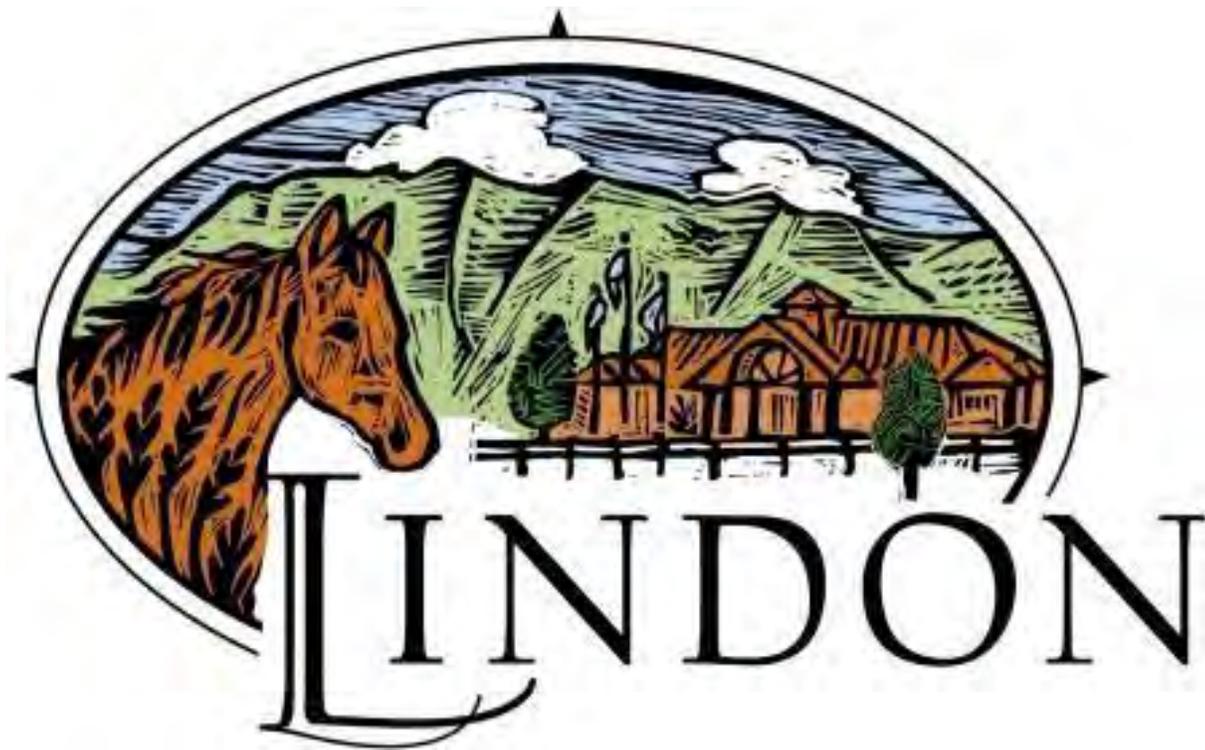


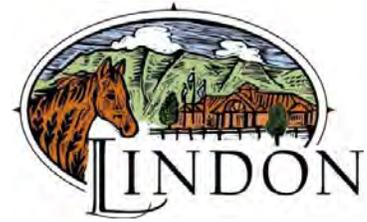
Lindon City Planning Commission Staff Report



April 12, 2016

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, April 12, 2016**, in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **7:00 p.m.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. The agenda will consist of the following:

AGENDA

Invocation: By Invitation

Pledge of Allegiance: By Invitation

1. Call to Order

2. Approval of minutes

Planning Commission 2/23/16; Joint Work Session CC and PC 3/8/16

3. Public Comment



Scan or click here for link to download agenda & staff report materials.

*(Review times are estimates only.)
(45 minutes)*

4. Public Hearing — Street Master Plan Amendment (Approx. 350 East 500 North)

Robert Williamson requests preliminary approval of a proposed amendment to the Lindon City Street Master Plan Map to remove a master planned road connection located at approximately 350 East 500 North in the Single Family Residential (R1-20) zone. The road connection was planned to connect future 500 North street from 200 East with the proposed 350 East street. *(Continued from 2/23/2016)*

(20 minutes)

5. Public Hearing — Street Master Plan Amendment (Approx. 200 East 500 North)

Patti Toomer requests preliminary approval of a proposed amendment to the Lindon City Street Master Plan Map to remove a master planned road connection located at approximately 200 East 500 North in the Single Family Residential (R1-20) zone. The road connection was planned to connect future 500 North street from 200 East with the proposed 350 East street.

(30 minutes)

6. Conditional Use Permit — Roach Weaver (R2 Overlay)

Ed Weaver and Richard Roach request conditional use permit and subdivision approval of an R2 Overlay project for a twin home to be located at 319 North 135 West in the Residential Single Family (R1-20) zone.

(15 minutes)

7. Minor Subdivision — Virgil Allred Subdivision, Plat A, 127 South 400 East

GayFawn Mikesell requests approval of a two (2) lot residential subdivision, including dedication of public right-of-way, at 127 South 400 East in the Single Family Residential (R1-20) zone.

(15 minutes)

8. Plat Amendment — Lakeside Business Park Subdivision, Plat B, approx. 225 South 1430 West

Rob Tubman, MS Properties, requests approval of a plat amendment to combine two (2) subdivision lots. The proposed Lakeside Business Park Subdivision, Plat B, includes a vacation of Lot 1, Plat A, Lakeside Business Park Subdivision, and Parcel A, Plat A of the UDOT Questar Subdivision. The subdivision is located at approximately 225 South 1430 West in the Light Industrial (LI) zone.

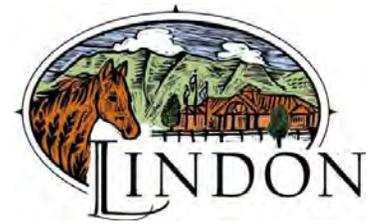
(15 minutes)

9. Site Plan — 200 South Business Park, approx. 1545 West 200 South

Trevor Sharp requests site plan approval for the proposed 200 South Business Park office/warehouse, 8,016 sq. ft., to be located at approximately 1545 West 200 South in the Light Industrial (LI) zone.

Notice of Meeting

Lindon City Planning Commission



(15 minutes)

10. Minor Subdivision — Tams-Zyto Subdivision, Plat A, 1126 West and 1172 West 700 North

Tia Crow, on behalf of Tom Stuart, 1100 West Street LLC, requests approval of a two (2) lot subdivision at 1126 West and 1172 West 700 North in the General Commercial (CG) zone.

(15 minutes)

11. Minor Subdivision — Lindon Harbor Industrial Park Subdivision, Plat E, 328 South 1250 West

Arnim Way, Davies Design Build, on behalf of Enoch Jurgens, Sky Guy LLC, requests approval of a one (1) lot subdivision at approximately 328 South 1250 West in the Light Industrial (LI) zone.

(15 minutes)

12. Site Plan — Scenic Solutions, 328 South 1250 West

Arnim Way, Davies Design Build, on behalf of Enoch Jurgens, Sky Guy LLC, requests site plan approval of an approximately 35,820 sq. ft. office/warehouse building on the proposed lot, Lindon Harbor Industrial Park Subdivision, Plat E, at 328 South 1250 West in the Light Industrial (LI) zone.

13. New Business from Commissioners

14. Planning Director Report

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 hours notice.

Posted By: Hugh Van Wagenen

Date: April 6, 2016

Time: ~3:00 pm

Place: Lindon City Center, Lindon Police Station, Lindon Community Center

Item I: Call to Order

April 12, 2016 Planning Commission meeting.

Roll Call:

Sharon Call
Rob Kallas
Mike Marchbanks
Matt McDonald
Bob Wily
Charlie Keller

Item 2: Approval of Minutes

Planning Commission Meeting — 02/23/2016

Joint Work Session Lindon City Council & Planning Commission — 03/08/2016

2 The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday,**
4 **February 23, 2016 beginning at 7:00 p.m.** at the Lindon City Center, City Council
Chambers, 100 North State Street, Lindon, Utah.

6 **REGULAR SESSION** – 7:00 P.M.

8 Conducting: Sharon Call, Chairperson
Invocation: Matt McDonald, Commissioner
10 Pledge of Allegiance: Bob Wily, Commissioner

12 **PRESENT** **ABSENT**

Sharon Call, Chairperson
14 Mike Marchbanks, Commissioner
Rob Kallas, Commissioner
16 Bob Wily, Commissioner
Matt McDonald, Commissioner
18 Charles Keller, Commissioner
Hugh Van Wagenen, Planning Director
20 Kathy Moosman, City Recorder

- 22 1. **CALL TO ORDER** – The meeting was called to order at 7:00 p.m.
24 2. **APPROVAL OF MINUTES** – The minutes of the regular Planning Commission
26 meeting of February 9, 2016 and the Joint Work Session minutes of February 2, 2016
were reviewed.

28 COMMISSIONER KALLAS MOVED TO APPROVE THE MINUTES OF THE
REGULAR MEETING OF FEBRUARY 9, 2016 AND THE JOINT WORK SESSION
30 MEETING OF FEBRUARY 2, 2016 AS AMENDED. COMMISSIONER WILY
32 SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION
CARRIED.

34 3. **PUBLIC COMMENT** –

36 Chairperson Call called for comments from any audience member who wished to
address any issue not listed as an agenda item. There were no public comments.
38

40 **CURRENT BUSINESS** –

- 42 4. **Major Subdivision — Lindon Hidden Meadows Subdivision, Plat B,**
(Approx. 800 East Center Street). Danny Bentley requests preliminary
44 approval of a six (6) lot subdivision, including dedication of public street(s) at
approximately 800 East Center Street in the Single Family Residential (R1-20)
zone.
46

48 Hugh Van Wagenen, Planning Director, led this discussion by explaining this is a
request by Danny Bentley (who is in attendance) to create six lots and dedicate a new

2 public street (800 East) in the Single Family Residential (R1-20) zone. Mr. Van Wagenen
4 further explained that the minimum lot size in the R1-20 zone is 20,000 square feet (.46
6 acre). He went on to say with the exception of Lot 4 which is a flag lot, each lot in the
8 proposed subdivision will satisfy the minimum area requirement. He noted the smallest
10 lot is 20,000 s.f. (Lot 2) and the largest is 46,941 s.f. (Lot 5). Lot 4 is shown as a flag lot
12 of 20,005 s.f. in total, but only 17,407 s.f. exclusive of the “pole” portion of the lot. He
stated that Lindon City code requires that flag lots have 20,000 s.f. exclusive of the pole
which makes this lot substandard, however, Mr. Bentley received a variance approval to
the minimum square footage of this potential flag lot on September 26, 2013. He noted
the next step is the approval in the subdivision application itself. He then showed images

14 Mr. Van Wagenen noted that LCC 17.32.320 states flag lots are only permitted
when one of the following two circumstances exists:

- 16 1) At the time of application, development using standard public streets is not
18 possible. The property has specific constraints that limit access, public street
20 frontage, and/or construction of a standard public roadway. These abnormal
22 constraints may be restrictive topography, constraints caused by built
environment, irregular lot configuration, ownership limitations, environmental
constraints such as wetlands, springs, ditches, or canals, etc.
- 2) Development using standard public streets is possible, but not in the best
interest of the public.

24 Mr. Van Wagenen further explained in order to demonstrate that this
26 circumstance exists, the applicant has provided conceptual development plans showing
the development with and without the proposed flag lot that demonstrate that each of the
following characteristics is present:

- 28 a. The design of the flag lot is harmonious and compatible with the configuration
30 of the overall subdivision and/or neighborhood and will not adversely affect
the living environment of the surrounding area.
- 32 b. Standard public street construction would cause disruption to the
34 neighborhood in a significant physical or aesthetic manner, therefore making
the flag lot access preferable to a public street.
- 36 c. Development of the flag lot will decrease public infrastructure while still
38 providing in-fill development and efficient use of the land that is compatible
with Lindon City development standards.
 - o An alternative plan showing how the subdivision would look without the
flag lot is included in the staff report.

40 Mr. Van Wagenen mentioned that the curb, gutter and sidewalk will be installed
42 along the new street in addition to the trail access from the cul-de-sac to the Lindon
44 Heritage Trail. He noted the City is asking that a parcel be created west of Lot 4, south
46 of the trail, and north of the cul-de-sac and deeded to the City for access to the trail and to
48 be included as a condition in the motion. He mentioned that staff has determined that the
proposed subdivision complies, or will be able to comply before final approval, with all
of the remaining land use standards in LCC 17.32. He noted the City Engineer is
addressing engineering standards and all engineering issues will be resolved before final
approval is granted.

2 Mr. Van Wagenen then referenced for discussion an aerial photo of the proposed
subdivision, photographs of the existing site, the preliminary plan, and the concept
4 without the flag lot. He then turned the time over to Mr. Bentley for comment.

6 Commissioner Kallas asked staff if it has been determined that there is ample
elevation flow for the sewer drain on Lot #4. Mr. Van Wagenen confirmed that
statement. Mr. Van Wagenen then referenced the lot that is getting left out of the
8 subdivision and the elevation change noting it may require a retaining wall.

10 Commissioner Keller inquired if there was a different road on the General Plan. Mr. Van
Wagenen referenced the plan noting the road shown on the plan is a little skewed and off
center noting the city is less concerned how the bulb is actually configured as long as
12 there is a turnaround there and it is up to the property owners.

14 Commissioner McDonald asked if there are any concerns with emergency vehicle
access with this flag lot. Mr. Van Wagenen stated there are requirements for fire trucks
and emergency vehicles. They need a minimum of 25 ft. on a flag pole and 20 ft. of
16 traversable fire truck access lane with a fire hydrant and this lot meets those requirements
and is part of the final approval plans but it does not need to be included as a condition.
18 Chairperson Call observed this appears to meet the all requirements but to include the one
listed condition in the motion.

20 Chairperson Call asked if there were any questions or comments from the
Commission. Hearing none she called for a motion.

22
24 COMMISSIONER WILY MOVED TO RECOMMEND TO THE CITY
COUNCIL APPROVAL THE APPLICANT'S REQUEST FOR APPROVAL OF A SIX
(6) LOT SUBDIVISION TO KNOWN AS LINDON HIDDEN MEADOWS PLAT B
26 WITH THE FOLLOWING CONDITION 1) CREATE A PARCEL WEST OF LOT 4
SOUTH OF THE TRAIL AND NORTH OF THE CUL-DE-SAC AND DEED IT TO
28 THE CITY FOR ACCESS TO THE TRAIL. COMMISSIONER MARCHBANKS
SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

30 CHAIRPERSON CALL AYE
COMMISSIONER KALLAS AYE
32 COMMISSIONER MARCHBANKS AYE
COMMISSIONER WILY AYE
34 COMMISSIONER MCDONALD AYE
COMMISSIONER KELLER AYE

36 THE MOTION CARRIED UNANIMOUSLY.

- 38 5. **Major Subdivision—Williamson Farms Subdivision, Plat A (Approx. 350
East 450 North).** Robert Williamson requests preliminary approval of a ten (10)
40 lot subdivision, including dedication of public street(s), at approximately 350 East
400 North in the Single Family Residential (R1-20) zone.

42
44 Mr. Van Wagenen gave some background of this agenda item explaining the
applicant, Robert Williamson, is requesting preliminary approval to create ten (10) lots
and dedicate a new public street (350 East) in the Single Family Residential (R1-20)
46 zone. He noted that Todd Dudley is in attendance representing the applicant tonight. He
noted to keep in mind that the application to amend the street plan is the next agenda item
48 and ties in to this request.

2 He explained that minimum lot size in the R1-20 zone is 20,000 square feet (.46
acre) and each lot in the proposed subdivision will satisfy the minimum area requirement.
4 The smallest lot being 20,015 s.f. (Lot 5) and the largest is 32,942 s.f. (Lot 7). He noted
that curb, gutter and sidewalk will be installed along the new street. Mr. Van Wagenen
6 then referenced an aerial photo of the proposed subdivision, photographs of the existing
site and the preliminary plan followed by some general discussion.

8 Mr. Van Wagenen did mention that the Lindon City Street Master Plan shows
another road connection from 200 East to 350 East at approximately 500 North. He noted
10 that the applicant is requesting this connection not be made to 350 East but rather have
that portion of 500 North end in a cul-de-sac (remove the connection). Mr. Van Wagenen
12 stated that typically staff pushes for connectivity of road ways but because this has some
existing connectivity they feel it will not be detrimental to remove that section. He noted
14 this is a pretty straightforward subdivision as far as the lots themselves with the one
exception of the street master plan amendment (include as a condition in the motion).

16 Mr. Van Wagenen explained that staff has determined that the proposed
subdivision complies, or will be able to comply before final approval, with all remaining
18 land use standards in LCC 17.32. He noted the City Engineer is addressing engineering
standards and all engineering issues will be resolved before final approval is granted.

20 Chairperson Call stated even though this is not a public hearing she would allow
some public comment at this time. Several residents and neighbors (of the property in
22 question) were in attendance to address the Commission as follows:

24 **Blake Spencer:** Mr. Spencer voiced his opinion that they are in harmony with this
proposed subdivision and what is planned.

26 **Patches Hansen:** Ms. Hansen stated her mother, Mrs. Patty Toomer, is hospitalized and
28 could not attend this meeting. She noted that her mother is opposed to the cul-de-sac.
Her mother is also planning to submit an application to remove the road from the master
30 plan which would be her preference. She would also like the option of having two lots
instead of one.

32 **Rob Colby:** Mr. Colby stated Mrs. Toomer is opposed to the road and does not want it
34 shortened with a cul-de-sac as she has concerns about the future development of her own
property and that it would de-value her property. Mrs. Toomer also has issues with the
36 traffic moving all the way through.

38 Mr. Van Wagenen then pointed out the Toomer and Spencer property on the
screen explaining what was presented when the application was submitted.
40 Commissioner Keller surmised if the Toomer's were to develop their property and put in
a subdivision, and other than the road going through and whether it's on the general plan
42 or not, either way if the road or cul-de-sac is there it won't affect the Toomer property.
Mr. Van Wagenen commented not as far as whether it can develop or not. Mr. Van
44 Wagenen further stated the road punching through would affect the application before the
Commission tonight and the Spencer property as well, only if the connection does not go
46 through. However, we are not considering the complete removal of the road tonight.

2 Commissioner Wily voiced his opinion stating there are only four (4) lots between
the two streets and feels another road is not needed to chop it up; he feels shortening it
4 would be just fine. Commissioner Marchbanks agreed with that statement.

6 **Todd Dudley:** Mr. Dudley commented that putting the road through will not lose the
Williamson's a lot although it may be smaller; he has done the layout and it will work. If
8 the road went through, the Toomer's only have enough square footage for one lot (29,000
sq. ft.) there is not enough for two lots. He noted if it is laid out with the cul-de-sac and if
10 the Toomer's and Spencer's worked together they could pick up one more lot than they
can currently get. He added if they can come up with an agreement then they could split
12 it, but if the road goes through they would lose one lot. Mr. Dudley pointed out in order
for this to work efficiently, everyone needs to be involved and participate and share the
14 costs of the road etc. If one particular person wants to hold out and wait it wouldn't work
very well.

16
Chairperson Call stated it sounds like there needs to be some type of an agreement
18 worked out between the two property owners so the Toomer's can get the two lots; it
sounds like that is the objection. Mr. Van Wagenen explained that the application from
20 Mr. Williamson was to remove that connection off of the street master plan in order to
move forward with the layout presented tonight. For this particular application if the
22 road is punched through at which time the Williamson's would have to create a stub to
the adjacent properties for future development. That would be the big change if the
24 commission decides to punch it through and stick with the master plan and deny the next
item on the agenda which would decrease the size of the lots. Commissioner McDonald
26 asked what the frontage is. Mr. Van Wagenen stated it is a 50 ft. right of way.
Commissioner Kallas asked what the layout is of the road to the north. Mr. Van Wagenen
28 stated that is a private driveway.

