	N	P	P	P	P	P	P	<u>P</u>	P	P	P	P
4000	Telephone Utility Lines - above ground	N	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N
4000	Telephone Utility Lines - underground	P	P	P	P	P	P	P	P	P	<u>P</u>	P	P	P	P
4000	Cellular Communication Towers	See Section 5.07													
4000	Television Broadcasting Studios - only	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
4000	Television Transmitting Stations & Relay Tower (height of tower may not exceed maximum height of zone)	N	C	N	N	N	N	N	N	N	<u>N</u>	C	C	C	N
4000	Radio & Television Broadcasting Studios (height of any antenna or tower may not exceed maximum height of zone)	N	N	N	N	N	N	N	N	N	<u>N</u>	C	C	C	N
4000	Electric Utility Lines - above ground 35 kV or greater	C	C	C	C	C	C	C	C	C	<u>C</u>	C	C	C	C

STANDARD LAND USE TABLE BY ZONE

Parking Group	Permitted Primary Uses	Residential	Mixed Rec.		Commercial							Industrial		R&B	
		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI		
4000	Electric Utility Lines - underground	P	P	P	P	P	P	P	P	P	P	P	P	P	
4000	Electric Utility Lines - above ground and less than 35 kV	N	N	N	N	N	N	N	N	N	N	N	N	N	
4000	Electricity Regulating Substations	N	N	N	N	N	N	N	N	N	C	C	C	N	
4000	Gas Utilities - underground	P	P	P	P	P	P	P	P	P	P	P	P	P	
4000	Natural or Manufactured Gasoline Storage & Distribution Points	N	N	N	N	N	N	N	N	N	N	C	N	N	
4000	Gas Pressure Control Stations	N	N	N	N	N	N	N	N	N	N	C	C	N	
4000	Culinary Water Treatment Plants - Purification	N	N	N	N	N	N	N	N	N	N	P	P	N	
4000	Water Storage	P	P	P	P	P	P	P	P	P	P	P	P	P	
4000	Water Pressure Control Stations	P	P	P	P	P	P	P	P	P	P	P	P	P	
4000	Sewage Treatment Plants	N	C	N	N	N	N	N	N	N	N	N	N	N	
4000	Sewage Pressure Control Stations	P	P	N	P	P	P	P	P	P	P	P	P	P	
4000	Solid Waste Disposal & Incineration	N	N	N	N	N	N	N	N	N	N	N	N	N	
4000	Freight Forwarding Services	N	N	N	N	N	N	N	N	N	P	P	P	N	
4000	Packing & Crating Services	N	N	N	N	N	C	C	C	C	C	P	P	N	
4000	Waste Transfer Stations	N	N	N	N	N	N	N	N	N	N	N	N	N	
<b>WHOLESALE TRADE (Sell for Resale)</b>															
<b>Note: Any permitted (P) wholesale business proposing "outdoor storage" in the HI and LI zones is required to obtain a Conditional Use Permit</b>															
5100	Automobiles, Motor Vehicle, & Other	N	N	N	N	N	N	N	N	N	N	C	C	C	N
5100	Tires & Tubes - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Drugs, Chemicals & Allied Products - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Paints & Varnishes - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Apparel & Accessories - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Groceries & Food Stuffs - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Agricultural Commodities (outdoor storage is permitted)	N	N	N	N	N	N	N	N	N	N	C	C	C	N
5100	Supplies, & Construction Materials - indoor	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Hardware - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Plumbing & Heating Equipment & Supplies - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Air Conditioning, Refrigeration Equipment & Supplies - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Equipment & supplies (outdoor storage is permitted)	N	N	N	N	N	N	N	N	N	N	C	C	C	N
5100	Professional Equipment & Supplies - indoor storage only	N	N	N	N	N	N	N	N	N	N	P	P	P	N
5100	Transportation equipment, Other Machinery Equipment, & Supplies (Outdoor storage of vehicles & trailers is permitted)	N	N	N	N	N	N	N	N	N	N	C	C	C	N
5100	Concrete, Asphalt - excludes liquid petroleum	N	N	N	N	N	N	N	N	N	N	C	N	N	N
5100	Petroleum Bulk Stations & Terminals	N	N	N	N	N	N	N	N	N	N	C	N	N	N
5100	Scrap & Waste Materials	N	N	N	N	N	N	N	N	N	N	N	N	N	N

STANDARD LAND USE TABLE BY ZONE

Parking Group	Permitted Primary Uses	Residential			Mixed Rec.		Commercial						Industrial		R&B
		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI		
5100	Tobacco & Tobacco Products - indoor storage only	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
5100	Beer, Wine, & Distilled Alcoholic Beverages - indoor storage only	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
5100	Paper & Paper Products - indoor storage only	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
5100	Furniture & Home furnishings - indoor storage only	N	N	N	N	N	N	N	N	N	<u>N</u>	P	P	P	N
5100	Lumber & Construction Materials (outdoor storage is permitted)	N	N	N	N	N	N	N	N	N	<u>N</u>	C	C	C	N
<b>RETAIL TRADE</b>															
5200	Lumber yards - outdoor storage	N	N	N	N	N	N	N	N	N	<u>N</u>	C	C	C	N
5200	Hardware - indoor storage only	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5200	Farm Equipment	N	N	N	N	N	N	N	N	N	<u>N</u>	C	C	P	N
5300	Home Improvement Centers	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5300	Department Stores	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	N	N
5300	Mail Order Houses	N	N	N	N	N	N	N	N	N	<u>N</u>	P	N	P	N
5300	Limited Price Variety Stores	N	N	N	N	N	P	P	P	P	<u>P</u>	P	N	P	N
5300	Direct Selling Organizations - Call Centers	N	N	N	N	N	C	C	C	C	<u>C</u>	C	N	C	C
5300	Arts, Crafts & Hobbies	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5300	Musical Instruments	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5300	Flea Market - indoor storage only	N	N	N	N	N	C	C	C	C	<u>C</u>	C	N	C	N
5300	Groceries &/or Food	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5300	Farmers Market	N	P	N	N	N	C	C	C	C	<u>C</u>	C	N	C	N
5300	Candy & Other Confectionery Products	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5500	Motorcycles, Personal ATV, Personal Water Craft, & Snowmobile, Sales & Service	N	N	N	C	C	C	C	C	C	<u>C</u>	C	N	C	N
5500	Dealership only	N	N	N	C	C	P	P	P	P	<u>P</u>	C	N	P	N
5500	Used Cars/Trucks - Used Vehicle Sales Lots	N	N	N	N	C	N	P	P	P	<u>N</u>	N	C	P	N
5500	Mobile & Manufactured Homes Sales	N	N	N	N	N	N	N	N	N	<u>N</u>	C	C	P	N
5500	Tires, Batteries, & Accessories	N	N	N	C	C	P	P	P	P	<u>P</u>	P	N	P	N
5500	Gasoline Service Station with or Without Store	N	N	N	C	C	P	P	P	P	<u>P</u>	P	N	P	N
5500	Marine Craft & Accessories	N	N	N	N	N	C	C	C	C	<u>C</u>	C	N	P	N
5500	Aircraft & Accessories	N	N	N	N	N	N	N	N	N	<u>N</u>	N	N	P	N
5600	Clothing, Apparel, & Accessories	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	N	N
5700	only	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5700	Music Supplies	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5800	Restaurants	N	N	N	P	P	P	P	P	P	<u>P</u>	P	C	P	P
5800	Fast Food	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	P
5900	Pharmacy	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	P	N
5900	Antiques	N	N	N	N	N	P	P	P	P	<u>P</u>	P	N	P	N
5900	Jeweler or Gold, Silver Dealers	N	N	N	C	C	P	P	P	P	<u>P</u>	P	N	N	N
5900	except as CUP in LI zone	N	N	N	N	N	P	P	P	P	<u>P</u>	P	N	P	N
5900	Books	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	N	N
5900	Stationery	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	N	N
5900	Office Supplies	N	N	N	P	P	P	P	P	P	<u>P</u>	P	N	N	P
5900	Cigars - Cigarettes	N	N	N	N	N	N	N	N	N	<u>N</u>	P	N	P	N

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		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI		
5900	Newspapers/Magazines	N	N	N	P	P	P	P	P	P	P	N	P	N	
5900	Cameras & Photographic Supplies	N	N	N	P	P	P	P	P	P	P	N	P	N	
5900	Gifts, Novelties, & Souvenirs	N	N	N	P	P	P	P	P	P	P	N	N	N	
5900	Florists	N	N	N	P	P	P	P	P	P	P	N	N	N	
5900	Video Rentals	N	N	N	P	P	P	P	P	P	P	N	N	N	
5900	Sporting Goods	N	N	N	P	P	P	P	P	P	P	N	P	N	
5900	Bicycles	N	N	N	P	P	P	P	P	P	P	N	P	N	
5900	Toys	N	N	N	P	P	P	P	P	P	P	N	N	N	
5900	Farm & Garden Supplies	N	N	N	N	N	P	P	P	P	P	N	P	N	
5900	Hay, Grains, & Feed	N	N	N	N	N	C	C	C	C	C	N	P	N	
5900	Nursery - Plants	N	N	N	N	N	P	P	P	P	P	N	P	N	
5900	Computer Goods & Services	N	N	N	P	P	P	P	P	P	P	N	P	P	
5900	Optical Goods	N	N	N	P	P	P	P	P	P	P	N	N	N	
<b>SERVICES</b>															
6100	Professional Office Uses	N	N	N	P	P	P	P	P	P	P	P	P	P	
6100	Chartered Banks, Credit Unions and Other Similar Financial Institutions	N	N	N	P	P	P	P	P	P	P	N	N	P	
6100	Check Cashing and Other Payday Loans or Similar Credit Services	N	N	N	N	N	N	N	N	N	N	N	N	N	
6100	Security & Commodity Brokers, Dealers, & Exchanges	N	N	N	N	N	P	P	P	P	P	N	N	P	
6100	Insurance Agents, Brokers, and Related Services	N	N	N	P	P	P	P	P	P	P	N	N	P	
6100	Services	N	N	N	P	P	P	P	P	P	P	N	N	P	
6100	Title Abstracting	N	N	N	P	P	P	P	P	P	P	N	N	P	
6200	Laundering and Dry Cleaning Services	N	N	N	N	N	P	P	P	P	P	N	P	N	
6200	Custom Tailoring	N	N	N	N	N	P	P	P	P	P	N	N	N	
6200	Laundromats	N	N	N	N	N	P	P	P	P	P	N	N	N	
6200	House Cleaning	N	N	N	N	N	P	P	P	P	P	N	P	N	
6200	Commercial Janitorial	N	N	N	N	N	P	P	P	P	P	N	P	N	
6200	Window Cleaning	N	N	N	N	N	P	P	P	P	P	N	P	N	
6200	Chimney Sweep	N	N	N	N	N	P	P	P	P	P	N	P	N	
6200	Photographic Services - Including Commercial	N	N	N	N	N	P	P	P	P	P	N	P	C	
6200	Beauty & Barber Shops	N	N	N	N	N	P	P	P	P	P	N	P	N	
6200	Massage Therapy/Personal Care Health Spa	N	N	N	N	N	P	P	P	P	P	N	P	N	
6200	Funeral Homes	N	N	N	N	N	P	P	P	P	P	N	N	N	
6200	Crematory Services	N	N	N	N	N	N	N	N	N	N	C	C	N	
6200	Cemeteries	C	C	C	N	N	N	N	N	N	N	N	N	N	
6200	Child Day Care - 5 to 16 children (4 or less not regulated)	C	N	N	N	N	P	P	P	P	C	N	N	C	
6200	Commercial Adult Day Care Facility	See Section 17.70 and 17.72													
6200	Commercial Preschool	N	N	N	N	N	P	P	P	P	P	N	N	C	
6200	Catering Services	N	N	N	N	N	P	P	P	P	P	N	P	N	
6200	Wedding Reception Centers	N	N	N	N	N	P	P	P	P	P	N	N	N	
6300	Advertising Services - General	N	N	N	N	N	P	P	P	P	P	N	P	P	
6300	Direct Mail Advertising	N	N	N	N	N	C	C	C	C	P	N	P	P	