30 **Blake Spencer:** Mr. Spencer asked about the house on the left side of the proposed road
and if the clearance from that house to the road is legal. Mr. Van Wagenen stated that
32 technically it is not. Mr. Spencer mentioned that years ago Robert Mathews set aside
some ground on the north side to add to the road if the road went through which would
34 give them another 15 ft. away from that house. He noted that way there would be another
lot on the back of the Mathew's house. Mr. Spencer commented that he feels there is
36 some confusion between Patty Jo Toomer and what he just described because he assumed
Mrs. Toomer knew this because they agreed. He noted on the master plan there is about
38 12 ft. on the other side of the street that would make the house and the road legal; that is
why they did this so that the Mathews could have a lot on the extreme east end of their
40 property. That tells us they had originally planned to move that road back to the lot and it
would be on his boundary line.

42
Mr. Van Wagenen commented that they need 110 ft. between houses on corner
44 lots so if this road goes in there may be some variances granted to the side yard setback
of the two existing homes. Mr. Dudley stated it appears there needs to be some plans of
46 what is going to happen to those lots. Concerning what happens to the road before the
subdivision is built and to cut off a road that may work out better because when you look
48 at what the landowners want it may change things.

2 Mr. Van Wagenen agrees that certainly some discussion amongst the neighbors
would be beneficial concerning the roadway, but for tonight's purposes it is not a
4 question of whether the road exists or not but whether the connection is made; whether
there is revamping of the road itself on the street master plan would be a topic for another
6 meeting. Chairperson Call commented if the Commission approves the subdivision
tonight it will not affect the existence of the road itself but only the connection.
8 Commissioner Marchbanks commented that it would be subject to the street master plan
being amended. He added he is comfortable approving this item. Commissioner
10 McDonald agreed the cul-de-sac makes more sense. Chairperson Call commented that it
appears some of the property line issues need to be worked out. Commissioner
12 Marchbanks pointed out that the property line issues have nothing to do with this
subdivision plat.

14
Patches Hansen: Ms. Hansen expressed that she feels that someone should meet with
16 Mrs. Toomer to address these issues as she is in the rehab facility for another month. She
thinks that Mrs. Toomer would be willing to meet with them at the facility.

18
Rob Colby: Mr. Colby asked if the decision on whether the road goes through is up to
20 Mrs. Toomer. Mr. Van Wagenen stated that ultimately it is a Planning Commission and
City Council decision.

22
Blake Spencer: Mr. Spencer pointed out if the road goes through or there is a cul-de-sac
24 there it will not affect the Toomer property at all. He added if the road is eliminated his
property would be completely landlocked.

26
Commissioner Kallas said he feels we can move on this item because it will be
28 conditioned upon approval of the street master plan. Chairperson Call stated the choices
we have tonight is that we can approve the subdivision and continue the next agenda item
30 or continue the subdivision.

32 Mr. Van Wagenen clarified that any approval granted tonight that the Planning
Commission has the ability to put conditions on that approval and if those conditions are
34 not met the subdivision does not move forward and is put on hold until that matter gets
resolved. There was then some general discussion regarding this issue. Chairperson Call
36 expressed her perception noting she would suggest approving the subdivision and then
possibly continue the next item.

38 Commissioner Wily expressed his view stating he feels the Commission could
move to approve the subdivision and if the Commission feels the connection is necessary
40 to also move to approve the next agenda item. Commissioner Marchbanks agreed with
that statement.

42 Chairperson Call asked if there were any further questions or comments from the
Commission. Hearing none she called for a motion.

44 COMMISSIONER MCDONALD MOVED TO APPROVE THE APPLICANT'S
REQUEST FOR APPROVAL OF A TEN LOT RESIDENTIAL SUBDIVISION TO BE
46 KNOWN AS WILLIAMSON FARMS PLAT A WITH THE CONDITION THAT THE
STREET MASTER PLAN AMENDMENT BE APPROVED AT 350 EAST 500

2 NORTH. COMMISSIONER KELLER SECONDED THE MOTION. THE VOTE WAS
RECORDED AS FOLLOWS:

4 CHAIRPERSON CALL AYE
COMMISSIONER KALLAS AYE
6 COMMISSIONER MARCHBANKS AYE
COMMISSIONER WILY AYE
8 COMMISSIONER MCDONALD AYE
COMMISSIONER KELLER AYE

10 THE MOTION CARRIED UNANIMOUSLY.

12 6. **Public Hearing — Street Master Plan Amendment (Approx. 350 East 500**
North). Robert Williamson requests preliminary approval of a proposed
14 amendment to the Lindon City Street Master Plan Map to remove a master
planned road connection located at approximately 350 East 500 North in the
16 Single Family Residential (R1-20) zone. The road connection was planned to
connect future 500 North Street from 200 East with the proposed 350 East Street.

18 COMMISSIONER KALLAS MOVED TO OPEN THE PUBLIC HEARING.
20 COMMISSIONER WILY SECONDED THE MOTION. ALL PRESENT VOTED IN
FAVOR. THE MOTION CARRIED.

22
Mr. Van Wagenen gave an overview explaining the applicant is requesting
24 preliminary approval of a Street Master Plan Map amendment to remove the master
planned road connection in question located at approximately 350 East 500 North in the
26 R1-20 zone. If eliminated, the connection limits traffic circulation and creates a cul-de
sac on the future 500 North Street and eliminating the connection also provides one
28 additional lot to the Williamson Farms Subdivision. He noted the street in question is
designated as a local street on the Plan.

30 Mr. Van Wagenen then referenced the relevant General Plan policies to consider
in determining whether the requested change will be in the public interest:

- 32 a) It is the “purpose of the transportation plan is to balance future demands
generated by the Land Use element with future roadway improvements, thereby
34 developing a long-range transportation system plan which would efficiently
support future land development.”
- 36 b) The Street Plan states the “inherent in a long-range projection is the potential for
variation due to unforeseen economic, political, social, and technological
38 changes.”
- 40 c) “The goal of the transportation plan is to have a balanced circulation system
which provides for safe and efficient movement of vehicles.”
- 42 d) “Planning shall minimize localized traffic congestion and operational problems
and ensure adequate access to and circulation around commercial areas.”

44 Mr. Van Wagenen stated staff does not feel this proposal will materially affect the
purpose of the Plan. He then referenced the aerial photo of the proposed area where the
46 street is planned with affected properties identified. Mr. Van Wagenen also emphasized
one point that access will not be affected by this connection removal.

48

2 COMMISSIONER MCDONALD AYE
COMMISSIONER KELLER AYE
4 THE MOTION CARRIED UNANIMOUSLY.

6 7. **Training Session— LUAU (Land Use Academy Utah).** Lindon City
Community Development Planning Director, Hugh Van Wagenen, will discuss
8 with the Planning Commission the recent launch of the instructional LUAU Land
Use Academy Utah.

10
12 Mr. Van Wagenen led this training session by explaining the Land Use Academy
of Utah (LUAU) was funded by the Utah State Legislature and created by a consortium
14 of public and private sectors to provide uniform professional education to the state’s civic
leaders and the general public. Mr. Van Wagenen went on to give a brief overview of the
website with the Planning Commission followed by discussion.

16 Chairperson Call called for any questions or comments from the commission.
Hearing none she moved on to the next agenda item.

18
20 8. **New Business: Reports by Commissioners –**

22 Chairperson Call called for any new business or reports from the Commission.
Commissioner Wily mentioned that he attended the recent symposium panel where they
had discussion about the certainty of growth in Utah County which was very beneficial.
24 He noted that Robert Grow was the keynote speaker.

26 9. **Planning Director Report–**

28 Mr. Van Wagenen reported on the following items followed by discussion:

- 30 • Ivory Anderson Farms Update passed 4 to 1 and approved at 380 units that
reduced the park by 5 acres and the removal of Club Ivory.
- MS Properties General Plan Request Update
- 32 • Wadley Farms Tour: Date March 8th before the meeting.

34 Chairperson Call called for any further comments or discussion. Hearing none she
called for a motion to adjourn.

36
38 **ADJOURN –**

COMMISSIONER KALLAS MADE A MOTION TO ADJOURN THE
MEETING AT 9:05 P.M. COMMISSIONER KELLER SECONDED THE MOTION.
40 ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

42 Approved – March 8, 2016

44
46 _____
Sharon Call, Chairperson

48 _____
Hugh Van Wagenen, Planning Director

2 The Lindon City Council and Lindon City Planning Commission held a Joint Work
Session Tour on **Tuesday, March 8, 2016 at 6:00 p.m.** at Wadley Farms located at 35 E
400 N, Lindon, UT 84042.

4 **WORK SESSION TOUR** – 6:00 P.M.

6 Conducting: Hugh Van Wagenen, Planning Director

8 **PRESENT**

10 **City Council members**

12 Matt & Noreen Bean
Randi Powell
14 Carolyn Lundberg
Van Broderick

16 **Planning Commission members**

18 Sharon & John Call
Rob & Janeal Kallas
20 Bob & Pam Wily
Matt & Shauna McDonald
22 Mike & Connie Marchbanks
Charlie & Amie Keller

24 **Staff members**

26 Hugh Van Wagenen, Planning Director
Brandon Snyder, Associate Planner

28 **Other Attendees**

30 Coach Lavelle & Patti Edwards
Dr. Alan & Chris Colledge

- 32 1. **Work Session Tour**— The City Council and Planning Commission will tour the
34 recent Castle addition to the Historic Wadley Farms located at 35 East 400 North in
Lindon, Utah.

36
38 Hugh Van Wagenen, Planning Director, explained the purpose of this joint work
session tour is for the City Council and Planning Commission to experience a mobile tour
of the Historic Wadley Farms, specifically the recent castle addition to the facility.

40 The Group then toured the Wadley Farms facility with Dr. & Mrs. Alan Colledge
giving the tour and providing the history of the farm and the buildings including the most
42 recent addition of the castle reception building. The group was also treated to
refreshments provided by Alan and Chris Colledge.

44 Mr. Van Wagenen thanked Mr. & Mrs. Colledge for the tour of their facility and
for their hospitality. He also made mention of the city's appreciation of having Historic
46 Wadley Farms located in Lindon City and for being a part of Lindon City's heritage for

2 so many years. He then thanked the City Council and Planning Commission members
for their attendance.

4 **Adjourn** – The work session tour was adjourned at 7:00 p.m.

6

Approved – April 12, 2016

8

10

Kathryn Moosman, City Recorder

12

14

Van Broderick, Mayor Pro tem

16

18

Sharon Call, Chairperson

20

Item 3: Public Comment

1 - Subject _____
Discussion

2 - Subject _____
Discussion

3 - Subject _____
Discussion

Item 4: Continued Public Hearing — Street Master Plan Map Amendment Approx. 350 East 500 North

Applicant: Robert Williamson
Presenting Staff: Hugh Van Wagenen

General Plan: Residential Single Family
Current Zone: R1-20

Property Owners: David & Barbara Spencer;
Williamson West Haven LLC
Address: ~350 East 500 North
Parcel ID: 14:071:0139, 14:071:0115, 14:071:0116

Type of Decision: Legislative
Council Action Required: Yes

SUMMARY OF KEY ITEMS

1. Whether to recommend approval to the City Council to remove the identified road connection from the Street Master Plan.

Ordinance: # 2016-11-O

MOTION

I move to recommend to the City Council (*approval, denial, continuance*) of the applicant's request to remove the street connection identified at approximately 350 East 500 North from the Street Master Plan with the following conditions (if any):

- 1.

OVERVIEW

The applicant requests approval of a Street Master Plan Map amendment to remove a master planned road connection located at approximately 350 East 500 North in the R1-20 zone. If eliminated, the connection limits traffic circulation and creates a cul-de sac on the future 500 North street. Eliminating the connection also provides one additional lot to the Williamson Farms Subdivision.

PREVIOUS MEETING

This item was first considered in February of this year. At that meeting there was concern voiced from representatives of the Toomer property located to at the 200 East connection of the future 500 North roadway. Based on these concerns, the Commission moved to continue the item so that the affected parties could get together and work out a mutually agreeable solution. However, no such solution has been agreed upon.

PROPERTY OWNERS' POSITIONS

Staff has been in contact with the property owners who are affected by the planned roadway. Below is a summary of those positions as staff understands them.

Williamson: The Williamson property is highlighted in the image below. Mr. Williamson would still like the connection from his property to be eliminated but does not want the road to go away completely from its 200 East connection.

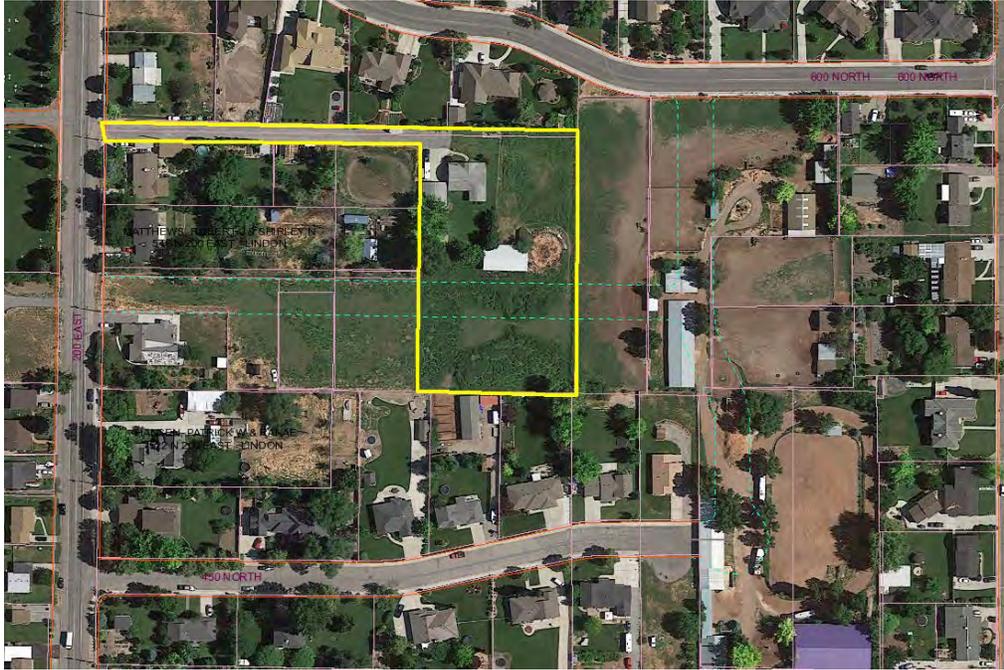


Toomer: The Toomer property is highlighted in the image below. Ms. Toomer would like to see the road eliminated and has applied for a Street Master Plan Map amendment indicating as much. If access is needed to develop the Spencer property, she would prefer that access to come from the Williamson property. Please see the attached letter from Ms. Toomer.

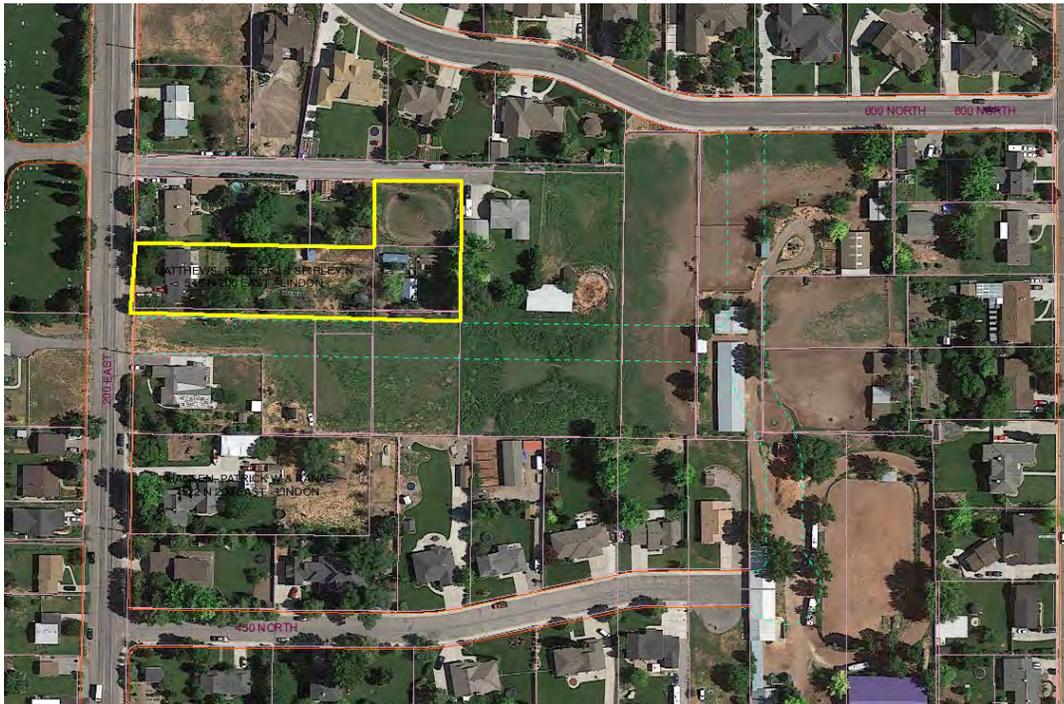


Spencer: The Spencer property is highlighted in the image below. Mr. and Mrs. Spencer have spoken with staff and provided a letter regarding their position (attached). They want to

preserve the ability to develop their property and the road is essential to do so. They do not need the entire road to be built, but need access from either the Toomer property or the Williamson property and need that to be preserved in some fashion.



Matthews: The Matthews property is highlighted in the image below. Staff has spoken to Robert Matthews who is the family representative on the property. Although the future road would be required for additional development on the property, Mr. Matthews did not express a concern one way or another if the road were to stay or be eliminated.



DRAWINGS OF POTENTIAL DEVELOPMENT OPTIONS

Please see attached drawings for how the Spencer property could potentially develop if a connection from either side of 500 North is eliminated.

FINDINGS OF FACT

1. The street in question is designated as a local street on the Plan.
2. The street was called out as a future road in the 2006 General Plan but may have been considered well before that.