STANDARD LAND USE TABLE BY ZONE

Parking Group	Permitted Primary Uses	Residential			Mixed Rec.		Commercial						Industrial		R&B
		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI		
6300	Travel Services	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	P	
6300	Private Postal Services	N	N	N	N	N	P	P	P	<u>P</u>	P	C	P	C	
6300	Blueprinting & Photocopying	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	P	
6300	Disinfecting & Exterminating	N	N	N	N	N	N	N	N	<u>N</u>	C	N	P	N	
6300	Locksmithing	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6300	News Syndicate	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	P	
6300	Employment Services	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	P	
6300	Vault Security Storage - Mini-Storage	N	N	N	N	N	N	N	N	<u>P</u>	P	N	P	N	
6300	Research, Development, & Testing Services	N	N	N	N	N	C	C	C	<u>C</u>	P	N	P	P	
6300	Business & Management Consulting	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	P	
6300	Detective & Protective Services	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	P	
6300	Heavy Equipment Rental & Leasing; Vehicles over 26,000 GVW	N	N	N	N	N	N	N	N	<u>N</u>	N	P	P	N	
6300	Light Equipment Rental & Leasing; Automobile & Light-Truck Rental (No vehicles over 26,000 GVW)	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6300	Photo-Finishing	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6300	Stamp Trading	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6300	Motion Picture Distribution & Services	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6411	Automobile Wash	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6411	Auto Lube & Tune-up	N	N	N	N	N	C	C	C	<u>C</u>	P	N	P	N	
6411	Auto Tire Shops / Tire Sales / Tire Services	N	N	N	C	N	C	C	C	<u>C</u>	P	N	P	N	
6411	General Auto / Vehicle Repair	N	N	N	N	N	N	N	N	<u>N</u>	C	C	C	N	
6400	Wrecking Yards	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N	
6400	Impound Yards	N	N	N	N	N	N	N	N	<u>N</u>	N	C	C	N	
6400	Repair	N	N	N	N	N	C	C	C	<u>C</u>	C	N	C	N	
6400	Watch, Clock, & Jewelry Repair	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6400	Re-Upholstery & Furniture Repair	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6513	Medical, Dental, & Health Clinic Services / small, outpatient type services	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	P	
6513	Hospital Services	N	N	N	N	N	C	C	C	<u>C</u>	C	N	N	N	
6500	Medical & Dental Laboratories	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	P	
6500	Veterinarian Services, Animal Hospitals - small animals only	N	C	N	N	N	C	C	C	<u>C</u>	C	N	C	N	
6500	Veterinarian Services, Animal Hospitals - large animals	N	C	N	N	N	N	N	N	<u>N</u>	N	N	C	N	
6500	Legal Services	N	N	N	P	N	P	P	P	<u>P</u>	P	N	P	N	
6500	Engineering & Architectural	N	N	N	P	N	P	P	P	<u>P</u>	P	N	P	P	
6500	Educational & Scientific Research	N	N	N	P	N	P	P	P	<u>P</u>	P	N	P	P	
6500	Accounting, Auditing & Bookkeeping	N	N	N	P	N	P	P	P	<u>P</u>	P	N	P	P	
6500	Urban Planning	N	N	N	P	N	P	P	P	<u>P</u>	P	N	P	P	
6500	Auction Services - Indoor Only	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6500	Family & Behavioral Counseling	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	P	
6500	Genealogical - Family History Services	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	P	
6500	Interior Design	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	P	
6600	Building Construction - General Contractor, Office & Storage	N	N	N	N	N	N	N	N	<u>N</u>	C	N	P	N	