ANALYSIS

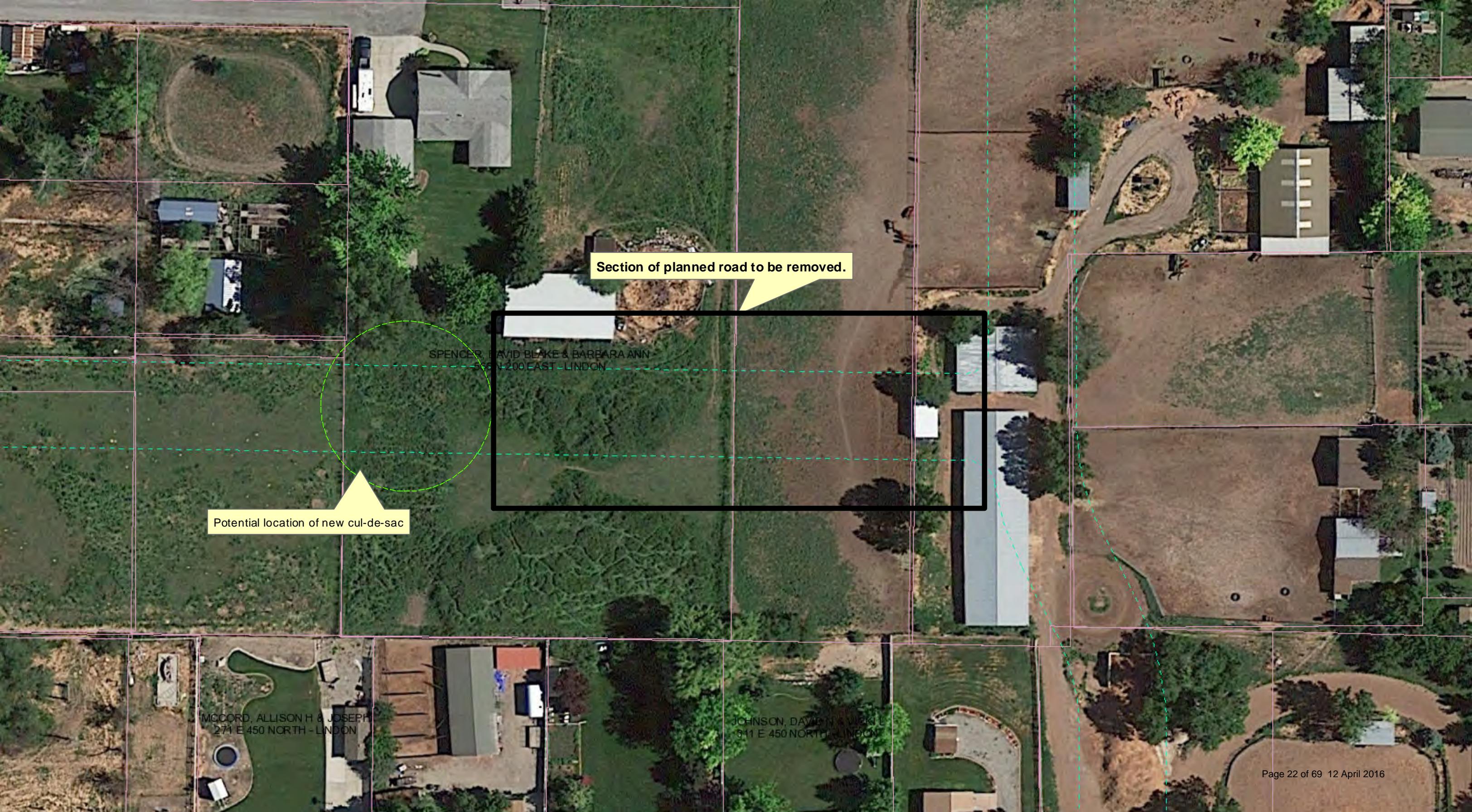
1. Relevant General Plan policies to consider in determining whether the requested change will be in the public interest:
 - a. It is the “purpose of the transportation plan...to balance future demands generated by the Land Use element with future roadway improvements, thereby developing a long-range transportation system plan which would efficiently support future land development.”
 - b. The Street Plan states the “inherent in a long-range projection is the potential for variation due to unforeseen economic, political, social, and technological changes.”
 - c. “The goal of the transportation plan is to have a balanced circulation system which provides for safe and efficient movement of vehicles...”
 - d. “Planning shall minimize localized traffic congestion and operational problems and ensure adequate access to and circulation around commercial...areas...”
2. *Staff recommends that no change in the Master Plan be recommended at this time as the affected property owners have not come to an agreement on how the future road should change.*

MOTION

See above.

ATTACHMENTS

1. Aerial photo of the proposed area where the applicant is requesting the street connection to be removed
2. Development options if future road is eliminated
3. Patti Jo Toomer Letter
4. Blake and Barbara Spencer Letter



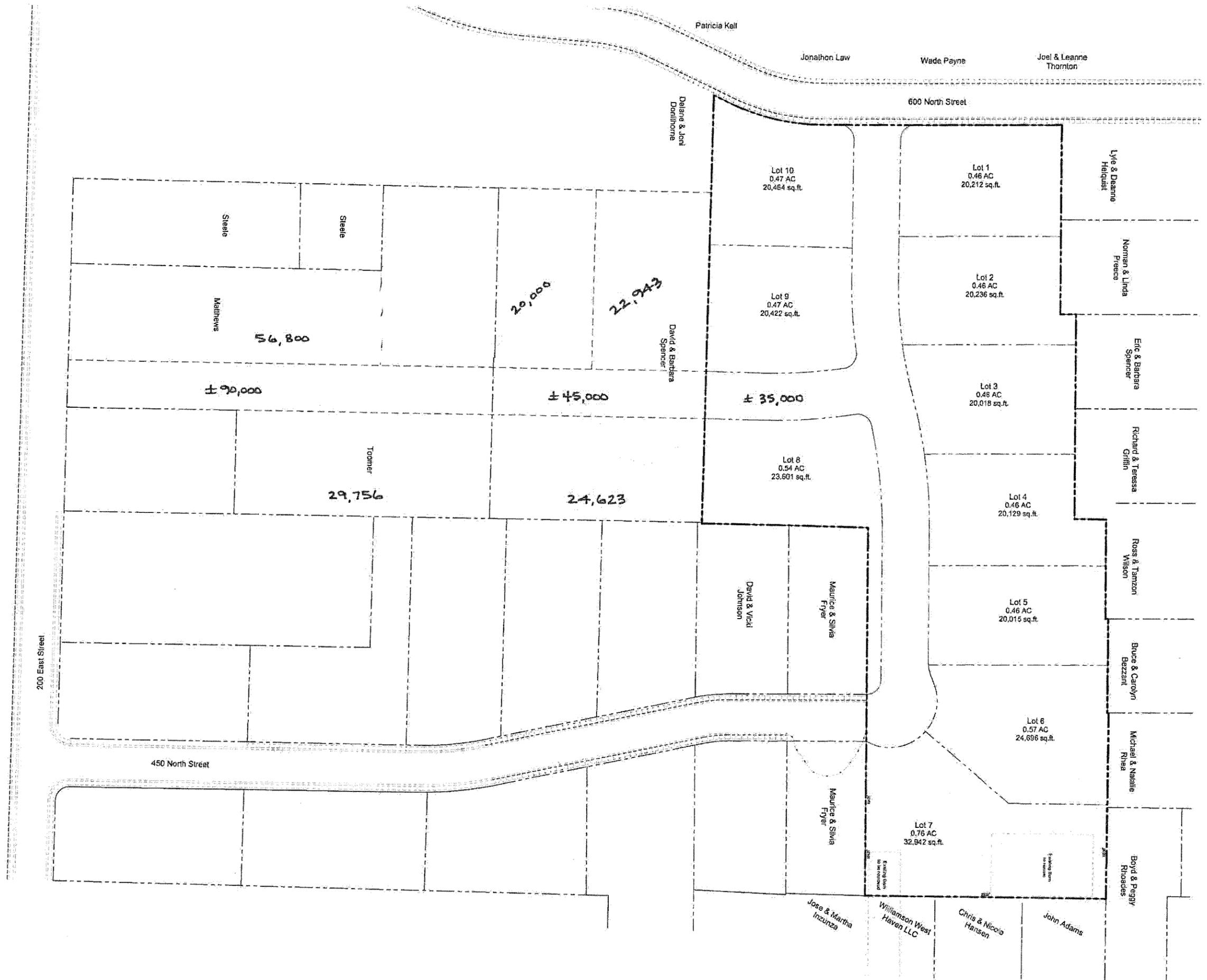
Section of planned road to be removed.

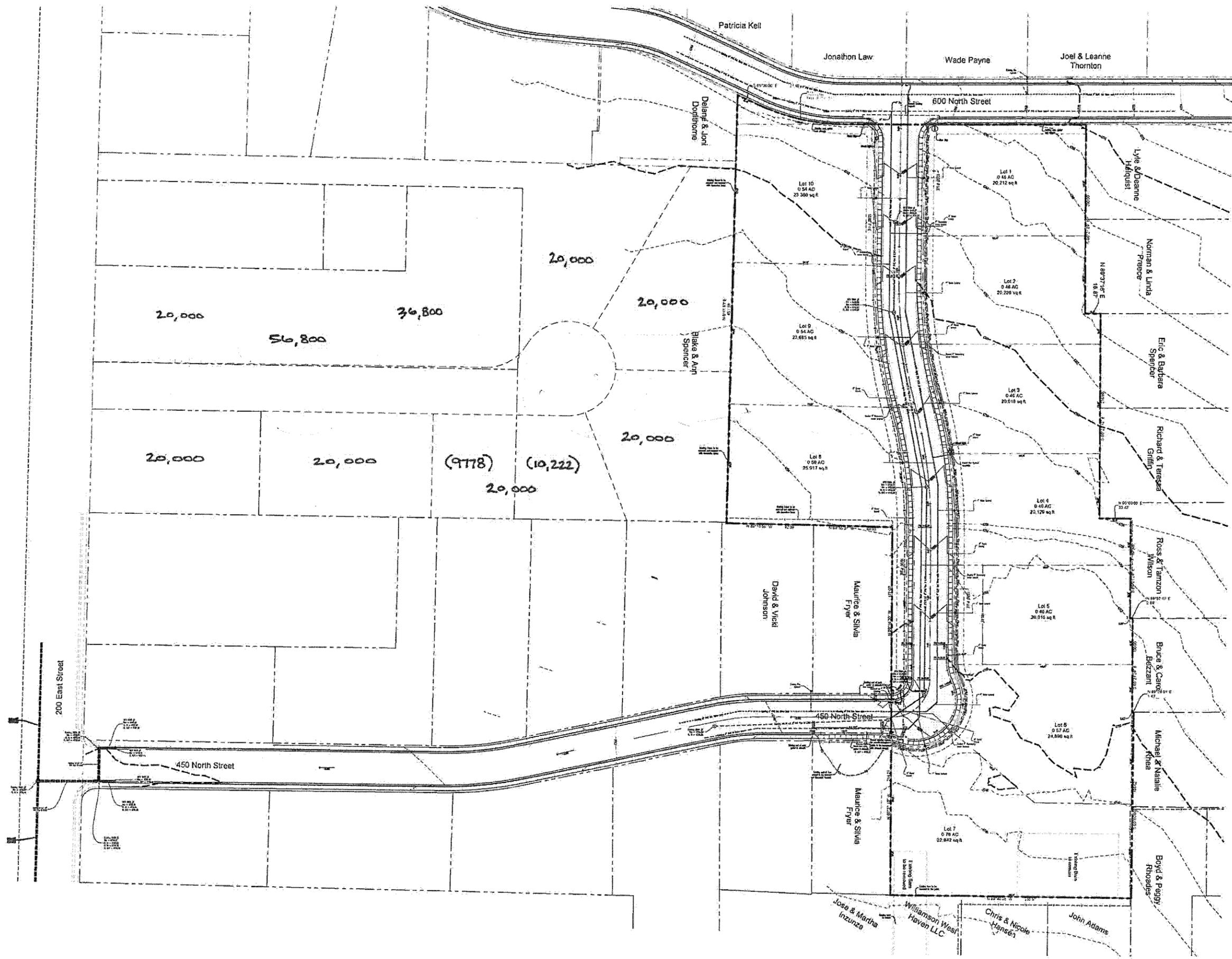
SPENCER, DAVID BLAKE & BARBARA ANN
366 N 200 EAST - LINDON

Potential location of new cul-de-sac

MCCORD, ALLISON H & JOSEPH
271 E 450 NORTH - LINDON

JOHNSON, DAVID N & WICKI L
511 E 450 NORTH - LINDON





Patti Jo Toomer
1415 E 300 S
Pleasant Grove, UT 84062

March 3, 2016

Lindon City Planning Department
100 North State Street
Lindon, Utah 84042

Dear Planning Commission,

I hereby state my objection to the proposed east-west road through my property to provide access to the proposed cul-de-sac west of the Williamson Farms Subdivision.

One of the options for the Williamson Farms Subdivision shows the east-west road remaining between lot 8 and lot 9. I propose that that road be used for access to the proposed cul-de-sac to be developed on the Blake Spencer property, thereby leaving my property as is.

Concern has also been expressed regarding access to the Matthews property. That property could be accessed via Blake Spencer's existing private lane running from 200 East.

Additionally, the only contact I have had from the private parties involved was a short visit by Blake Spencer before the recent city council meeting. I appreciated Hugh Van Wagenen and Brandon taking time to visit with me in the rehab center. However, my daughter was informed in the previous council meeting that we would have a meeting of all parties involved. I don't believe any action should be taken until that meeting takes place.

Sincerely,



Patti Jo Toomer

Community Development
Lindon City

MAR 04 2016

RECEIVED

Community Development
Lindon City

APR 04 2016

RECEIVED

April 4, 2016

Dear Lindon City Planning Committee,

I, David Blake Spencer and my wife Barbara Ann Spencer are unable to attend the planning meeting being held on the 12th day of April 2016.

We are concerned that the road on the city master plan has been requested to be eliminated. We do not want that to happen because this would land lock our property and eliminate the possibilities of ever being able to develop it.

We ask that you seriously consider our concerns.

We appreciate all you do.

Sincerely,

*David Blake Spencer
Barbara Ann Spencer*

Item 5: Public Hearing — Street Master Plan Map Amendment Approx. 200 East 500 North

Applicant: Patti Jo Toomer
Presenting Staff: Hugh Van Wagenen

General Plan: Residential Single Family
Current Zone: R1-20

Property Owners: David & Barbara Spencer;
Williamson West Haven LLC; Pattie Jo Toomer
Address: ~350 East 500 North
Parcel IDs: 14:071:0139, 14:071:0115,
14:071:0116, 14:071:0087, 14:071:0114,
14:071:0089, 14:071:0212

Type of Decision: Legislative
Council Action Required: Yes

SUMMARY OF KEY ITEMS

1. Whether to recommend approval to the City Council to remove the identified road from the Street Master Plan.

Ordinance: # 2016-12-0

MOTION

I move to recommend to the City Council (*approval, denial, continuance*) of the applicant's request to remove the street connection identified at approximately 350 East 500 North from the Street Master Plan with the following conditions (if any):

- 1.

OVERVIEW

The applicant requests approval of a Street Master Plan Map amendment to remove a master planned road located at approximately 200 East 500 North in the R1-20 zone. If eliminated, the amendment limits development of the Spencer and possibly Matthews properties. This application was submitted in response to the Williamson Farms subdivision proposal to eliminate the road connection from 350 East. The applicant does not wish any roadway to come through her property.

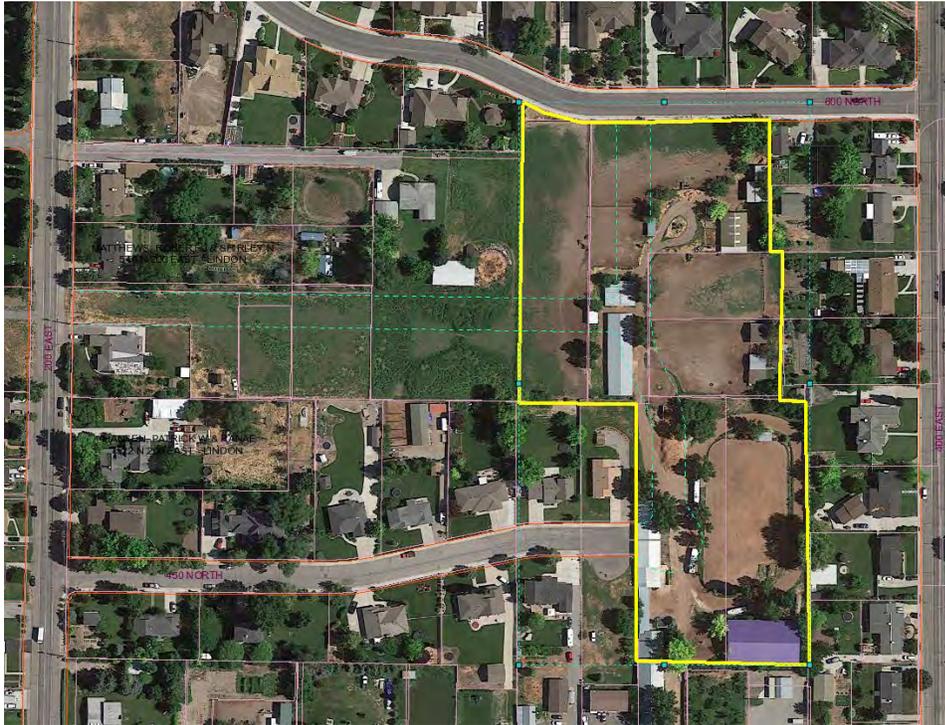
PROPERTY OWNERS' POSITIONS

Staff has been in contact with the property owners who are affected by the planned roadway. Below is a summary of those positions as staff understands them. No agreement on any future change to the roadway has been agreed upon by the affected parties.

Toomer: The Toomer property is highlighted in the image below. Ms. Toomer would like to see the road eliminated and has applied for a Street Master Plan Map amendment indicating as much. If access is needed to develop the Spencer property, she would prefer that access to come from the Williamson property. Please see the attached letter from Ms. Toomer.

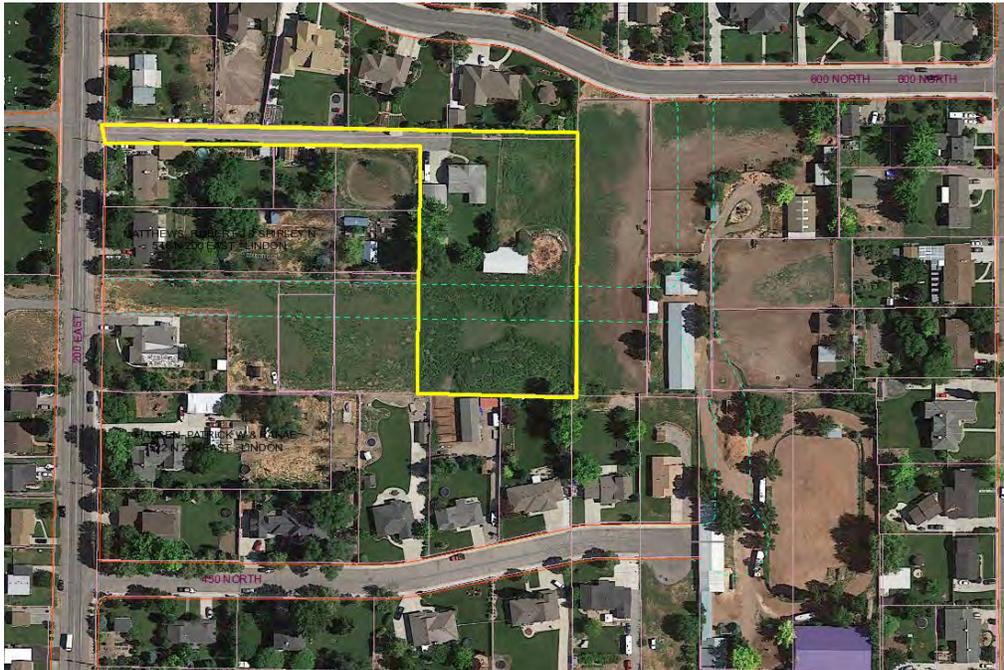


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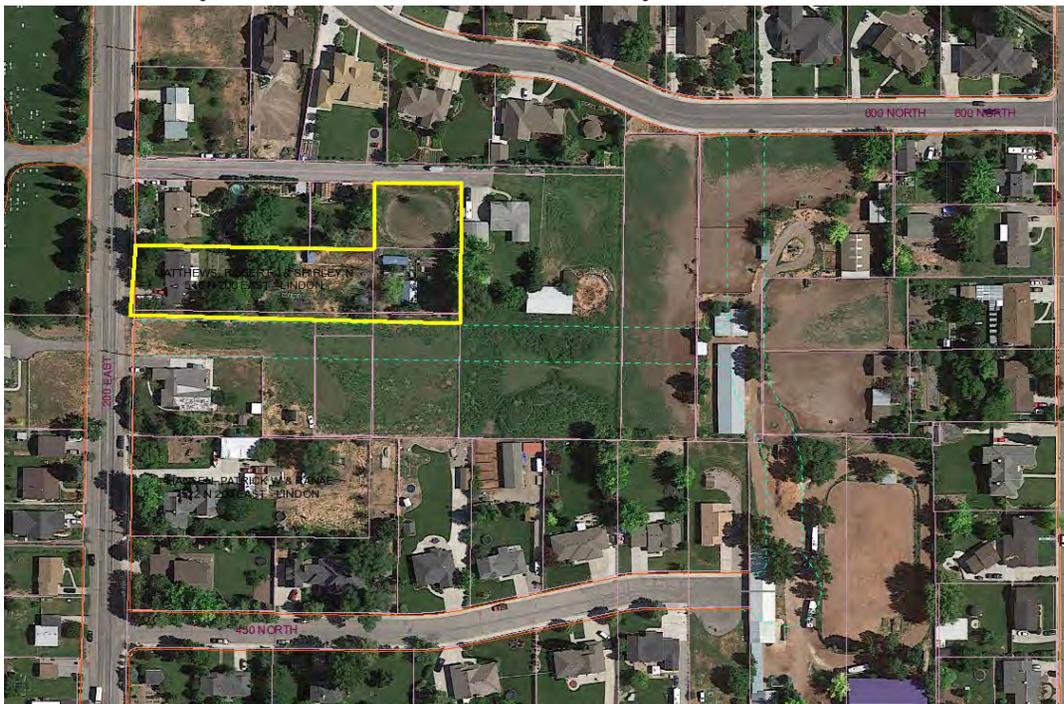


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the entire road to be built, but need access from either the Toomer property or the Williamson property and need that to be preserved in some fashion.



Matthews: The Matthews property is highlighted in the image below. Staff has spoken to Robert Matthews who is the family representative on the property. Although the future road would be required for additional development on the property, Mr. Matthews did not express a concern one way or another if the road were to stay or be eliminated.



DRAWINGS OF POTENTIAL DEVELOPMENT OPTIONS

Please see attached drawings for how property in the area could potentially develop with the road in place or if a connection from either side of 500 North is eliminated.

FINDINGS OF FACT

1. The street in question is designated as a local street on the Plan.
2. The street was called out as a future road in the 2006 General Plan but may have been considered well before that.

ANALYSIS

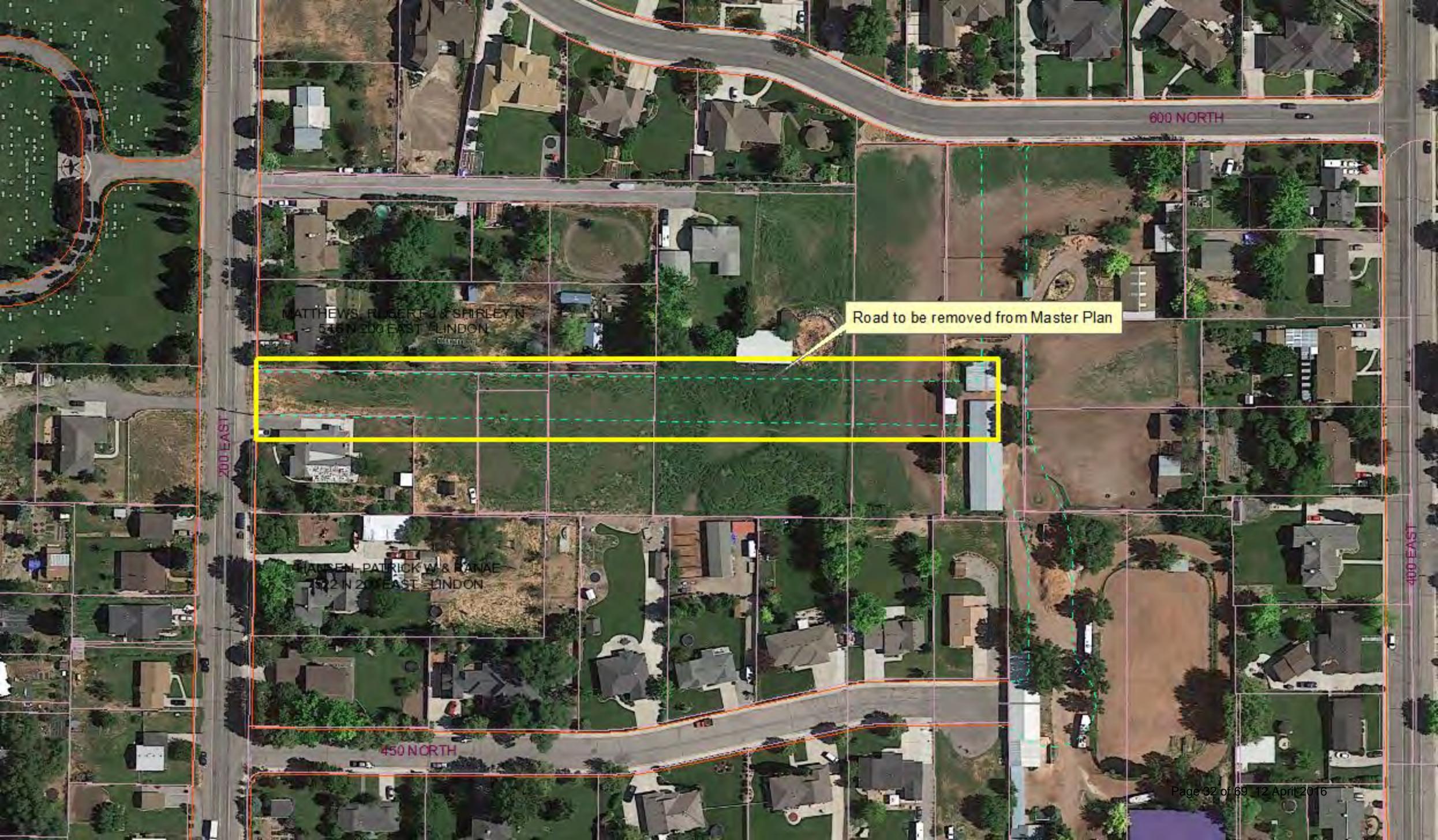
1. Relevant General Plan policies to consider in determining whether the requested change will be in the public interest:
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 - b. The Street Plan states the “inherent in a long-range projection is the potential for variation due to unforeseen economic, political, social, and technological changes.”
 - c. “The goal of the transportation plan is to have a balanced circulation system which provides for safe and efficient movement of vehicles...”
 - d. “Planning shall minimize localized traffic congestion and operational problems and ensure adequate access to and circulation around commercial...areas...”
2. *Staff recommends that no change in the Master Plan be recommended at this time as the affected property owners have not come to an agreement on how the future road should change.*

MOTION

See above.

ATTACHMENTS

1. Aerial photo of the proposed area where the applicant is requesting the street to be removed
2. Development options if future road is eliminated
3. Patti Jo Toomer Letter
4. Blake and Barbara Spencer Letter



MATTHEWS, ROBERT J & SHIRLEY N
516 N 200 EAST BLINDON

HAUSEN, PATRICK W & RANAE
1522 N 200 EAST BLINDON

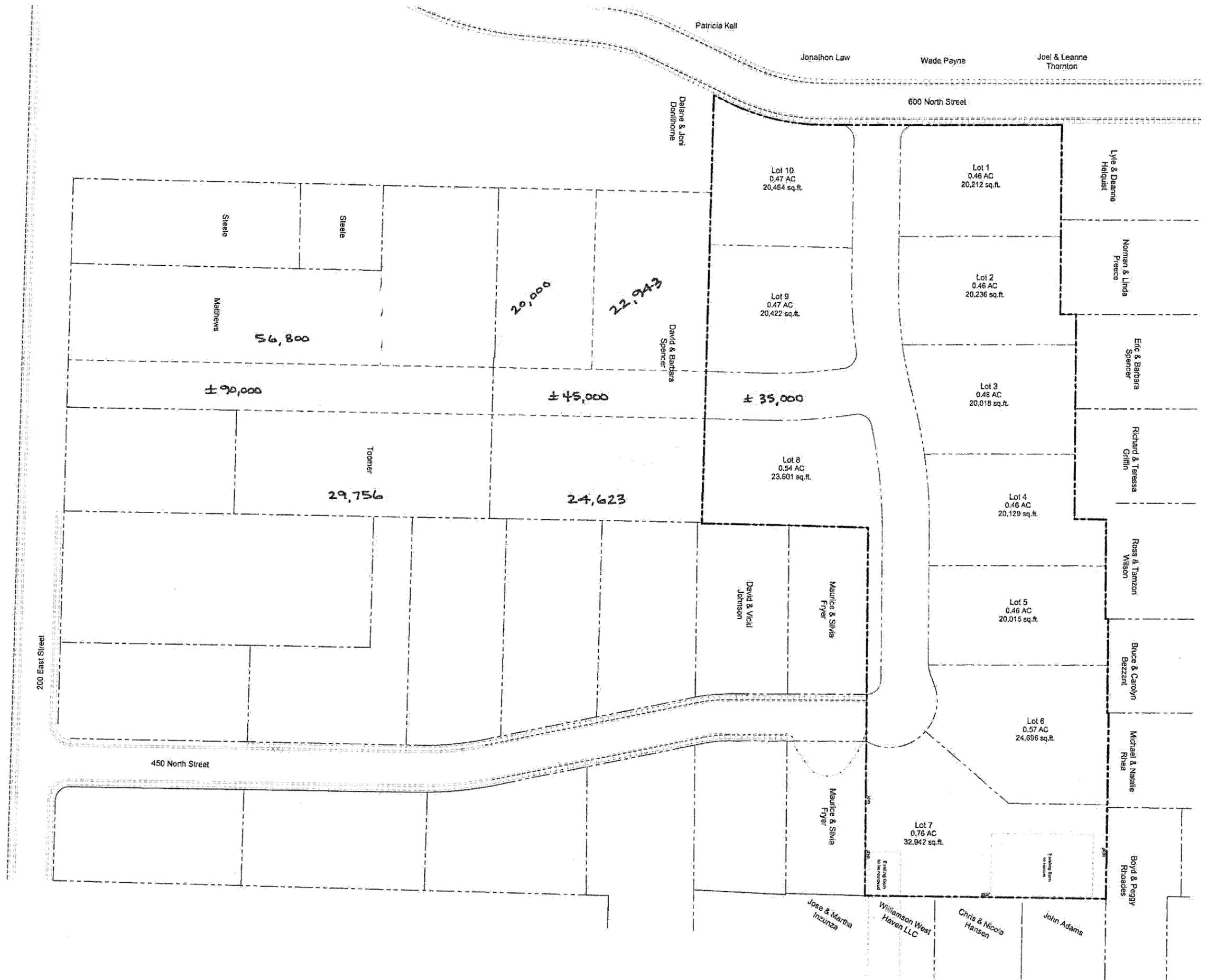
Road to be removed from Master Plan

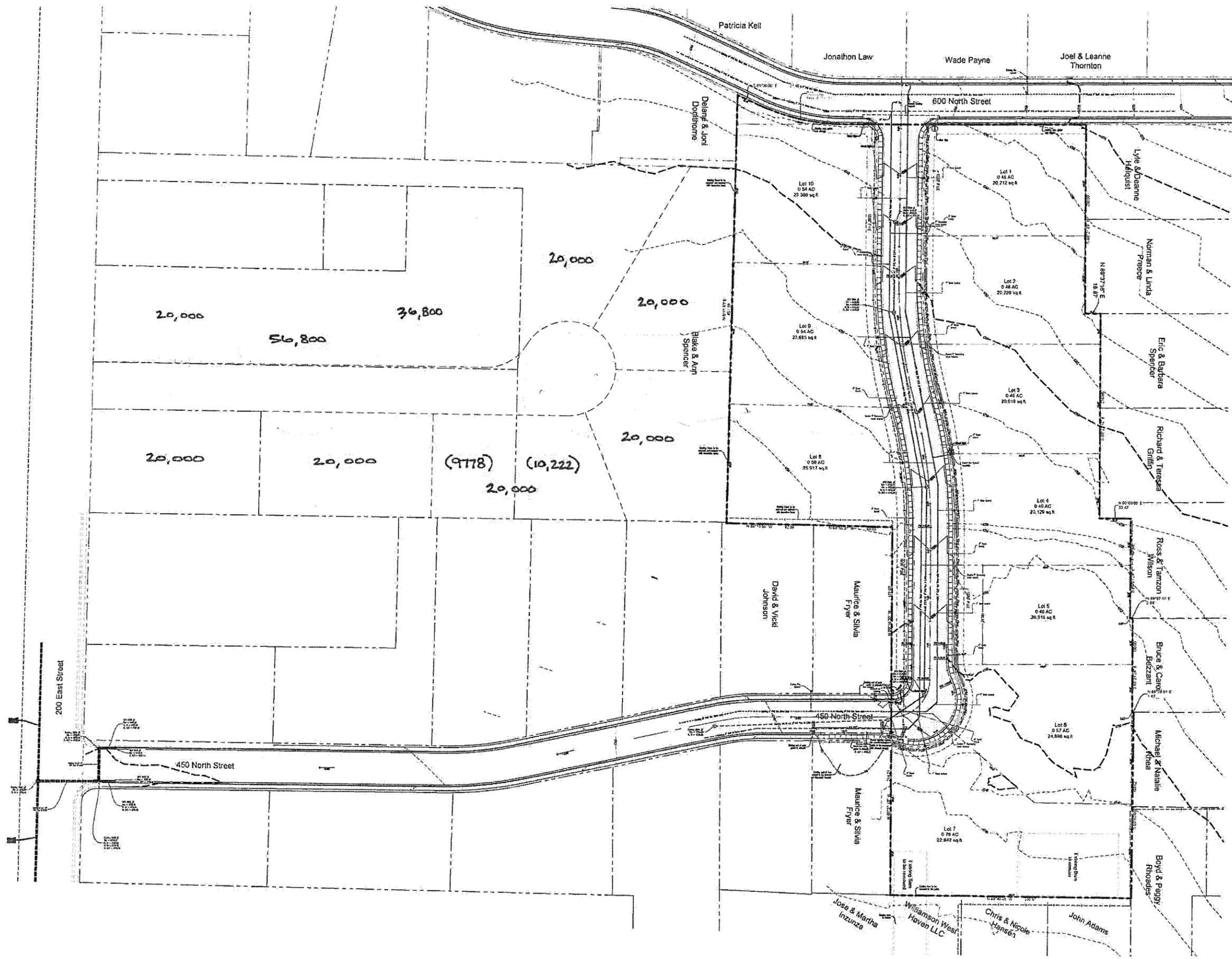
200 EAST

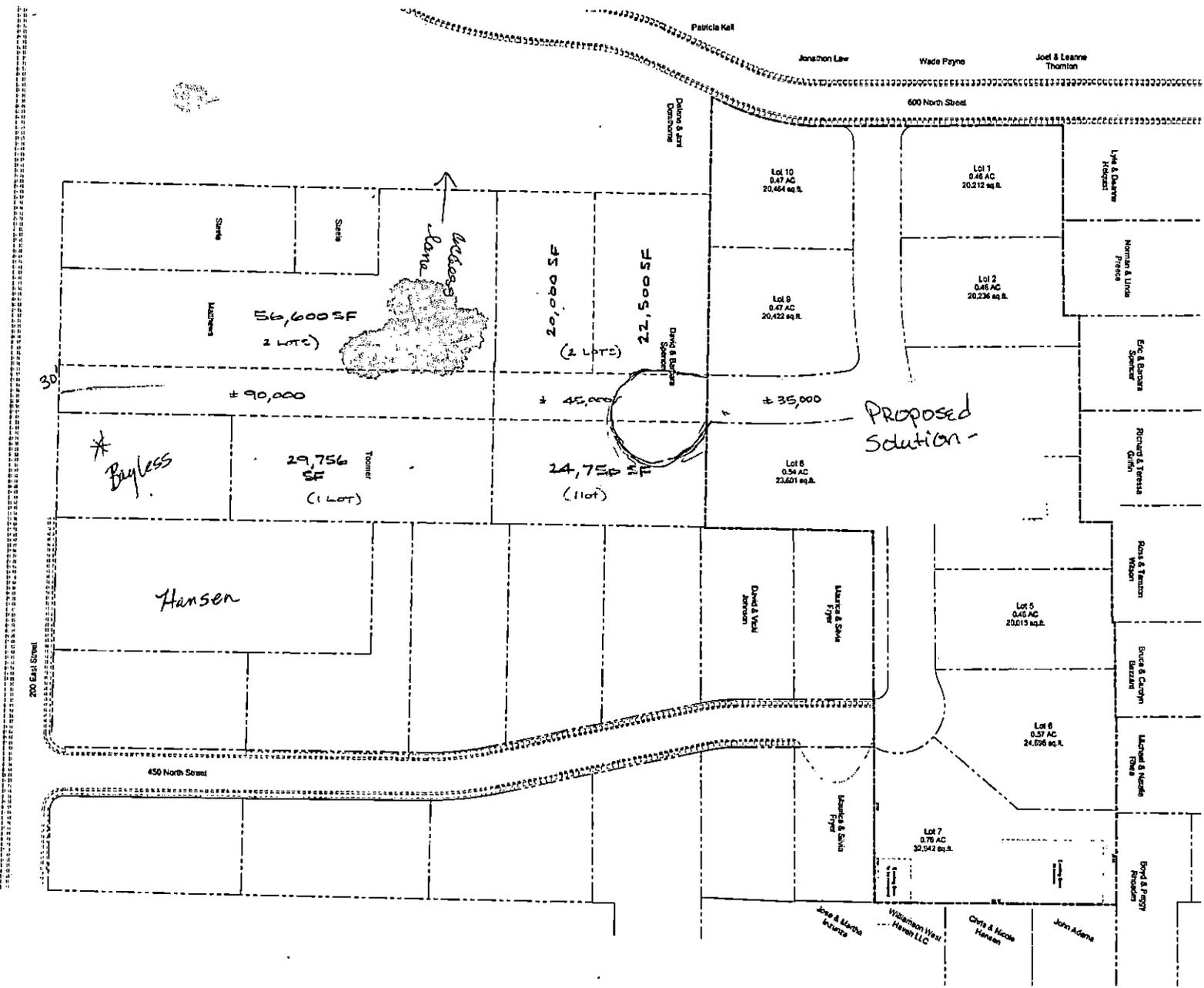
450 NORTH

600 NORTH

400 EAST







Patti Jo Toomer
1415 E 300 S
Pleasant Grove, UT 84062

March 3, 2016

Lindon City Planning Department
100 North State Street
Lindon, Utah 84042

Dear Planning Commission,

I hereby state my objection to the proposed east-west road through my property to provide access to the proposed cul-de-sac west of the Williamson Farms Subdivision.

One of the options for the Williamson Farms Subdivision shows the east-west road remaining between lot 8 and lot 9. I propose that that road be used for access to the proposed cul-de-sac to be developed on the Blake Spencer property, thereby leaving my property as is.

Concern has also been expressed regarding access to the Matthews property. That property could be accessed via Blake Spencer's existing private lane running from 200 East.

Additionally, the only contact I have had from the private parties involved was a short visit by Blake Spencer before the recent city council meeting. I appreciated Hugh Van Wagenen and Brandon taking time to visit with me in the rehab center. However, my daughter was informed in the previous council meeting that we would have a meeting of all parties involved. I don't believe any action should be taken until that meeting takes place.

Sincerely,



Patti Jo Toomer

Community Development
Lindon City

MAR 04 2016

RECEIVED

APR 04 2016

RECEIVED

April 4, 2016

Dear Lindon City Planning Committee,

I, David Blake Spencer and my wife Barbara Ann Spencer are unable to attend the planning meeting being held on the 12th day of April 2016.

We are concerned that the road on the city master plan has been requested to be eliminated. We do not want that to happen because this would land lock our property and eliminate the possibilities of ever being able to develop it.

We ask that you seriously consider our concerns.

We appreciate all you do.

Sincerely,

*David Blake Spencer
Barbara Ann Spencer*

Item 6: Conditional Use Permit — Roach Weaver (R2 Overlay) 319 North 135 West

Ed Weaver and Richard Roach request conditional use permit and minor subdivision approval of an R2 Overlay project for a twin home to be located at 319 North 135 West in the Residential Single Family (R1-20) zone.