STANDARD LAND USE TABLE BY ZONE

Parking Group	Permitted Primary Uses	Residential			Mixed Rec.		Commercial						Industrial		R&B
		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI		
6600	Landscaping Service, Office & Storage	N	N	N	N	N	N	N	N	N	<u>N</u>	C	N	P	N
6800	Private Primary & Secondary Schools	C	N	N	N	N	C	C	C	<u>C</u>	C	N	C	N	
6800	Universities & Colleges	N	N	N	N	N	C	C	C	<u>C</u>	C	N	C	C	
6800	Professional & Vocational Schools	N	N	N	N	N	C	C	C	<u>C</u>	C	N	C	C	
6800	Martial Arts Studios	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6800	Barber & Beauty Schools	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	N	
6800	Art & Music Schools	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	C	
6800	Dancing, Tumbling, and Gymnastics Schools	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	C	
6800	Driving Schools	N	N	N	N	N	P	P	P	<u>P</u>	P	N	P	N	
6911	Churches, Synagogues & Temples	C	C	C	N	N	N	N	N	<u>N</u>	C	N	N	C	
6800	Adoption Agencies	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	P	
6800	Professional Members Organizations	N	N	N	N	N	N	N	N	<u>N</u>	P	N	C	P	
6800	Labor Unions & Similar Labor Organizations	N	N	N	N	N	N	N	N	<u>N</u>	P	N	C	P	
6800	Civic, Social & Fraternal Associations	N	N	N	N	N	N	N	N	<u>N</u>	P	N	C	P	
<b>PUBLIC ASSEMBLIES &amp; AMUSEMENTS</b>															
7100	Libraries	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	N	
7100	Museums	N	N	N	P	P	P	P	P	<u>P</u>	P	N	N	P	
7100	Art Galleries	N	N	N	P	P	P	P	P	<u>P</u>	P	N	N	P	
7100	Arboretums	N	C	N	N	N	P	P	P	<u>P</u>	P	N	N	C	
7100	Zoos	N	C	N	N	N	N	N	N	<u>N</u>	N	N	N	N	
7100	Sexually-Oriented Businesses	See Section 8.30 and 17.61													
7100	Amphitheaters	N	C	N	N	N	C	C	C	<u>C</u>	C	N	N	N	
7100	Motion Picture Theaters	N	N	N	P	P	P	P	P	<u>P</u>	P	N	N	N	
7100	Stage Theater	N	N	N	P	P	P	P	P	<u>P</u>	P	N	N	N	
7100	Dance Clubs/Music Venues	N	N	N	N	N	C	C	C	<u>C</u>	C	N	C	N	
7100	Stadiums	N	N	N	N	N	C	C	C	<u>C</u>	C	C	C	N	
7100	Arenas / Field Houses	N	N	N	N	N	C	C	C	<u>C</u>	C	N	C	N	
7100	Auditoriums & Exhibit Halls	N	N	N	N	N	C	C	C	<u>C</u>	C	N	N	N	
7100	Convention Centers	N	N	N	N	N	P	P	P	<u>P</u>	P	N	C	P	
7100	Fairgrounds	N	N	N	N	N	N	N	N	<u>N</u>	P	N	C	N	
7100	Amusements Parks	N	N	N	N	N	C	C	C	<u>C</u>	C	N	N	N	
7100	Arcades & Miniature Golf	N	N	N	C	C	C	C	C	<u>C</u>	P	N	N	N	
7100	Golf Driving Ranges	N	C	C	N	N	C	C	C	<u>C</u>	C	N	C	N	
7100	Go-Cart Tracks	N	N	N	N	N	N	N	N	<u>N</u>	N	N	C	N	
7100	Golf Courses &/ or Country Clubs	C	C	C	N	N	N	N	N	<u>N</u>	N	C	C	N	
7100	Tennis Courts - Private	N	N	N	C	C	C	C	C	<u>C</u>	P	N	C	P	
7100	Roller Skating & Blading	N	N	N	N	N	C	C	C	<u>C</u>	P	N	C	N	
7100	Skate Board Parks - Private	N	C	N	N	N	N	N	N	<u>N</u>	N	N	C	N	
7100	Skate Board Parks - Publicly Owned	See Section III - Appendix A													
7100	BMX Biking Tracks & Facilities	N	C	C	N	N	N	N	N	<u>N</u>	N	N	C	N	
7100	ATV / Motorcycle Tracks	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N	
7100	Riding Stables - Commercial	C	C	C	N	N	N	N	N	<u>N</u>	P	N	C	N	
7100	Bowling Lanes	N	N	N	N	N	P	P	P	<u>P</u>	P	N	N	N	
7100	Play Fields & Athletic Fields - Commercial	N	C	N	N	N	N	N	N	<u>N</u>	N	N	C	N	
7100	Recreation Centers - General	N	N	N	P	P	C	C	C	<u>C</u>	P	N	C	N	

STANDARD LAND USE TABLE BY ZONE

Parking Group	Permitted Primary Uses	Residential	Mixed Rec.		Commercial							Industrial		R&B
		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI	
7100	Gymnasium & Athletic Clubs	N	N	N	P	P	C	C	C	<u>C</u>	P	N	C	C
7100	Swimming Pools - Commercial	N	N	N	N	N	C	C	C	<u>C</u>	P	N	N	N
7100	Indoor Soccer Facilities	N	N	N	N	N	N	N	N	<u>N</u>	P	N	C	N
7100	Indoor Gun Ranges	N	C	C	N	N	C	C	C	<u>C</u>	C	N	C	N
7100	Water Slides	N	N	N	N	N	C	C	C	<u>C</u>	P	N	N	N
7100	Parks - General Recreation - Public Property	P	P	P	P	P	P	P	P	<u>P</u>	P	P	P	P
7100	Campgrounds	N	C	C	N	N	N	N	N	<u>N</u>	N	N	N	N
<b>AGRICULTURE &amp; RESOURCE EXTRACTION</b>														
N/A	Commercial Farms & Ranches producing Pigs, Turkeys, Mink, or Chickens products	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N
N/A	Production - large scale	N	C	C	N	N	C	C	C	<u>C</u>	C	C	C	N
N/A	Horticultural Services	N	C	C	N	N	C	C	C	<u>C</u>	C	C	C	N
N/A	Forestry & Timber Production	N	C	C	N	N	N	N	N	<u>N</u>	N	C	N	N
N/A	All Fisheries & Fish Hatcheries	N	C	N	N	N	N	N	N	<u>N</u>	N	C	C	N
N/A	All Mining & Related Services	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N
N/A	All Resource Production & Extraction	N	N	N	N	N	N	N	N	<u>N</u>	N	N	N	N
N/A	Peat Extraction	N	C	N	N	N	N	N	N	<u>N</u>	C	C	C	N
See LCC 17.18	CF zone (Commercial Farm) uses - See LCC 17.51													
<b>UNCLASSIFIED</b>														
N/A	All unclassified items	See Section III of SLU Table (Appendix A)												

**SECTION II:** The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

**SECTION III:** Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

**SECTION IV:** This ordinance shall take effect immediately upon its passage and posting as provide by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this \_\_\_\_\_ day of \_\_\_\_\_, 2013.