<p>Applicant(s): Edward and Donna Weaver & Richard and Carolynn Roach Presenting Staff: Brandon Snyder</p> <p>General Plan: Residential Low Zone: Single Family Residential (R1-20)</p> <p>Property Owner: Lindon City Corp. Address: 319 North 135 West Parcel ID: 35-677-0003 (Lot 3, Plat B, Bishop Corner Subdivision) Lot Size: 15,136 sq. ft. (0.3475 acres)</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none"> Whether to approve the applicant's request for a conditional use permit (R2 Overlay Project). Whether to impose reasonable conditions to mitigate potential detrimental impacts. Whether to approve the one (1) lot (with two (2) units and common area) residential subdivision in the Single Family Residential (R1-20) zone. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for a conditional use permit for the Roach Weaver Twin Home R2 Overlay Project and associated residential minor subdivision, to be known as the Roach-Weaver Twin Home Subdivision, Plat A, to be located at 319 North 135 West with the following conditions (if any):</p> <ol style="list-style-type: none">
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BACKGROUND

- The applicant proposes to construct a twin home on the lot located at 319 North 135 West.
- The proposal is to be regulated under Lindon City Code 17.46 R2 Overlay Zone.
- The purpose of the R2 Overlay Zone is to provide 'moderate income housing', as defined by the Utah State Code, and thereby achieve a reasonable opportunity for a variety of housing types, to meet the needs of people desiring to live and fully participate in all aspects of neighborhood and community life in Lindon. This Overlay zone establishes a place where, two (2) and three (3) family dwelling units can be constructed. It shall also be the purpose of this ordinance to establish a means whereby multi-family housing can be distributed throughout the City and throughout the individual R2 Overlay planning districts. Except for accessory apartments (either internal or detached), R2 Overlay projects and applications shall be considered a Conditional Use and regulated as such. (LCC Section 17.49.020).**

4. Unless specifically provided for otherwise in this chapter, R2 Overlay projects and accessory apartments are subject to the regulations of the underlying zoning district in which they are constructed. (LCC Section 17.46.025).



REVIEW PROCESS

DRC Review

The City Engineer and applicant are working through technical issues related to the proposal. City Staff will ensure all issues are resolved before final Engineering approval is granted.

Public Comment

Third party notices were mailed on March 31, 2016, to the adjoining property owners in accordance with Lindon City Code Section 17.14.50 Third Party Notice. Staff has received no public comment.

Table 1. Property Information (LCC Single Family Residential Chapter 17.44)

	Minimum Requirement	Proposed Site
Lot area	20,000 sq. ft.	15,136 sq. ft. (legal non-conforming lot of record)
Lot frontage (width at setback)	50 feet (100 feet)	106 feet (106 feet) Lot is 106' x 142'
Building height	Max 35 feet	17 feet
Parking	4	4
Building setbacks		
Front	30 feet	30 feet
Rear	30 feet	58.20 feet

Side	10 feet	10 feet (south)
Side	10 feet	24.64 feet (north)
Lot Coverage	Max 40%	21%

DISCUSSION

Landscaping Standards

Landscaping The required front setbacks, street-side yard setbacks, and all common areas shall be permanently landscaped.

Fencing Standards

Fencing A six foot (6') high sight obscuring fence shall be erected on the perimeter, except the front yard setback, of all R2 projects.

Architectural Standards

Architectural Styles and Treatments Maintain a single-family residential appearance for R2 multi-family projects. Earth tone colors and no more than one front door and garage facing the street.

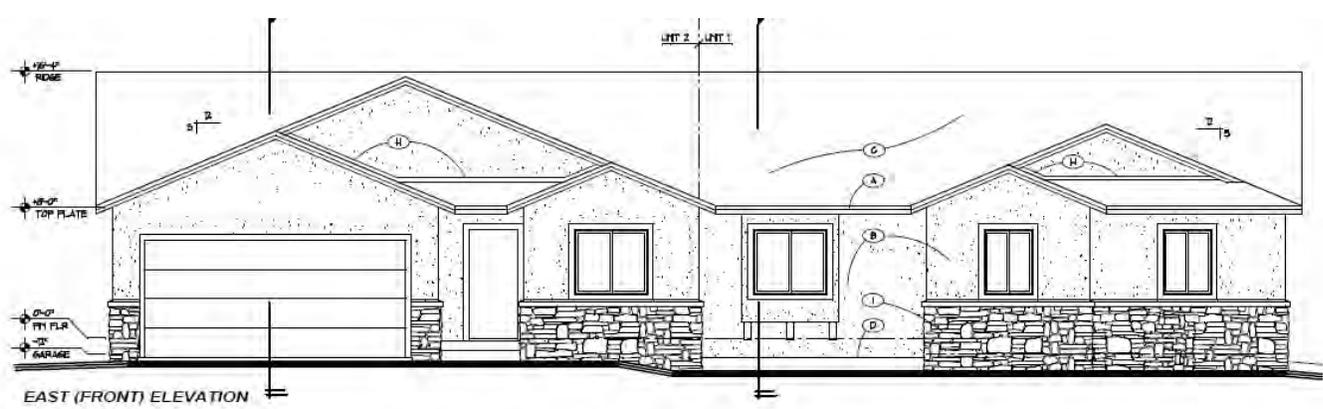
ANALYSIS

Applicable laws and standards of review

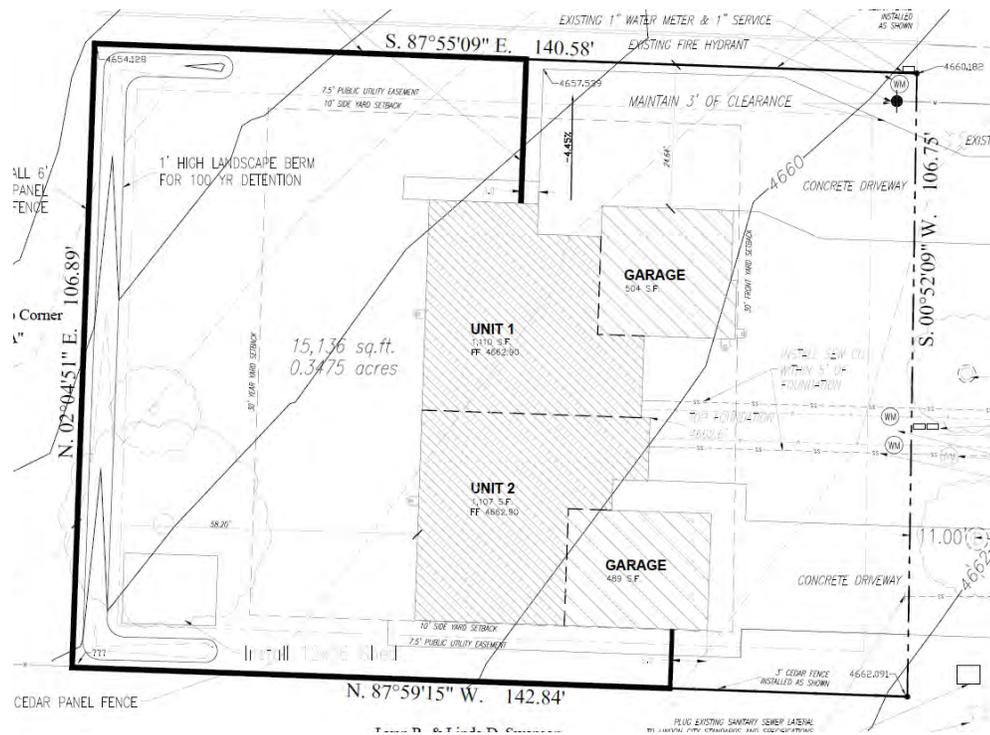
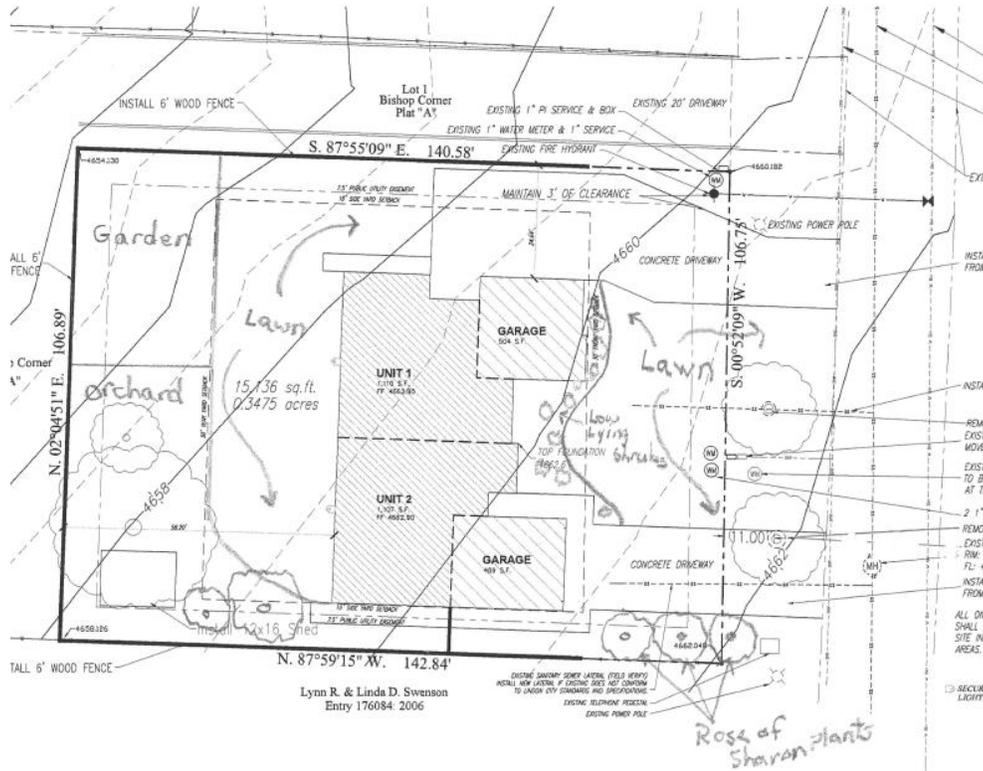
- State Code defines a conditional use as "a land use that, because of its unique characteristics or potential impact on the municipality, surrounding neighbors, or adjacent land uses, may not be compatible in some areas or may be compatible only if certain conditions are required that mitigate or eliminate the detrimental impacts."
- Section 10-9a-507 of the State Code requires municipalities to grant a conditional use permit "if reasonable conditions are proposed, or can be imposed, to mitigate the reasonably anticipated detrimental effects of the proposed use in accordance with applicable standards." Once granted, a conditional use permit runs with the land.
- State Code further provides that a conditional use permit application may be denied only if "the reasonably anticipated detrimental effects of a proposed conditional use cannot be substantially mitigated by the proposal or the imposition of reasonable conditions to achieve compliance with applicable standards." Utah Code § 10-9a-507.

ATTACHMENTS

- Proposed subdivision plat
- Front Elevation
- Landscape Plan
- Site Plan



Landscape Plan ROACH-WEAVER TWIN HOME



Item 7: Minor Subdivision — Virgil Allred Subdivision, Plat A 127 South 400 East

GayFawn Mikesell requests approval of a two (2) lot residential subdivision, including dedication of public right-of-way, at 127 South 400 East in the Single Family Residential (R1-20) zone.

<p>Applicant: GayFawn Mikesell Presenting Staff: Brandon Snyder</p> <p>General Plan: Residential Low Current Zone: Single Family Residential (R1-20)</p> <p>Property Owner: multiple (see below) Address: 127 South 400 East Parcel ID: multiple (see below) Lot Size: 1.584 acres Proposed Lot Sizes: Lot 1 (existing residence): 43,532 sq. ft. and Lot 2: 21,780 sq. ft. Lot Width: 112.3'</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <p>1. Whether to approve a two (2) lot residential subdivision in the Single Family Residential (R1-20) zone based on its compliance with requirements of the zone and all other applicable zoning regulations.</p> <p><u>MOTION</u> I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a two (2) lot residential subdivision, to be known as the Virgil Allred Subdivision, Plat A, with the following conditions (if any):</p> <ol style="list-style-type: none"> 1. 2. 3.
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BACKGROUND

1. This subdivision creates two residential lots from a previous parcel. Currently, the parent parcel is divided into multiple parcels due to unapproved divisions of land. This subdivision proposal will address and remedy those divisions. The multiple parcels include: 14-073-0229: Lynne F and Melanie Mikesell, 14-073-0230: GayFawn A Mikesell, 14-073-0231: GayFawn A Mikesell, 14-073-0232: Virgil U Allred, and 14-073-0233: Virgil U Allred.
2. The proposal is south of the Leo Carter Subdivision, Plat A, and north of the Speed Subdivision, Plat A.

DISCUSSION & ANALYSIS

Lot Requirements

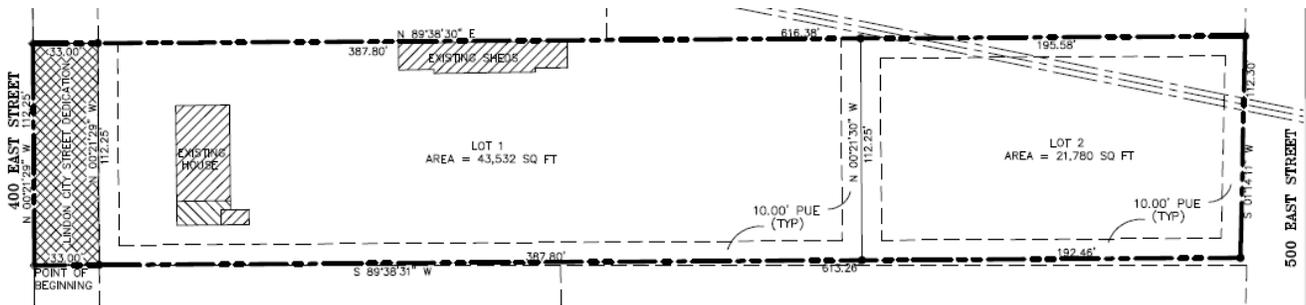
- Minimum lot size in the R1-20 zone is 20,000 square feet.
- Minimum lot width one hundred (100) feet (measured at front yard setback).
- Maximum lot width/depth ratio is no more than three times as long as it is wide. The Planning Commission may approve up to a 20% increase in depth if they determine that the proposal is the best use of the property and in the best interest to the City and surrounding properties. (The applicant is requesting an increase of 15% for Lot 1).
- Curb and gutter improvements already exist along the 500 East street frontage.
- Full improvements are required along the 400 East street frontage as well as the sidewalk along the 500 East street frontage.

Other Requirements

- Staff has determined that the proposed subdivision complies, or will be able to comply before final approval, with all remaining land use standards.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted.

ATTACHMENTS

1. Proposed subdivision.
2. Aerial photograph of the site.



Item 8: Plat Amendment — Lakeside Business Park, Plat B approx. 225 South I430 West

Rob Tubman, MS Properties, requests approval of a plat amendment to combine two subdivision lots. The proposed Lakeside Business Park, Plat B, includes a vacation of Lot 1, Plat A, Lakeside Business Park, and Parcel A, Plat A of the UDOT Questar Subdivision. The subdivision is located in the Light Industrial (LI) zone.

<p>Applicant: Rob Tubman, MS Properties Presenting Staff: Brandon Snyder</p> <p>General Plan: Light Industrial Current Zone: Light Industrial (LI)</p> <p>Property Owners: MS Business Properties Group 4 LLC Address: ~225 South 1430 West Parcel ID: 45-558-0001 & 57-072-0002 Proposed Lot Size: 7.22 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <p>1. Whether to approve the proposed plat amendment in the Light Industrial (LI) zone based on its compliance with requirements of the zone and all other applicable zoning regulations.</p> <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a plat amendment to vacate Lot 1, Plat A, Lakeside Business Park, and Parcel A, Plat A of the UDOT Questar Subdivision and create the Lakeside Business Park Subdivision, Plat B, with the following conditions (<i>if any</i>):</p> <p>1.</p>
--	---

SUMMARY

The applicant has requested that the two lots be combined into one. This is being done to accommodate an additional drive approach (access) to the site. The site plan (NuStar) was approved by the Planning Commission on July 14, 2015. The approved site plan indicated a fire department crash gate access in the NE corner. The proposal will allow for an additional drive approach (in the NE corner) for access and deliveries to the site.

DISCUSSION & ANALYSIS

Lot Requirements

- Minimum lot size in the LI zone is 1 acre.

Other Requirements

- Staff has determined that the proposed subdivision complies with all remaining land use standards.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted.

ATTACHMENTS

1. Approved Site plan.
2. Proposed subdivision.
3. Proposed access plan.

Item 9: Site Plan — 200 South Business Park, 1545 West 200 South

<p>Applicant: Trevor Sharp Presenting Staff: Hugh Van Wagenen</p> <p>General Plan: Light Industrial Current Zone: Light Industrial (LI)</p> <p>Property Owner: Windsor Ventures, LLC Address: 1545 West 200 South Parcel ID: 35:581:0001 Lot Size: 0.968 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether the request for site plan approval of a 8,016 square foot office/warehouse building complies with applicable land use requirements. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for site plan approval with the following conditions (if any):</p> <ol style="list-style-type: none">1.2.3.
--	---

BACKGROUND

1. The applicant proposes to construct a 8,016 square foot office/warehouse building on Lot 1 of Burbridge Industrial Subdivision Plat A.
2. The lot is located in the Light Industrial zone.
3. There was an old building from many years ago, but now only a pad remains.
4. The lot is a nonconforming legal lot and therefore doesn't meet the typical one acre minimum requirement.

DISCUSSION & ANALYSIS

Parking Standards

The applicant is proposing that 10% of the 8,016 square foot building will be used as office space, which means the building will include 810 square feet of office space and 7,206 square feet of warehouse. The parking ratio for office space is 1/350 square feet and the ratio for warehouse space is 1/1000 square feet. Consequently, the required number of spaces is 11, with at least 1 ADA accessible stall.

Summary of Parking Requirements

- Vehicle Spaces Required: 11
- Vehicle Space Provided: 12
- Bicycle Spaces Required: 2
- Bicycle Spaces Provided: 2

Landscaping Standards

Landscaped Strip Along Frontage

The Light Industrial zone requires a 20' landscaped strip along all street frontages with trees planted within the strip every 30' on center. Thirty percent of the frontage landscaping may be landscaped with non-living materials other than grass. The Planning Commission may approve proposed changes or alterations to this requirement as long as not net loss of landscaping occurs.

The applicant's landscaping proposal takes a more water-wise approach than what is required by Code. The proposal does not include 70% of grass cover and trees are not centered in the parkstrip because the area is also acting as a detention basin. The Planning Commission needs to consider whether to approve these proposed alterations. Please see attached letter from the landscape architect.

Interior Landscaping

The Code requires that interior landscaping must be provided at 40 square feet per stall and that at least 75% of the ground cover must consist of living vegetation. The site proposes 12 parking stalls, which will require at least 480 square feet of interior landscaping, exclusive of the required landscaped strip along street frontage. The submitted landscaping plan proposes 556 square feet of interior landscaping, with a mix of living and non-living material. Actual percentages have not been provided at this time and so it is difficult to determine if the code is being met.

The code also requires 1 interior tree per 10 required parking stalls. The proposed site plan includes 1 interior tree to satisfy this requirement.

Architectural Standards

Building Materials

The Code requires that all buildings in the Light Industrial Zone must be "aesthetically pleasing, well-proportioned buildings which blend with the surrounding property and structures." The applicant is proposing to construct a metal building, which is allowed by the Code, subject to the following standards:

- Twenty-five percent (25%) minimum of the exterior of all buildings shall be covered with brick decorative block, stucco, wood, or other similar materials as approved by the Planning commission.
- The Commission may approve ribless, metal, flat-faced, stucco embossed metal sandwich panel buildings when the Commission finds that the building is aesthetically pleasing, adequately trimmed, contrasted with different colors, is well proportioned, blends with the surrounding property.

The building proposed by the applicant will include painted metal walls of Regal Blue and Slate Gray with Yellow overhead doors, and will also incorporate metal sunshades and concrete masonry unit (CMU) wainscoting on the exterior. Elevations and an artist's rendering of the proposed building are included in attachment 4 for review.

Building Color

The Code requires buildings in the LI zone to be earth-tone colors. Examples of earth tone colors are included in attachment 5.

Dimensional Standards

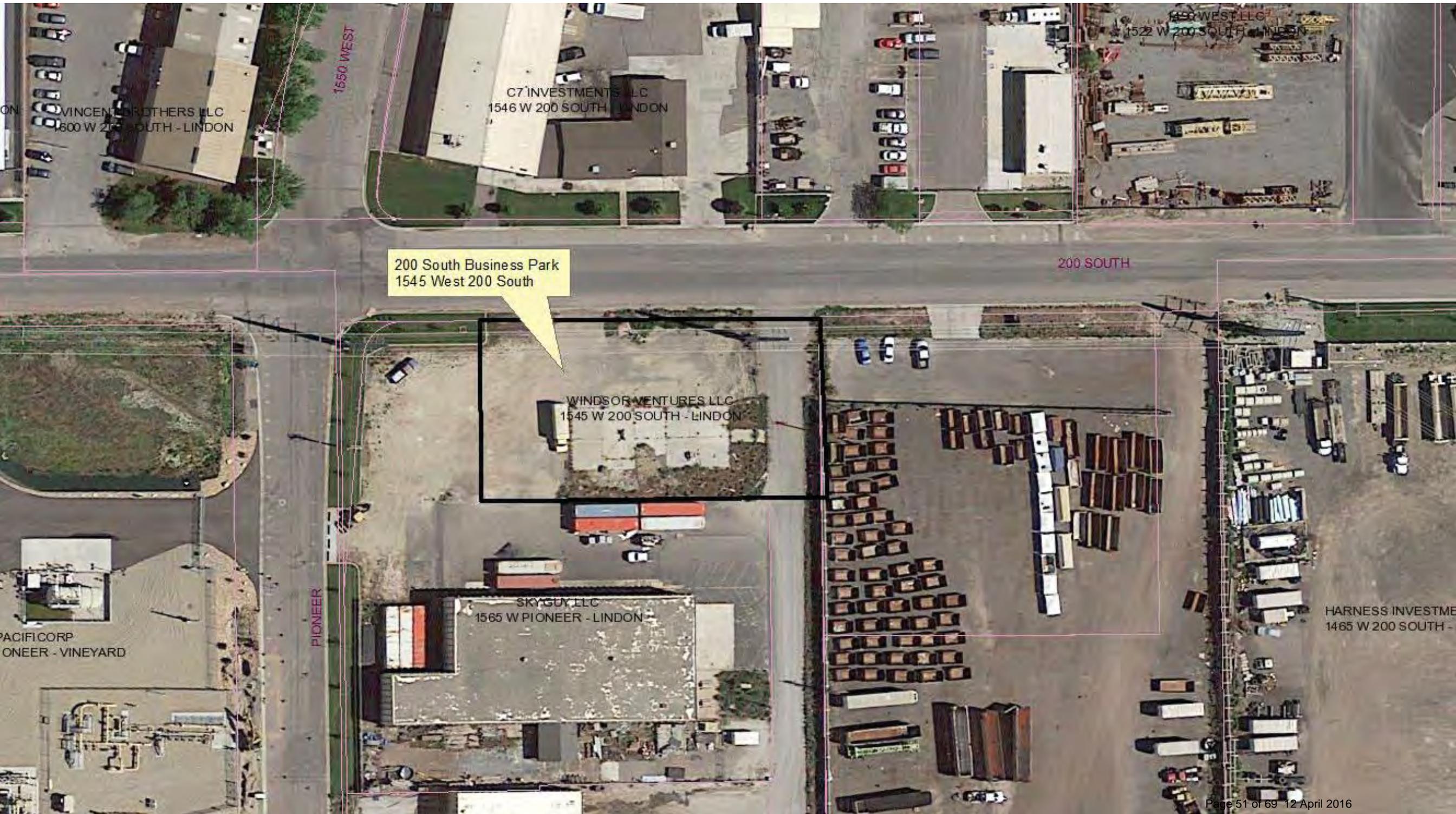
The proposed structure satisfies setback (20 feet front and 0 feet all others) and height requirements (48 feet) in the LI zone.

Engineering Requirements

The City Engineer is working through technical issues related to the site and will ensure all engineering related issues are resolved before final approval is granted.

ATTACHMENTS

1. Aerial photo of the site and surrounding area
2. Site/Landscaping Plan
3. Letter from landscape architect
4. Elevations and Rendering of Proposed Building
5. Earth-tone Color Palette



VINCENT BROTHERS LLC
1800 W 200 SOUTH - LINDON

C7 INVESTMENTS LLC
1546 W 200 SOUTH - LINDON

WEST LLC
1522 W 200 SOUTH - LINDON

200 South Business Park
1545 West 200 South

WINDSOR VENTURES LLC
1545 W 200 SOUTH - LINDON

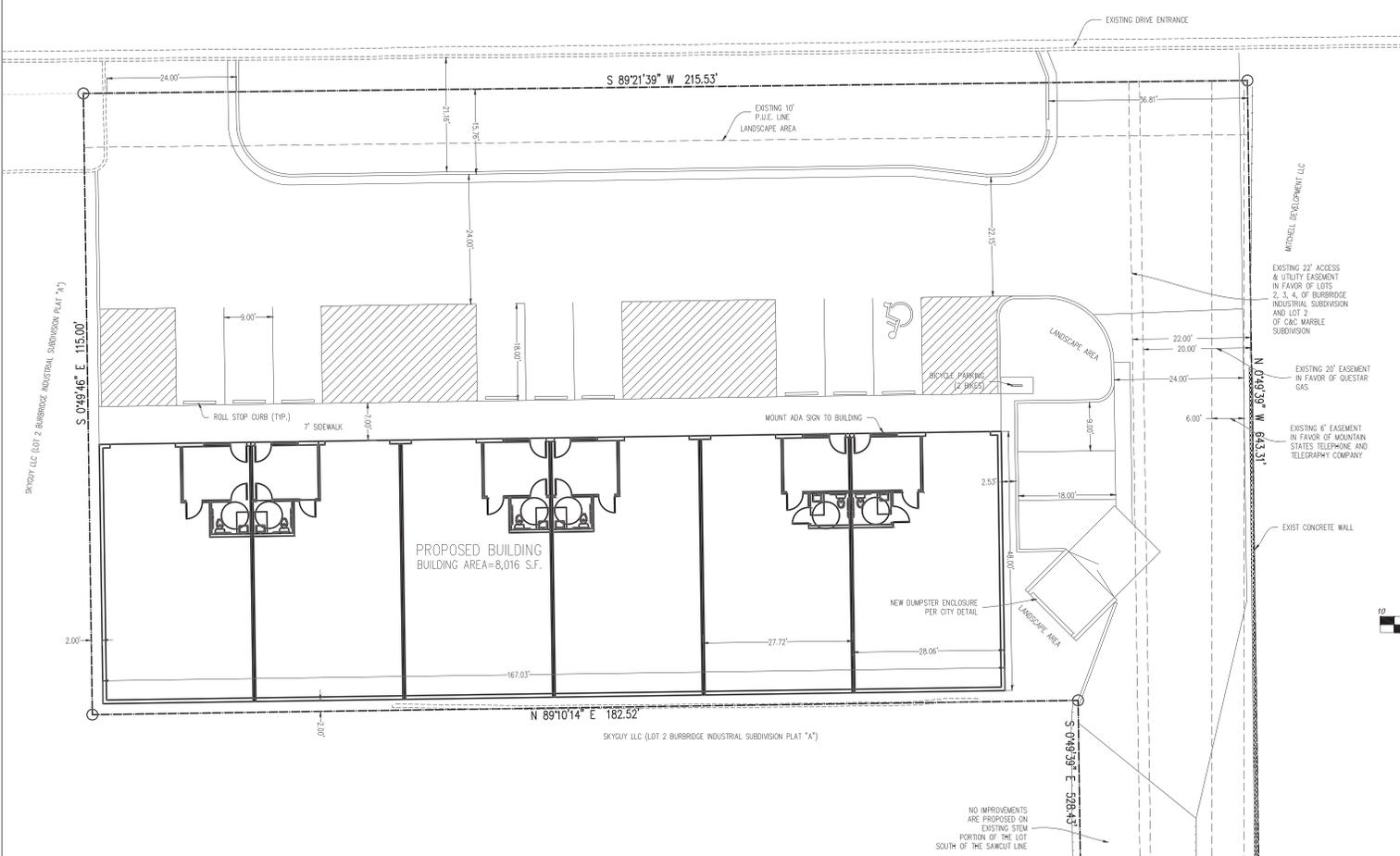
SKYGUY LLC
1565 W PIONEER - LINDON

PACIFIC CORP
PIONEER - VINEYARD

HARNES INVESTME
1465 W 200 SOUTH -

200 SOUTH STREET

- GENERAL NOTES:**
1. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE AMERICANS WITH DISABILITIES ACT (ADA).
 2. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM WITH A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
 3. WATER METERS ARE TO BE LOCATED BEHIND BACK OF WALK OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE, NOT LOCATED BEHIND FENCED AREAS OR UNDER COVERED PARKING.
 4. LINDON STANDARD SPECIFICATIONS AND DRAWINGS APPLY TO CONSTRUCTION OF PUBLIC IMPROVEMENTS THAT WILL BE OWNED OR MAINTAINED BY LINDON CITY AND TAKE PRECEDENCE OVER OTHER STANDARDS.
 5. NO PRESSURE REDUCING VALVES ARE PROPOSED ON THIS SITE.
 6. ALL LANDSCAPING TO CONFORM TO LINDON STANDARD DRAWING C.
 7. ZONE=U
 8. STORM WATER STORAGE REQUIRED = 1,016 C.F., PROVIDED = 1,018 C.F.
 9. IBC CONSTRUCTION TYPE: 5-B, OCCUPANCY CLASSIFICATIONS: S1, B
 10. INTERNATIONAL FIRE CODE CONSTRUCTION TYPE: 5-B, OCCUPANCY CLASSIFICATIONS: S1, B
 11. THERE ARE NO EXISTING BUILDINGS ON THE SITE.
 12. ALL PUBLIC UTILITIES ARE ALREADY CONSTRUCTED IN THE STREET IN FRONT OF THE SITE.
 13. SEE SEPARATE SUBMITTALS ON STORM DRAINAGE CALCULATIONS AND GEOTECHNICAL REPORT
 14. NO FENCING IS PROPOSED FOR THIS SITE.
 15. THIS BUILDING WILL NOT BE FIRE SPRINKLED.
 16. SITE LIGHTING AROUND THE BUILDING WILL BE BUILDING MOUNTED.
 17. ALL PROPOSED UTILITIES ON-SITE ARE PRIVATE UNLESS OTHERWISE NOTED.
 18. NO FLOOR DRAINS ARE PROPOSED FOR THIS SITE.



TABULATIONS:

TOTAL LOT AREA:	42,159 S.F.
TOTAL SITE AREA EXCLUDING STEM:	24,434 S.F. = 100%
LANDSCAPING AREA:	3,757 S.F. = 15.4%
BUILDING/PARKING/CONCRETE AREA:	20,677 S.F. = 84.6%
PARKING LANDSCAPE AREA REQUIRED:	40 S.F. PER STALL X 12 STALLS = 480 S.F.
PARKING LANDSCAPE AREA PROVIDED:	556 S.F.

FEMA FLOOD ZONE INFORMATION:

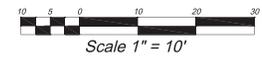
THE ENTIRE SITE LIES WITHIN FLOOD ZONE "X" AS SHOWN ON FLOOD INSURANCE RATE MAPS.

COMMUNITY-PANEL NUMBER: 4955170120 B.

EFFECTIVE DATE: JULY 17, 2002.

PARKING TABULATIONS:

WAREHOUSE AREA:	7,104 S.F. @ 1/1000 S.F. = 8 STALLS
OFFICE AREA:	912 S.F. @ 1/350 S.F. = 3 STALLS
TOTAL PARKING STALLS REQUIRED:	11
TOTAL PARKING STALLS PROVIDED INCLUDING ADA:	12
BICYCLE PARKING:	68 X 12 STALLS = 2 BICYCLE PARKING



SHEET INDEX

C1	SITE PLAN
C2	DEMOLITION PLAN
C3	UTILITY PLAN
C4	GRADING PLAN
C5	EROSION CONTROL PLAN
C6	BMP DETAILS
C7	BMP DETAILS
C8	DETAIL SHEET
C9	LONG TERM STORM WATER POLLUTION PREVENTION AND MAINTENANCE PLAN



Rev.	Date	Description
1	04/07/16	REVISED AS PER CITY COMMENTS DATE 03/24/16

Developer: Trevor Sharp
533 West State Road Suite 102
Pleasant Grove, UT 84062
Phone: 801-767-6683

EXCEL ENGINEERING
David W. Peterson, P.E., License #270393
12 West 100 North, Suite 201, American Fork, UT 84003
P: (801) 756-4504; david@excelcivil.com

200 SOUTH BUSINESS PARK
1545 WEST 200 SOUTH

LINDON, UT

Scale: 1"=10'
Date: 03/10/16

SITE PLAN

C1

Surveyor: BUSYBODY LAND SURVEYORS
152 West 400 North
Saratoga, UT 84055
(385) 201-3689

200 SOUTH STREET

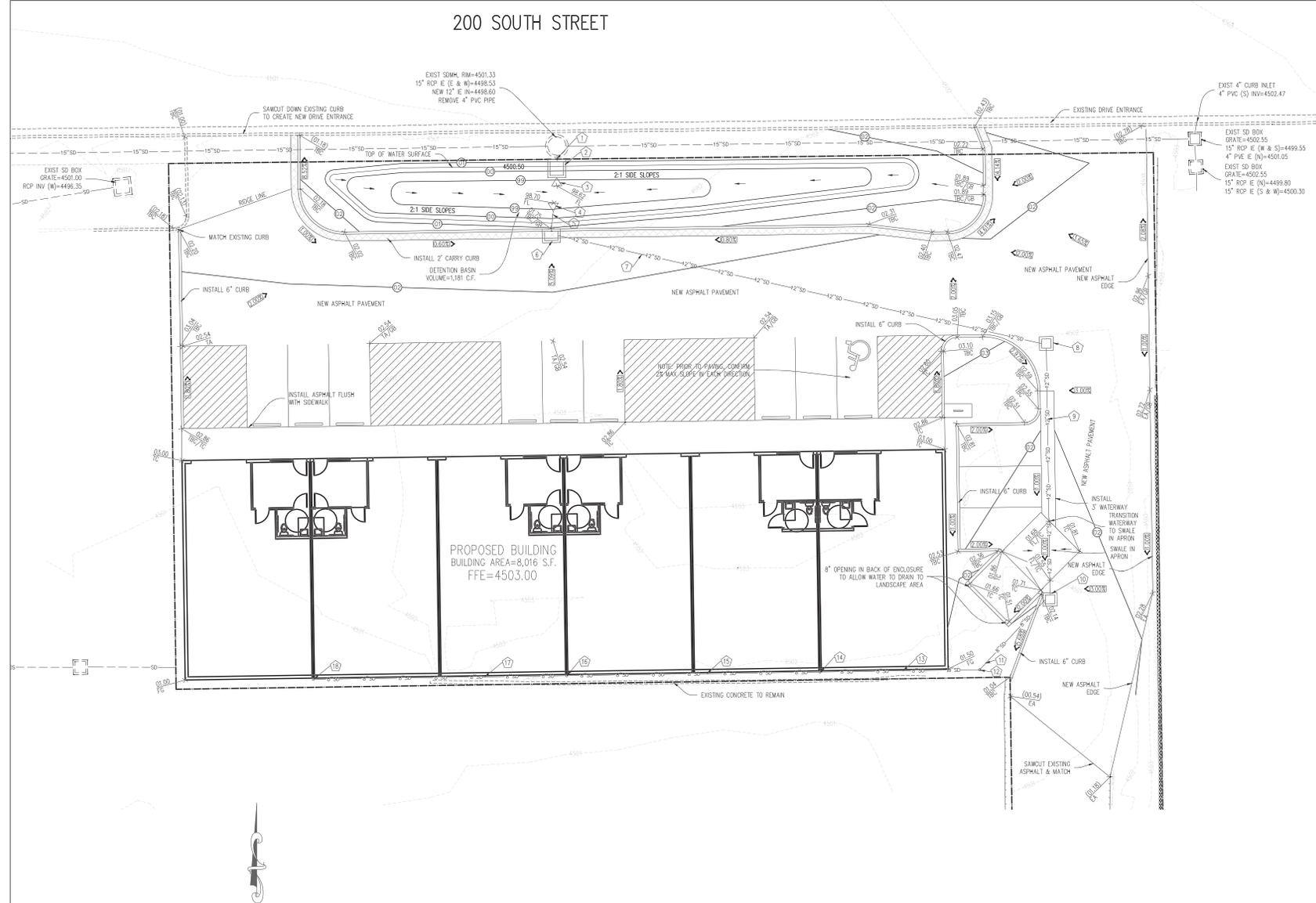
GRADING ELEVATION NOTE:
 1. NOTE THAT ALL GRADING SPOT ELEVATION LABELS AND FINISHED CONTOUR LABELS NEED TO HAVE A NUMBER 45 AS A PREFIX OR ADD 4500 TO EACH LABEL TO HAVE IT MATCH THE ELEVATION DATUM FOR THIS PROJECT. THE '45' WAS NOT SHOWN SIMPLY TO HELP KEEP THE DRAWING A LITTLE CLEARER.

PAVEMENT DESIGN
 3" ASPHALT CONCRETE
 8" UNGRADED BASE COURSE
 7" GRANULAR BORROW
 THE UPPER 8" OF NATIVE SOILS BENEATH ALL PAVEMENT SECTIONS WILL BE REMOVED AND/OR REMOVED IN-PLACE AND COMPACTED TO AT LEAST 95%
 IF THE PAVEMENT SECTION IS UNDERLAIN BY UNDOQUINCHED FILL, A MINIMUM 24" ZONE OF SIMILARLY REMOVED SOIL IS RECOMMENDED.