\_\_\_\_\_  
James A. Dain, Mayor

ATTEST:

\_\_\_\_\_  
Kathryn A. Moosman,  
Lindon City Recorder

SEAL

## **Item 8: Public Hearing — Zoning Map Amendment**

**Presenting Staff:** *Hugh Van Wagenen*

**Applicant:** *Creig Fryer*

**Location:** *439 West Gillman Lane*

**Zone:** *Split zoned General Commercial (CG) and Single Family Residential (R1-20)*

**Acreage:** *1.6 acres*

### **Summary**

This is a request by Creig Fryer to rezone property currently split zoned Residential Single Family (R1-20) and General Commercial (CG) to the General Commercial—Storage (CG-S) zone. This change would permit mini-storage units as a permitted use on the property.

Recommendations will be made to the City Council at the next available meeting.

### **Contingent Upon Creation of CG-S zone**

The CG-S zone will only exist upon approval of the ordinance amendment that creates the CG-S zone. If that amendment did not pass, this zone change is not an option at this time.

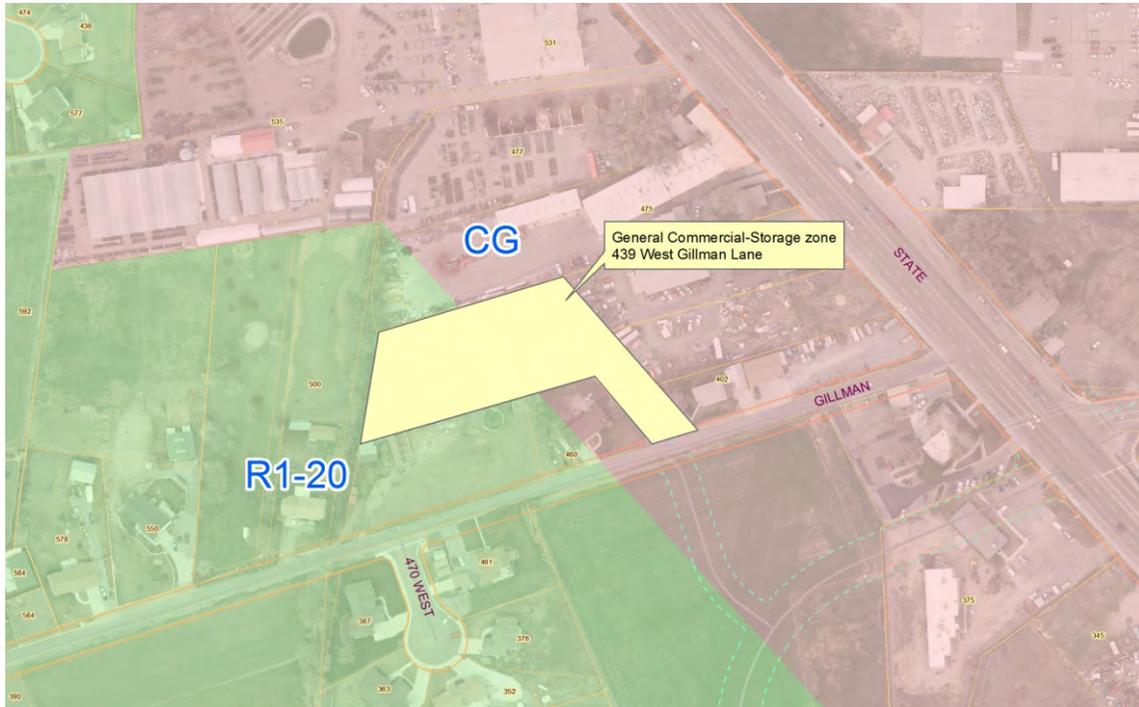
### **Benefits**

There are several properties located in the CG zone that do not have frontage along major traffic corridors. The Fryer property is one of them. Rezoning this property allows an additional permitted use on the property mini-storage units that allows the owners to realize a viable use of the property.

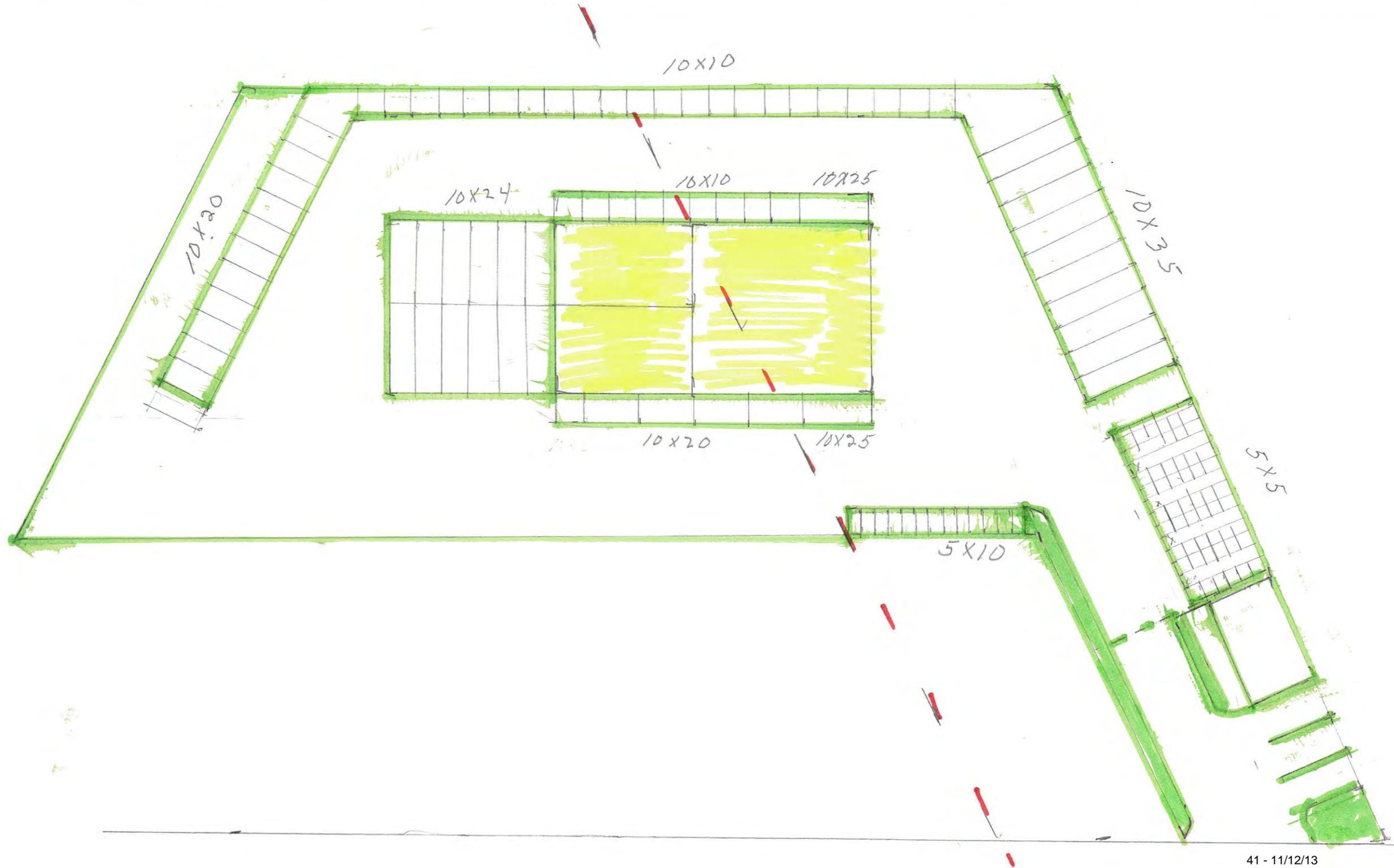
### **Concept**

The applicant has provided a concept sketch and several pictures of existing storage facilities that he hopes to mimic. They are attached below.

## Zone Amendment Map



**Motion:** I move to (approve, deny, continue) the zone map amendment from General Commercial/Single Family Residential to CG-S on the property located at 439 West Gillman Lane **conditioned upon approval of the creation of the CG-S zone**, along with the following conditions (if any):





## **Item 9: Concept Review — Timpview RTC**

**Presenting Staff:** *Hugh Van Wagenen*

**Applicant:** *Lynn Loftin of Heritage Youth Services*

**Location:** *200 North Anderson Lane*

**Zone:** *Heavy Industrial (HI)*

**Acreage:** *1.6 acres*

### **Summary**

The Timpview Residential Treatment Center, run by Heritage Youth Services, is in need of some major repairs. With the expense of the repairs, Mr. Loftin is exploring the idea of a more extensive remodel that would accommodate additional clients and staff at the facility. Currently, the site houses more clients than allowed by Lindon City Code and is therefore a nonconforming use. Mr. Loftin would like to get some feedback from the Commission on whether or not to pursue permission to expand the existing nonconforming use which would allow the facility to make some significant upgrades and improvements.

No motion is necessary for a concept review.

# Item 10: Public Hearing — Ordinance Amendment

## LCC 17.09 Table #1

**Presenting Staff:** *Hugh Van Wagenen*  
**Applicant:** *City Initiated*

### Summary

In an effort to streamline the approval process for land use applications within the City and to make the most efficient use of public meeting time, the City is considering changes to LCC 17.09 Table #1. This table designates what body is the final land use authority and appeal authority for specific land use applications. The proposed changes are adding a major subdivision category with the City Council as the Final Authority and Board of Adjustment as the Appeal Authority; adding a minor subdivision category with the Planning Commission as the Final Authority and City Council as Appeal Authority; allowing the Planning Commission to be the Final Authority on Plat Amendments with the City Council acting as the Appeal Authority. All changes are shown below:

LCC 17.09, Table #1		
Land Use Application	Land Use Authority	Appeal Authority
General Plan Amendment	City Council	None
Zone Change & Zoning Ordinance Amendments	City Council	None
Major Subdivisions	City Council	Board of Adjustment
Minor Subdivisions*	Planning Commission	City Council
Plat Amendment*	City Council Planning Commission	Board of Adjustment City Council
Alteration of Non-Conforming Use	City Council	Board of Adjustment
Reimbursement Agreement	City Council	Board of Adjustment
Property Line Adjustment*	City Staff	Planning Commission
Building Permit*	City Staff	Planning Commission
Temporary Site Plan*	City Staff	Planning Commission
Site Plan*	Planning Commission	City Council
Conditional Use Permit*	Planning Commission	City Council
Temporary Conditional Use Permit*	Planning Commission	City Council
Variances	Board of Adjustment	None
Other Administrative actions as listed in code or performed through department policy*	City Staff, Planning Commission, City Council	Board of Adjustment
Other Legislative actions	City Council	None

\*In cases where the City Council implements LCC 17.08.090 and becomes the land use authority, the appeal authority becomes the Board of Adjustment.