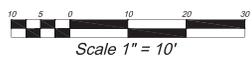
STORM DRAIN KEYED NOTES:
 1. CONNECT TO EXISTING STORM DRAIN MANHOLE WITH NEW 12" ADS PIPE. RM=4501.33, EXISTING 15" IE THRU=4498.53, NEW 12" IE THRU=4498.60. INSTALL 1.5 L.F. 12" ADS @ S=2% TO CONNECT STORM DRAIN MANHOLE TO THE NEW 3'X3' OUTLET BOX.
 2. INSTALL 3'X3' OUTLET BOX. GRATE=4501.00, 12" IE THRU=4498.62. INSTALL 0.15' (1.98") DIAMETER ORIFICE PLATE OVER OUTLET PIPE. INSTALL SLOUT TYPE 18" OVER OUTLET PIPE. IE BOX=4498.00
 3. INSTALL 12" FLARED END SECTION CONNECTED TO OUTLET BOX, FL=4498.62
 4. INSTALL 12" FLARED END SECTION, FL=4498.70
 5. INSTALL 4 L.F. 12" ADS @ S=0.3%
 6. INSTALL 2'X3' GUTTER BASIN, GRATE=4501.25, 12" IE THRU=4498.72
 7. INSTALL 108 L.F. 12" ADS @ S=0.3%
 8. INSTALL 2'X2' INLET BOX, GRATE=4502.45, 12" IE THRU=4499.05, IE BOX=4498.45
 9. INSTALL 54 L.F. 12" ADS @ S=0.3%
 10. INSTALL 2'X2' INLET BOX, GRATE=4501.50, 12" IE THRU=4499.21, 8" IE THRU=4499.21, IE BOX=4498.50
 11. INSTALL 21 L.F. 8" ADS @ S=0.5%
 12. INSTALL 12" NYLOPLAST DRAIN BASIN WITH STANDARD GRATE, GRATE=4501.50, 8" IE THRU=4499.32
 13. INSTALL 35 L.F. 8" ADS @ S=0.5%
 14. INSTALL 12" NYLOPLAST DRAIN BASIN WITH STANDARD GRATE, GRATE=4502.50, 8" IE THRU=4499.50
 15. INSTALL 55 L.F. 8" ADS @ S=0.5%
 16. INSTALL 12" NYLOPLAST DRAIN BASIN WITH STANDARD GRATE, GRATE=4502.50, 8" IE THRU=4499.78
 17. INSTALL 55 L.F. 8" ADS @ S=0.5%
 18. INSTALL 12" NYLOPLAST DRAIN BASIN WITH STANDARD GRATE, GRATE=4502.50, 8" IE THRU=4500.06

GRADING LEGEND

FFE	FINISHED FLOOR ELEV.
BOW	BACK OF WALK
GB	GRADE BREAK
TC	TOP OF CONCRETE
TBC	TOP BACK OF CURB
TA	TOP OF ASPHALT
EA	EDGE OF ASPHALT
RM	RM ELEVATION
FL	FLOWLINE
EG	EXIST. GROUND
FG	FINISHED GRADE
TW	TOP OF WALL
BW	BOTTOM OF WALL
→	DIRECTION OF DRAINAGE
○	EXISTING ELEVATION
○	PROPOSED ELEVATION
○	CARRY CURB
○	EXISTING CONTOUR
○	PROPOSED CONTOUR
○	STORM DRAIN KEYED NOTE



PROPOSED BUILDING
 BUILDING AREA=8,016 S.F.
 FFE=4503.00



Surveyor: BUSYBODY LAND SURVEYORS
 152 West 400 North
 Saratoga, UT 84655
 (385) 201-3689

BENCH MARK		REVISIONS	
Rev.	Date	Description	
1	04/07/16	REVISED AS PER CITY COMMENTS DATE 03/24/16	

Developer: Trevor Sharp
 533 West State Road Suite 102
 Pleasant Grove, UT 84062
 Phone: 801-767-6681

EXCEL ENGINEERING
 David W. Peterson, P.E., License #270393
 12 West 100 North, Suite 201, American Fork, UT 84003
 P: (801) 756-4504; david@excelcivil.com

200 SOUTH BUSINESS PARK
 1545 WEST 200 SOUTH UTAH

Drawn by: D.W.P.
 Designed by: D.W.P.
 Checked by: D.W.P.

GRADING PLAN

Scale: 1"=10'
 Date: 03/10/16
 C4





TREE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	1	2" CAL.	MODERATE	
CC	CERCIS CANADENSIS	FOREST PANSY REDBLD	3	2" CAL.	MODERATE	
PC	PIYUS CALLERYANA	CHANTICLEER FLOWERING PEAR	2	2" CAL.	MODERATE	

SHRUB LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
KD	CORNUS SERICEA 'KELSEYI'	KELSEY'S DWARF RED-OSIER DOGWOOD	9	5 GAL.	MODERATE	
VB	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	2	5 GAL.	MODERATE	
SP	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE	5	5 GAL.	LOW	
PA	PICIA PUNGENSIS 'GLOBOSA'	DWARF GLOBE BLUE	3	5 GAL.	MODERATE	
MA	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY	7	5 GAL.	MODERATE	

PERENNIAL LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
HO	HEMEROCALLIS SP.	STELLA DE ORO DAYLILY	3	1 GAL.	MODERATE	

ORNAMENTAL GRASS LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
FF	CALAMAGROSTIS ACUTIFLORA	FEATHER REED GRASS	14	1 GAL.	LOW	
PV	PANICUM VIRGATUM	HEAVY METAL SWITCHGRASS	7	1 GAL.	LOW	

SITE MATERIALS

SYMBOL	QUANTITY	SPECIAL NOTES
	TURF GRASS (SOD) 1,200 sq.ft.	DROUGHT TOLERANT VARIETY
	24	
	8 CU YD	LOCATED IN ALL PLANTER BED AREAS
	16 CU YD	LOCATED IN ALL PLANTER BED AREAS
	6 CU YD	LOCATED IN ALL PLANTER BED AREAS

- LANDSCAPE NOTES**
- LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
 - PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. IF SUBSTITUTIONS ARE WANTED, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
 - NEW LAWN AREAS TO BE SOODED WITH DROUGHT TOLERANT VARIETY. FINE LEVEL ALL AREAS PRIOR TO LAYING SOO.
 - SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR PLANTER BED MULCH TO REACH FINISHED GRADE.
 - 4"X6" EXTRUDED CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN. ANY TREES LOCATED IN LAWN MUST HAVE A 4" CONCRETE TREE RING.
 - DEW16 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER ANNUAL PLANTING AREAS AS SHOWN ON PLAN.
 - ROCK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; ANNUAL PLANTING AREAS AS SHOWN ON PLAN TO RECEIVE 4" OF SOIL AND MATERIAL. PULL BARK MULCH MIN. 3' AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6' AWAY FROM ALL TREES.
 - CONTRACTOR TO PROVIDE NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED IN ALL LANDSCAPE AREAS. ALL LAWN AREA TO RECEIVE 100% HEAD-TO-HEAD COVERAGE WITH SPRAY AND ROTARY SPRINKLER HEADS. ALL PLANTER AREAS NEED TO RECEIVE A FULL DRIP SYSTEM TO EACH TREE AND SHRUB ON PROJECT. SEE IRRIGATION PLAN.

Total Landscape Areas

Lawn Area 1,200 Sq. Ft. 40%
 Planter Area 3,100 Sq. Ft. 60%
 Please see written explanation for reasoning of a more drought tolerant design

ISSUE DATE	PROJECT NUMBER	PLAN INFORMATION
03-31-2016	UT16003	
NO.	REVISION	DATE
1	XXXX	XX-XX-XX
2		
3		
4		
5		
6		
7		

811 BLUE STAKES OF UTAH
 UTILITY NOTIFICATION CENTER, INC.
 1-800-662-4111
 www.bluestakes.org

GRAPHIC SCALE: 1" = 10'

200 South Business Park
 1545 West 200 South
 Lindon, Utah

DEVELOPER / PROPERTY OWNER / CLIENT
 Trevor Sharp
 533 West State Road Suite 102
 Pleasant Grove, Utah 84062
 (801) 787-4603

Client/Engineer
EXCEL ENGINEERING
 DAVID W. PETERSON, P.E.
 12 West 100 North, SUITE # 201
 AMERICAN FORK, UTAH 84003 (801) 756-4504

LANDSCAPE ARCHITECT / PLANNER
PKJ DESIGN GROUP
 PKJ DESIGN GROUP L.L.C.
 3450 N. TRIUMPH BLVD, SUITE 102
 LEHI, UTAH 84043 (801) 960-2698
 www.pkjdesigngroup.com

LICENSE STAMP

LANDSCAPE PLAN
 PRELIMINARY PLANS NOT FOR CONSTRUCTION
LP-1.0

LANDSCAPE PLAN SPECIFICATIONS

PART I - GENERAL

1.1 SUMMARY

- A. This section includes landscape procedures for the Project including all labor, materials, and installation necessary, but not limited to, the following:
 1. Soil Amendments
 2. Fine Grading
 3. Cultivation
 4. Landscape Edging
 5. Turf Planting
 6. Furnish and Installing Plant
 7. Maintenance
 8. Mowing
 9. Weeding

1.2 SITE CONDITIONS

- A. Examination: Before submitting a Bid, each Contractor shall carefully examine the Contract Documents; shall visit the site of the Work; shall fully inform themselves as to all existing conditions and limitations; and shall include in the Bid the cost of all items required by the Contract Documents are at a variance with the applicable laws, building codes, rules, regulations, or contain obvious erroneous or uncoordinated information, the Contractor shall promptly notify the Project Representative and the necessary changes shall be accomplished by Addendum.
- B. Protection: Contractor to conduct the Work in such a manner to protect all existing underground utilities or structures. Contractor to repair or replace any damaged utility or structure using identical materials to match existing at no expense to the Owner.
- C. Irrigation System: Do not begin planting until the irrigation system is completely installed, is adjusted for full coverage and is completely operational.

1.3 PERMITS

- A. Blue Stake/ Dig Line: When digging is required, "Blue Stake" or "Dig Line" the work site and identify the approximate location of all known underground utilities or structures.

1.4 PLANT DELIVERY, QUALITY, AND AVAILABILITY

- A. Unauthorized substitutions will not be accepted. If proof is submitted that specific plants or plant sizes are unavailable, written substitution requests will be considered for the nearest equivalent plant or size. All substitution requests must be made in writing and preferably before the bid due date.
- E. Tree, Shrub, and Grass Backfill Mixture: Backfill mixture to be 50% native soil and 50% topsoil, thoroughly mixed together prior to placement.
- F. Topsoil: Required for turf areas, planter beds and Backfill Mixture. Acceptable topsoil shall meet the following standards:
 - a. PH: 5.5-7.5
 - b. EC (electrical conductivity): < 2.0 mmhos per centimeter
 - c. SAR (sodium absorption ratio): < 3.0
 - d. % OM (percent organic matter): >1%
 - e. Texture (particle size per USDA soil classification): Sand <70%; Clay <30%; Silt <70%; Stone fragments (gravel or any soil particle greater than two (2) mm in size) < 5% by volume.
- G. Turf Sod: All sod shall be 18 month old as specified on plans (or approved equal) that has been cut fresh the morning of installation. Only sod that has been grown on a commercial sod farm shall be used. Only use sod from a single source.
- H. Landscape Edging: Headers and Edging six (6) inches by six (4) inches extruded concrete curb made up of the following materials:
 - a. Washed mortar sand free of organic material.
 - b. Portland Cement (see concrete spec. below for type)
 - c. Reinforced fiber - Specifically produced for compatibility with aggressive alkaline environment of Portland cement-based composites.
 - d. Only potable water for mixing.

PART III - EXECUTION

3.1 GRADING

- A. Topsoil Preparation: Grade planting areas according to the grading plan. Eliminate uneven areas and low spots. Provide for proper grading and drainage.
- B. Topsoil Placement: Slope surfaced away from building at two (2) percent slope with no pockets of standing water. Establish finish grades of one (1) inches for planters below grade of adjacent paved surfaced. Provide neat, smooth, and uniform finish grades. Remove surplus sub-soil and topsoil from the site.
- C. Compaction: compaction under hard surface areas (asphalt paths and concrete surfaces) shall be ninety-five (95) percent. Compaction under planting areas shall be between eighty-five (85) and ninety (90) percent.

3.2 TURF GRADING

- A. The surface on which the sod is to be laid shall be firm and free from footprints, depressions, or undulations of any kind. The surface shall be free of all materials larger than 1/2" in diameter.
- B. The finish grade of the topsoil adjacent to all sidewalks, mow-strips, etc. prior to the laying of sod, shall be set such that the crown of the grass shall be at the same level as the adjacent concrete or hard surface. No exceptions.

3.3 PLANTING OPERATIONS

- A. Review the exact locations of all trees and shrubs with the Project Representative for approval prior to the digging of any holes. Prepare all holes according to the details on the drawings.
- B. Water plants immediately upon arrival at the site. Maintain in moist condition until panted.
- C. Before planting, locate all underground utilities prior to digging. Do not place plants on or near utility lines.
- D. The tree planting hole should be the same depth as the root ball, and three times the diameter of the root ball.
- E. Trees must be placed on undisturbed soil at the bottom of the planting hole.
- F. The tree hole depth shall be determined so that the tree may be set slightly high of finish grade, 1" to 2" above the base of the trunk flare, using the top of the root ball as a guide.
- G. Plant immediately after removal of container for container plants.

1.5 FINAL INSPECTION

- A. All plants will be inspected at the time of Final Inspection prior to receiving a Landscape Substantial Completion for conformance to specified planting procedures, and for general appearance and vitality. Any plant not approved by the Project Representative will be rejected and replaced immediately.

1.6 LANDSCAPE SUBSTANTIAL COMPLETION

- A. A Substantial Completion Certificate will only be issued by the Project Representative for "landscape and irrigation" in their entirety. Substantial Completion will not be proportioned to be designated areas of a project.

1.7 MAINTENANCE

- A. Plant Material: The Contractor is responsible to maintain all planted materials in a healthy and growing condition for 30 days after receiving a Landscape Substantial Completion at which time the Guarantee period commences. This maintenance is to include mowing, weeding, cultivating, fertilizing, monitoring water schedules, controlling insects and diseases, re-guying and staking, and all other operations of care necessary for the promotion of root growth and plant life so that all plants are in a condition satisfactory at the end of the guarantee period. The Contractor shall be held responsible for failure to monitor watering operations and shall replace any and all plant material that is lost due to improper application of water.

1.8 GUARANTEE

- A. Guarantee: A guarantee period of one year shall begin from end of maintenance period and final acceptance for trees, shrubs, and ground covers. All plants shall grow and be healthy for the guarantee period and trees shall live and grow in acceptable upright position. Any plant not alive, in poor health, or in poor condition at the end of the guarantee period will be replaced immediately. Any plant will only need to be replaced once during immediately. Any plant will only need to be replaced once during the guarantee period. Contractor to provide documentation showing where each plant to be replaced is located. Any outside factors, such as vandalism or lack of maintenance on the part of the Owner, shall not be part of the guarantee.

PART II - PRODUCTS

2.1 LANDSCAPE MATERIALS

- A. Tree Staking: All trees shall be staked for one year warranty period. All trees not plumb shall be replaced. Staked trees shall use vinyl tree ties and tree stakes two (2) inch by two (2) by eight (8) foot common pine stakes used as shown on the details.
- B. Tree Wrap: Tree wrap is not to be used.
- C. Mulch: See Plans. All planter beds to receive a minimum 4" layer for trees, shrubs, and perennials and 1" for groundcovers.
- D. Weed Barrier: DeWitt 5 oz. weed barrier fabric. Manufactured by DeWitt Company, dewittcompany.com or approved equal.
- H. Set tree on soil and remove all burlap, wire baskets, twine, wrappings, etc. before beginning and backfilling operations. Do not use planting stock if the ball is cracked or broken before or during planting operation.
- I. Apply vitamin B-1 root stimulator at the rate of one (1) tablespoon per gallon.
- J. Upon completion of backfilling operation, thoroughly water tree to completely settle the soil and fill any voids that may have occurred. Use a watering hose, not the area irrigation system. If additional prepared topsoil mixture needs to be added. It should be a coarser mix as required to establish finish grade as indicated on the drawings.
- K. The amount of pruning shall be limited to the minimum necessary to remove dead or injured twigs and branches. All cuts, scars, and bruises shall be properly treated according to the direction of the Project Representative. Proper pruning techniques shall be used. Do not leave stubs and do not cut the leader branch. Improper pruning shall be cause for rejection of the plant material.
- L. Prepare a watering circle of 2' diameter around the trunk. For conifers, extend the watering well to the drip line of the tree canopy. Place mulch around the planted trees.

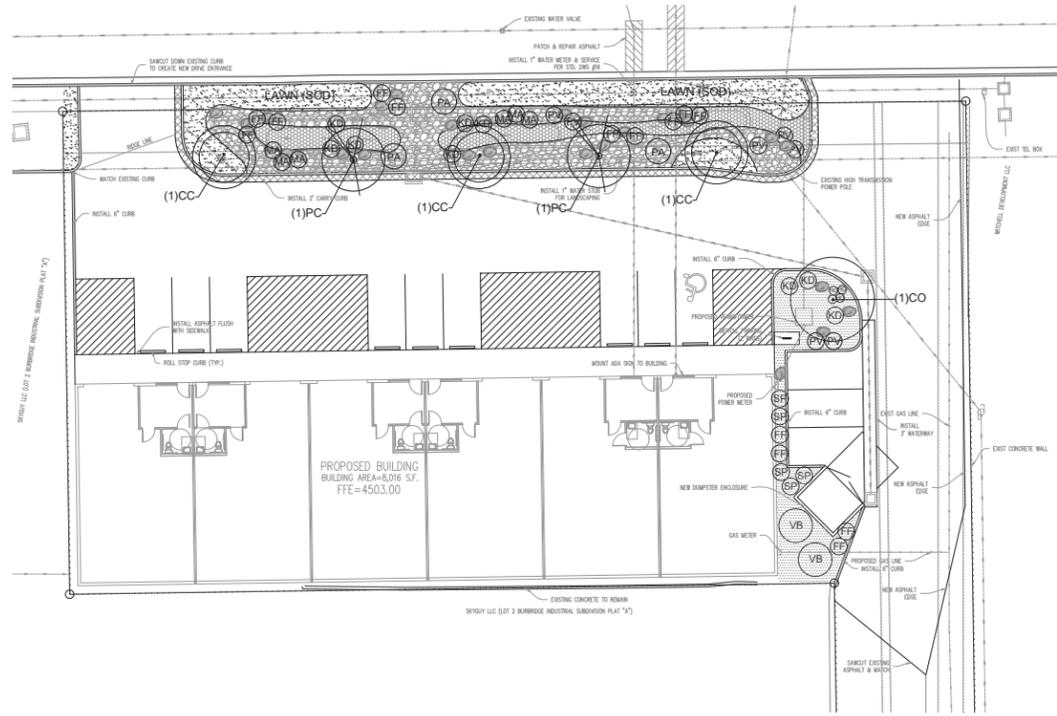
3.4 TURF - SOD LAYING

- A. Top Soil Amendments: Prior to laying sod, commercial fertilizer shall be applied and incorporated into the upper four (4) inches of the topsoil at a rate of four pounds of nitrogen per one thousand (1,000) square feet. Adjust fertilization mixture and rate of application as needed to meet recommendations given by topsoil analysis. Include other amendments as required.
- B. Fertilization: Three weeks after sod placement fertilize the turf at a rate of 1/2 pound of nitrogen per 1000 square feet. Use fertilizer specified above. Adjust fertilization mixture and rates to meet recommendations given by topsoil analysis.
- C. Sod Availability and Condition: The Contractor shall satisfy himself as to the existing conditions prior to any construction. The Contractor shall be fully responsible for furnishing and lay all sod required on the plans. He shall furnish new sod as specified above and lay it so to completely satisfy the intent and meaning of the plans and specification at no extra cost to the owner. In the case of plans and specification at no extra cost to the owner. In the case of any discrepancy in the amount of sod to be removed or amount to be used, it shall be the Contractor's responsibility to report such to the Project Representative prior to commencing the work.
- D. Sod Laying: The surface upon which the new sod to be laid will be prepared as specified above. Areas where sod is to be laid shall be cut trimmed, or shaped to receive full width sod (minimum twelve (12) inches). No partial strip or pieces will be accepted.
- E. Sod shall be tamped lightly as each piece is set to insure that good contact is made between edges and also the ground. Sod laid on any sloped areas shall be anchored with wooden dowels or other materials which are accepted by the grass sod industry.
- F. Apply water directly after laying sod. Rainfall is not acceptable.
- G. Watering of the sod shall be the complete responsibility of the Contractor by whatever means necessary to establish the sod in an acceptable manner to the end of the Maintenance period. If an irrigation system is in place on the site, but for whatever reason, water is not available in the system. It is the responsibility of the Contractor to water the sod by whatever means, until the sod is accepted by the Project Representative.
- H. Protection of the newly laid sod shall be the complete responsibility of the Contractor. The Contractor shall provide acceptable visual barriers, to include barricades set appropriate distances with strings or tapes between barriers, as an indication of new work. The Contractor is to restore any damaged areas caused by others (including vehicular traffic), erosion, etc., until such time as the lawn is accepted by the Owner.
- I. All sod that has not been laid within 24 hours shall be deemed unacceptable and will be removed from the site.

3.5 WEED BARRIER

- A. Cut a slit or x at each plant location no larger than necessary to install plant.
- B. Overlap rows of fabric min. 6"
- C. Stable fabric edges and overlaps to ground.