**Motion:** I move to (approve, deny, continue) the amendment to LCC 17.09, Table #1 as shown with the following conditions (if any):

**Item I I: New Business (Planning Commissioners Reports)**

Item I –Subject \_\_\_\_\_  
Discussion

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Item 2 - Subject \_\_\_\_\_  
Discussion

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Item 3 - Subject \_\_\_\_\_  
Discussion

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## **Item 10: Planning Director Report**

- Elections
  - Jeff Acerson, Mayor; Jacob Hoyt, Councilmember; Van Broderick, Councilmember
  - Term begins January
  - Council will appoint new member after applications are received
- Signatures needed
- Planner job opening
- City Events
  - Mayor's Thanksgiving Dinner; volunteers welcome

**Adjourn**

APPLICATION NAME	APPLICATION DATE	APPLICANT INFORMATION	PLANNING COMM.	CITY COUNCIL
			DATE	DATE
<b>Ordinance changes: LCC 17.38 'Bonds for Completion of Improvements to Real Property'</b>	Sept. 2009	City Initiated	?	?
<i>City initiated ordinance changes needed to bring code into compliance with current practices and State laws.</i>				
<b>Zone Change: Old Town Square</b>	Feb 1, 2012	Scott Larsen	Feb. 14, continued	Pending
<i>Request for approval of a zone change for two parcels located at 873 West Center Street from R1-20 (Residential Low) to LI (Light Industrial).</i>				
<b>Property Line Adjustment: LBA Rentals</b>	Mar 12, 2012	Lois Bown-Atheling	N/A	N/A
<i>Request for approval of a property line adjustment to clean up existing parcels lines for five parcels in the CG zone at 162 &amp; 140 South Main Street. This project is in conjunction with the Castle Park project.</i>				
<b>Ordinance changes: LCC 17.32, 17.58, 17.66.020 'Subdivisions'</b>	Nov. 2012	City Initiated	Nov. 13, Dec. 11, Jan. 8, Jan. 22	Feb. 5
<i>City initiated ordinance changes needed to bring code into compliance with current practices and State laws.</i>				
<b>Site Plan: Osmond Senior Living</b>	July 2013	Jared Osmond	Nov. 12	Nov. 19
<i>Request for an conditional use site plan to operate a assisted living facility at 175 North State Street.</i>				
<b>Plat Amendment: Canberra Heights Plat A Lot 32</b>	August 2013	Erin Shelley	Nov. 12	Nov. 19
<i>Request for a one lot plat amendment located at 71 South Kings Peak Drive.</i>				
<b>Site Plan: Lindon Senior Apartments</b>	Sept. 2013	Matt Gneiting	TBD	TBD
<i>Request for site plan approval for senior housing apartments on State &amp; Main</i>				
<b>Ordinance Amendment: 17.09 Table #1</b>	Nov. 2013	City	Nov. 12	Dec. 3
<i>City request to amend final land use authority and appeal authority on some land use applications.</i>				
<b>Zone Map Amendment: Creig Fryer</b>	Nov. 2013	Creig Fryer	Nov. 12	Dec. 3
<i>Request for zone change from CG to CG-S on 439 West Gillman Lane.</i>				
<b>Ordinance Amendment: Creig Fryer</b>	Sept. 2013	Craig Fryer	Oct. 22, Nov. 12	Dec. 3
<i>Request to for a new zone to allow mini-storage in commercial areas; new zone is CG-S.</i>				
<b>Subdivision: Maxine Meadows</b>	Sept. 2013	John Davis	Nov. 12	Nov. 19
<i>Request for a 3 lot subdivision at 425 East 400 North.</i>				
<b>Minor Subdivision: Homesteads @ Coulson Cove</b>	Nov. 2013	Steve Phelon	Nov. 26	Dec. 3
<i>Request for three lot subdivision near 700 North Coulson Drive.</i>				
<b>Property Line Adjustment: Lindon Senior Apartments</b>	Nov. 2013	Matt Gneiting	N/A	N/A
<i>Property line adjustment near 75 South Main Street</i>				
<b>Major Subdivision: Old Rail Estates</b>	Nov. 2013	Scott Farrer	TBD	TBD
<i>Request for a 15 lot subdivision at about 280 West 40 South.</i>				
<b>Concept Review: Timpview RTC</b>	Nov. 2013	Lynn Loftin	Nov. 12	Dec. 3
<i>Discuss concept of expanding nonconforming use of group care facility at 200 North Anderson Lane.</i>				
<b>NOTE: This Project Tracking List is for reference purposes only. All application review dates are subject to change.</b>				
<b>PC / CC Approved Projects - Working through final staff &amp; engineering reviews (site plans have not been finalized - or plat has not recorded yet):</b>				
<i>Stableridge Plat D (Vaughn Heath)</i>	<i>Highlands at Bald Mountain</i>		<i>Tim Clyde -- R2 Project</i>	
<i>BMA / Old Station Sq -- site plan Lots 11 &amp; 12</i>	<i>AM Bank -- site plan</i>		<i>Joyner Business Park, Lot 9 site plan</i>	
<i>Double A Estates Subdivision</i>	<i>Old Station Square Plat D</i>		<i>Castle Park Amended Site Plan</i>	
<i>Southcreek Subdivision</i>	<i>Olsen Industrial Park Sub., Plat A (Sunroc)</i>		<i>Homesteads at Coulson Cove Plats C</i>	
<i>West Meadows Indus. Sub (Williamson Subdivision Plat A)</i>	<i>Keetch Estates, Plat A</i>		<i>Lindon Gateway II</i>	
<i>Osmond Senior Subdivision</i>	<i>Lindon Harbor Industrial Park II</i>		<i>Meine Plat A</i>	
<i>Freeway Business Park II</i>	<i>Questar Gas Site Plan/Subdivision</i>		<i>Craig Olsen Site Plan</i>	
<i>Valdez Painting Site Plan</i>	<i>Murdock Hyundai Site Plan</i>		<i>Maverik Site Plan</i>	
<i>Cullimore Court Subdivision</i>	<i>LCD Business Center</i>		<i>Sam White Office/Warehouse Site Plan</i>	
<i>Eastlake at Geneva North Sub.</i>	<i>Lindon Business Park Plat C</i>		<i>Lindon Business Park Bldg 4 Site Plan</i>	
<i>Avalon Senior Living Site Plan</i>	<i>Intermountain Turbine Site Plan</i>		<i>Murdock Hyundai Plat Amendment</i>	

Board of Adjustment		
Applicant	Application Date	Meeting Date
Scott Farrer: Minimum Distance between offset roads	September 2013	Oct. 30; continued TBD

Annual Reviews				
APPLICATION NAME	APPLICATION DATE	APPLICANT INFORMATION	PLANNING COMM.	CITY COUNCIL
			DATE	DATE
Annual review - Lindon Care Center 680 North State Street (File # 05.0383.8) <a href="mailto:administrator@lindoncare.com">administrator@lindoncare.com</a>	Existing use.	Lindon Care Center Manager: Christine Christensen 801-372-1970.	March 2013 Last Reviewed: 02/28/12	N/A
<i>Annual review of care center to ensure conformance with City Code. Care center is a pre-existing use in the CG zone.</i>				
Annual review of CUP - Housing Authority of Utah County - Group home. 365 E. 400 N. (File # 03.0213.1) <a href="mailto:lsmith@housinguc.org">lsmith@housinguc.org</a>	Existing CUP	Housing Auth. Of Utah County Director: Lynell Smith 801-373-8333.	March 2013 Last Reviewed: 2/28/12	N/A
<i>Annual review of CUP to ensure conformance with City Code. Group home at entrance to Hollow Park was permitted for up to 3 disabled persons.</i>				
Heritage Youth Services - Timpview Residential Treatment Center. 200 N. Anderson Ln. (File # 05.0345) <a href="mailto:info@heritageyouth.com">info@heritageyouth.com</a> <a href="mailto:info@birdseyertc.com">info@birdseyertc.com</a>	Existing CUP	HYS: Corbin Linde, Lynn Loftin 801-798-8949 or 798-9077	March 2013 Last Reviewed: 2/28/12	N/A
<i>Annual review required by PC to ensure CUP conditions are being met. Juvenile group home is permitted for up to 12 youth not over the age of 18.</i>				

Grant Applications	
Pending	Awarded
<b>CDBG 2013 Grant – Senior Center Van (\$50,000).</b> <ul style="list-style-type: none"> <li>Status: Awarded! Funds to be dispersed as reimbursement of van purchase.</li> </ul>	<b>Heritage Trail Phase 2 – Trail construction grant. Awarded amount \$3,037,433</b> <ul style="list-style-type: none"> <li>Status – <ul style="list-style-type: none"> <li>Construction beginning March 25, 2013</li> <li>To be completed by June 12, 2013</li> </ul> </li> </ul>
<b>Bikes Belong - Trail construction grant. Requested amount: \$10,000</b> <ul style="list-style-type: none"> <li>Status: NOT SELECTED FOR 2010. WILL RE-APPLY IN 2013.</li> </ul>	<b>EPA STAG Grant – Lindon Hollow Creek Ditch relocation. Awarded \$500,000</b> <ul style="list-style-type: none"> <li>Van Con awarded bid. Construction has started.</li> </ul>
<b>Land and Water – Trail construction grant. Requested amount: \$200,000</b> <ul style="list-style-type: none"> <li>Status: NOT SELECTED. RE-APPLY IN 2013.</li> </ul>	<b>Utah State Parks 2011 – Non-motorized Trail grant: Awarded \$100,000</b> <ul style="list-style-type: none"> <li>Status – Environmental docs have been submitted to State</li> <li>Pending property dedication by PacifiCorp <ul style="list-style-type: none"> <li>Intend to use funds towards completion of additional trail near power plant</li> </ul> </li> </ul>
<b>Hazard Mitigation Grant / MAG Disaster Relief Funds- (pipe main ditch)</b> <b>FEMA Hazard Mitigation Grant – (pipe Main Ditch)</b>	<b>EDCUtah 2012 – Awarded \$2,000 matching grant for 700 North CDA consultant reimbursement.</b> <ul style="list-style-type: none"> <li>Proposed study / CDA creation in fall 2012. Estimated costs ~\$20,000.</li> </ul>
	<b>State History Grant 2012 – New historical markers. Awarded \$800.00 (w/ 50% match from historical commission funds for total project cost of \$1,600).</b>
	<b>MAG Bicycle Master Plan Study</b> Awarded funds to hire consultant to develop bicycle master plan to increase safety and ridership throughout the city.
	<b>Utah Heritage Foundation</b> — Lindon Senior Center Awarded 2013 Heritage Award in the Category of Adaptive Use Project.
	<b>CDBG 2013 Grant – Senior Center Van (\$50,000). Funds dispersed July 2013</b>

Planning Dept - Projects and Committees			
On-going activities (2013 yearly totals)	Misc. projects	UDOT / MAG projects	Committees
Building permits Issued: 119 New residential units: 26	2010-15 General Plan implementation (zoning, Ag land inventory, etc.)	State Street widening 2012-13	Utah Lake Commission Technical Committee: Bi-Monthly
New business licenses: 50	Lindon Hollow Creek-Corps of Eng., ditch relocation	700 North CDA	MAG Technical Advisory Committee: Monthly
Land Use Applications: 58 Drug-free zone maps: 25	Lindon Heritage Trail Phase 2 Gateway RDA improvements	Lindon Bicycle Master Plan	Lindon Historic Preservation Commission: Bimonthly North Utah County Transit Study Committee