END OF SECTION



Total Landscape Areas

Lawn Area 1,200 Sq. Ft. 40%
 Planter Area 3,100 Sq. Ft. 60%
 Please see written explanation for reasoning of a more drought tolerant design.

TREE LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
CO	CELTIS OCCIDENTALIS	COMMON HACKBERRY	1	2" CAL	MODERATE	
CC	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	3	2" CAL	MODERATE	
PC	PYRUS CALLERYANA 'GLENS FORM'	CHANTICLEER FLOWERING PEAR	2	2" CAL	MODERATE	

SHRUB LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
KD	CORNUS SERICEA 'KELSEY'	KELSEY'S DWARF RED-OSIER DOGWOOD	9	5 GAL	MODERATE	
VB	VIBURNUM X BURKWOODII	BURKWOOD VIBURNUM	2	5 GAL	MODERATE	
SP	ILEX CRENATA 'SKY PENCIL'	SKY PENCIL JAPANESE	5	5 GAL	LOW	
PA	PICEA PUNGENS 'GLOBOSA'	DWARF GLOBE BLUE	3	5 GAL	MODERATE	
MA	MAHONIA AQUIFOLIUM 'COMPACTA'	COMPACT OREGON GRAPE HOLLY	7	5 GAL	MODERATE	

PERENNIAL LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
HO	HEMEROCALLIS SP. 'STELLA DE ORO'	STELLA DE ORO DAYLILY	3	1 GAL	MODERATE	

ORNAMENTAL GRASS LEGEND

SYMBOL	BOTANICAL NAME	COMMON NAME	QTY.	SIZE	HYDROZONE	SPECIAL NOTES
FF	CALAMAGROSTIS ACUTIFLORA 'KARL FOERSTER'	FEATHER REED GRASS	14	1 GAL	LOW	
PV	PANICUM VIRGATUM 'HEAVY METAL'	HEAVY METAL SWITCHGRASS	7	1 GAL	LOW	

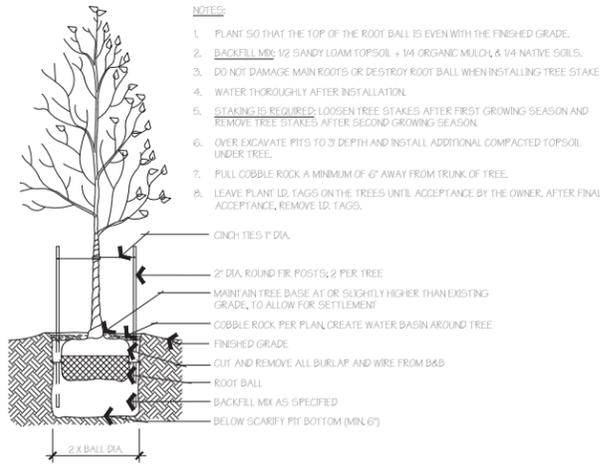
SITE MATERIALS

SYMBOL	SITE MATERIAL	QUANTITY	SPECIAL NOTES
	TURF GRASS (SOD)	1,200 sq.ft.	DROUGHT TOLERANT VARIETY
	2'-4" SANDSTONE BOULDERS	24	
	1"-2" BROWN COLOR ROCK MULCH - 8 CU YD. DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS.		LOCATED IN ALL PLANTER BED AREAS
	4"-6" GREY COLOR ROCK COBBLE - 16 CU YD. DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS.		LOCATED IN ALL PLANTER BED AREAS
	6"-8" BROWN COLOR ROCK COBBLE - 8 CU YD. DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS.		LOCATED IN ALL PLANTER BED AREAS

LANDSCAPE NOTES

1. LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR VERIFYING QUANTITIES OF ALL MATERIALS FOR BIDDING AND INSTALLATION PURPOSES. IF DISCREPANCIES EXIST, THE PLAN SHALL DICTATE QUANTITIES TO BE USED.
2. PLANT MATERIAL TO BE INSTALLED PER PLANT LEGEND. IF SUBSTITUTIONS ARE WANTED, PROPOSED LANDSCAPE CHANGES MUST BE SUBMITTED TO THE LANDSCAPE ARCHITECT FOR APPROVAL PRIOR TO PLANTING.
3. NEW LAWN AREAS TO BE SODDED WITH DROUGHT TOLERANT VARIETY. FINE LEVEL ALL AREAS PRIOR TO LAYING SOD.
4. SANDY LOAM TOPSOIL TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 6" TOPSOIL (WITH 2" HUMUS MIXED INTO TOPSOIL PRIOR TO SPREADING) IN ALL NEW PLANTER AREAS AND 4" IN ALL NEW LAWN AREAS. PLANTER BEDS TO BE EXCAVATED AS NECESSARY IN ORDER TO ACCOMMODATE NEW TOPSOIL AND/OR PLANTER BED MULCH TO REACH FINISHED GRADE.
5. 4"x6" EXTRUDED CONCRETE MOW CURB TO BE INSTALLED BETWEEN ALL LAWN AND PLANTER AREAS PER PLAN. ANY TREES LOCATED IN LAWN MUST HAVE A 4" CONCRETE TREE RING.
6. DeWitt 5 OZ. WEED BARRIER FABRIC TO BE INSTALLED IN ALL PLANTER AREAS EXCEPT UNDER ANNUAL PLANTING AREAS AS SHOWN ON PLAN.
7. ROCK MULCH TO BE IMPLEMENTED AT THE FOLLOWING DEPTHS: 3" IN ALL TREE, SHRUB, AND PERENNIAL PLANTER AREAS; ANNUAL PLANTING AREAS AS SHOWN ON PLAN TO RECEIVE 4" OF SOIL AID MATERIAL. PULL BARK MULCH MIN. 3" AWAY FROM BASE OF ALL PERENNIALS AND SHRUBS AND MIN. 6" AWAY FROM ALL TREES.
8. CONTRACTOR TO PROVIDE NEW AUTOMATIC UNDERGROUND IRRIGATION SYSTEM TO BE INSTALLED IN ALL LANDSCAPE AREAS. ALL LAWN AREA TO RECEIVE 100% HEAD TO HEAD COVERAGE WITH SPRAY AND ROTARY SPRINKLER HEADS. ALL PLANTER AREAS NEED TO RECEIVE A FULL DRIP SYSTEM TO EACH TREE AND SHRUB ON PROJECT. SEE IRRIGATION PLAN.

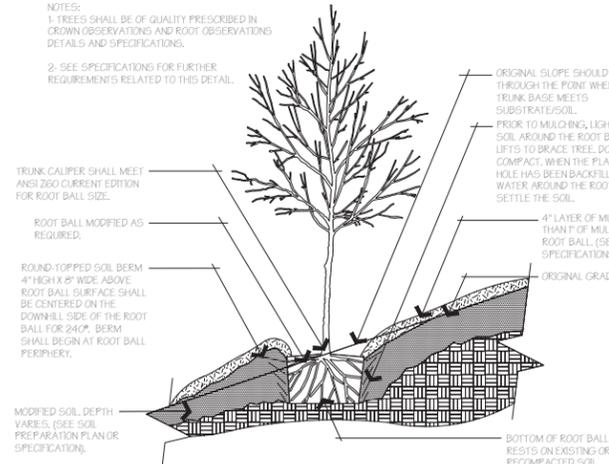
ISSUE DATE		PROJECT NUMBER		PLAN INFORMATION		PROJECT INFORMATION		DEVELOPER / PROPERTY OWNER / CLIENT		LANDSCAPE ARCHITECT / PLANNER		LICENSE STAMP																			
02-27-2016		UT16003		 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC. 1-800-662-4111 www.bluestakes.org		 <h1 style="margin: 0;">200 South Business Park</h1> <h2 style="margin: 0;">1545 West 200 South</h2> <h3 style="margin: 0;">Lindon, Utah</h3>		Developer / Property Owner: <div style="text-align: center;"> TREVOR SHARP 533 West State Road Suite 102 Pleasant Grove, Utah 84062 (801) 787-4603 </div>		 PKJ DESIGN GROUP L.L.C. 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com		 JTA LICENSED LANDSCAPE ARCHITECT STATE OF UTAH No. 12345 Exp. 12/31/2016																			
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A DECIDUOUS TREE PLANTING DETAIL

NOT TO SCALE PKJ DESIGN GROUP

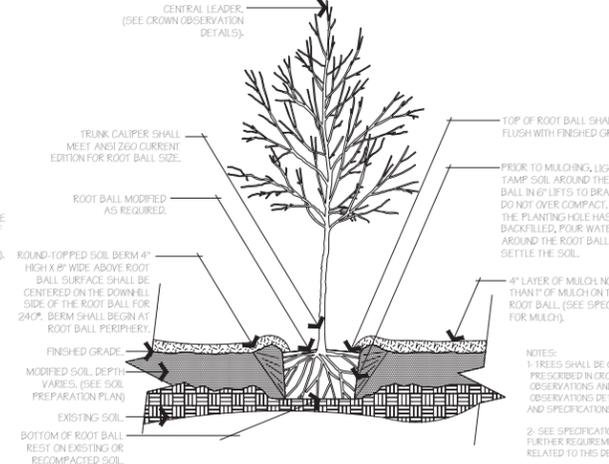
- NOTES:**
1. PLANT SO THAT THE TOP OF THE ROOT BALL IS EVEN WITH THE FINISHED GRADE.
 2. BACKFILL MIX: 1/2 SANDY LOAM TOPSOIL + 1/4 ORGANIC MULCH & 1/4 NATIVE SOILS.
 3. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
 4. WATER THOROUGHLY AFTER INSTALLATION.
 5. STAKING IS REQUIRED: LOOSEN TREE STAKES AFTER FIRST GROWING SEASON AND REMOVE TREE STAKES AFTER SECOND GROWING SEASON.
 6. OVER EXCAVATE PITS TO 3" DEPTH AND INSTALL ADDITIONAL COMPACTED TOPSOIL UNDER TREE.
 7. PULL COBBLE ROCK A MINIMUM OF 6" AWAY FROM TRUNK OF TREE.
 8. LEAVE PLANT ID. TAGS ON THE TREES UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE ID. TAGS.



B TREE ON SLOPE 5% (20:1) TO 50% (2:1)

NOT TO SCALE PKJ DESIGN GROUP

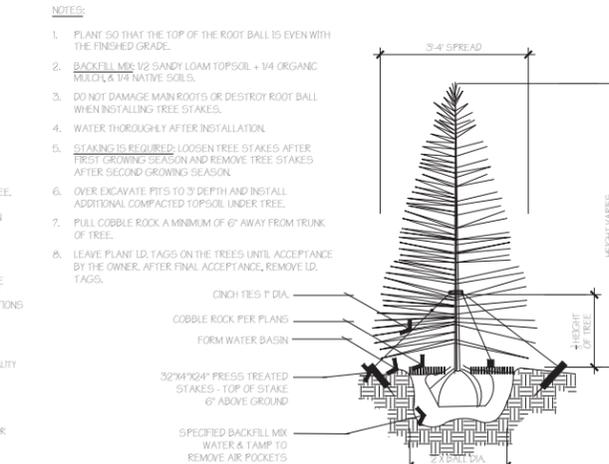
- NOTES:**
1. TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.
 2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.
- TRUNK CALIPER SHALL MEET ANSI Z60 CURRENT EDITION FOR ROOT BALL SIZE.
- ROUND-TOPPED SOIL BERM 4" HIGH X 6" WIDE ABOVE ROOT BALL SURFACE SHALL BE CENTERED ON THE DOWNHILL SIDE OF THE ROOT BALL FOR 24". BERM SHALL BEGIN AT ROOT BALL PERIPHERY.
- MODIFIED SOIL DEPTH VARIES (SEE SOIL PREPARATION PLAN OR SPECIFICATION).
- ORIGINAL GRADE SHOULD PASS THROUGH THE POINT WHERE THE TRUNK BASE MEETS SUBSTRATE/SOIL.
- PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.
- 4" LAYER OF MULCH NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL (SEE SPECIFICATIONS FOR MULCH).
- BOTTOM OF ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL.



C TREE w/ BERM (EXISTING SOIL MODIFIED)

NOT TO SCALE PKJ DESIGN GROUP

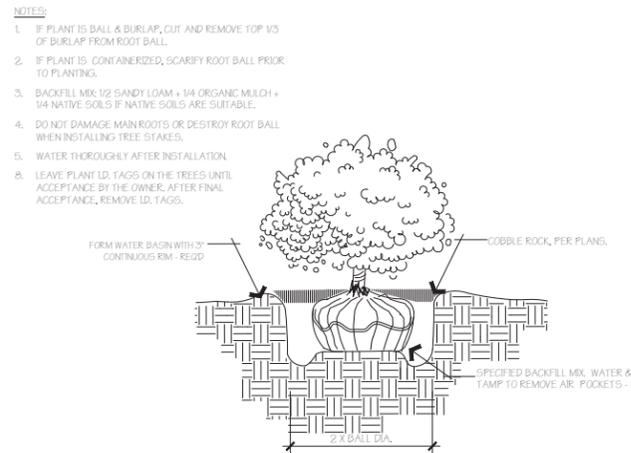
- NOTES:**
1. TREES SHALL BE OF QUALITY PRESCRIBED IN CROWN OBSERVATIONS AND ROOT OBSERVATIONS DETAILS AND SPECIFICATIONS.
 2. SEE SPECIFICATIONS FOR FURTHER REQUIREMENTS RELATED TO THIS DETAIL.
- TRUNK CALIPER SHALL MEET ANSI Z60 CURRENT EDITION FOR ROOT BALL SIZE.
- ROUND-TOPPED SOIL BERM 4" HIGH X 6" WIDE ABOVE ROOT BALL SURFACE SHALL BE CENTERED ON THE DOWNHILL SIDE OF THE ROOT BALL FOR 24". BERM SHALL BEGIN AT ROOT BALL PERIPHERY.
- MODIFIED SOIL DEPTH VARIES (SEE SOIL PREPARATION PLAN).
- EXISTING SOIL.
- BOTTOM OF ROOT BALL RESTS ON EXISTING OR RECOMPACTED SOIL.
- TOP OF ROOT BALL SHALL BE FLUSH WITH FINISHED GRADE.
- PRIOR TO MULCHING, LIGHTLY TAMP SOIL AROUND THE ROOT BALL IN 6" LIFTS TO BRACE TREE. DO NOT OVER COMPACT. WHEN THE PLANTING HOLE HAS BEEN BACKFILLED, POUR WATER AROUND THE ROOT BALL TO SETTLE THE SOIL.
- 4" LAYER OF MULCH NO MORE THAN 1" OF MULCH ON TOP OF ROOT BALL (SEE SPECIFICATIONS FOR MULCH).



D EVERGREEN TREE PLANTING DETAIL

NOT TO SCALE PKJ DESIGN GROUP

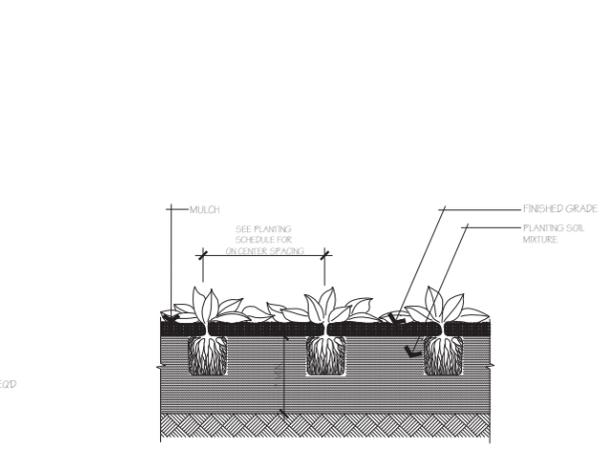
- NOTES:**
1. PLANT SO THAT THE TOP OF THE ROOT BALL IS EVEN WITH THE FINISHED GRADE.
 2. BACKFILL MIX: 1/2 SANDY LOAM TOPSOIL + 1/4 ORGANIC MULCH & 1/4 NATIVE SOILS.
 3. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
 4. WATER THOROUGHLY AFTER INSTALLATION.
 5. STAKING IS REQUIRED: LOOSEN TREE STAKES AFTER FIRST GROWING SEASON AND REMOVE TREE STAKES AFTER SECOND GROWING SEASON.
 6. OVER EXCAVATE PITS TO 3" DEPTH AND INSTALL ADDITIONAL COMPACTED TOPSOIL UNDER TREE.
 7. PULL COBBLE ROCK A MINIMUM OF 6" AWAY FROM TRUNK OF TREE.
 8. LEAVE PLANT ID. TAGS ON THE TREES UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE ID. TAGS.



E SHRUB PLANTING DETAIL

NOT TO SCALE PKJ DESIGN GROUP

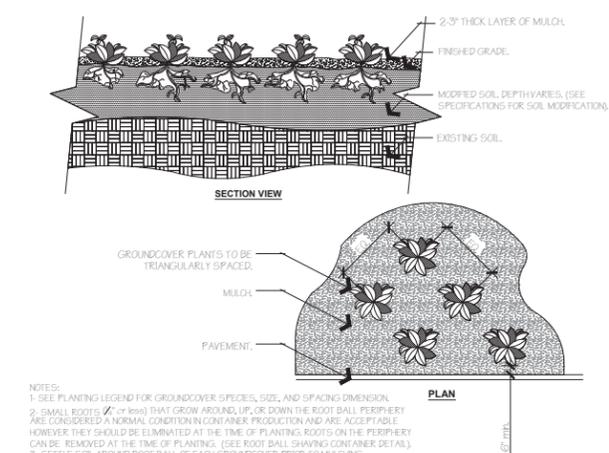
- NOTES:**
1. IF PLANT IS BALL & BURLAP, CUT AND REMOVE TOP 1/3 OF BURLAP FROM ROOT BALL.
 2. IF PLANT IS CONTAINERIZED, SCARIFY ROOT BALL PRIOR TO PLANTING.
 3. BACKFILL MIX: 1/2 SANDY LOAM + 1/4 ORGANIC MULCH + 1/4 NATIVE SOILS IF NATIVE SOILS ARE SUITABLE.
 4. DO NOT DAMAGE MAIN ROOTS OR DESTROY ROOT BALL WHEN INSTALLING TREE STAKES.
 5. WATER THOROUGHLY AFTER INSTALLATION.
 6. LEAVE PLANT ID. TAGS ON THE TREES UNTIL ACCEPTANCE BY THE OWNER. AFTER FINAL ACCEPTANCE, REMOVE ID. TAGS.



F PERENNIAL PLANTING

NOT TO SCALE PKJ DESIGN GROUP

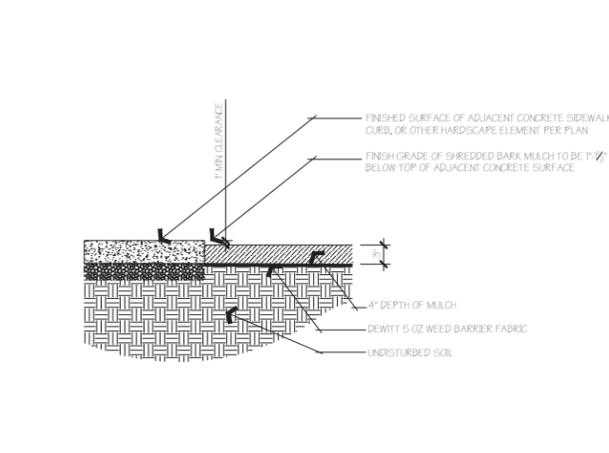
- NOTES:**
1. SEE PLANTING LEGEND FOR GROUND COVER SPECIES, SIZE, AND SPACING DIMENSION.
 2. SMALL ROOTS (1/2" - 3/4") THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL).
 3. SETTLE SOIL AROUND ROOT BALL OF EACH GROUND COVER PRIOR TO MULCHING.



G GROUND COVER

NOT TO SCALE PKJ DESIGN GROUP

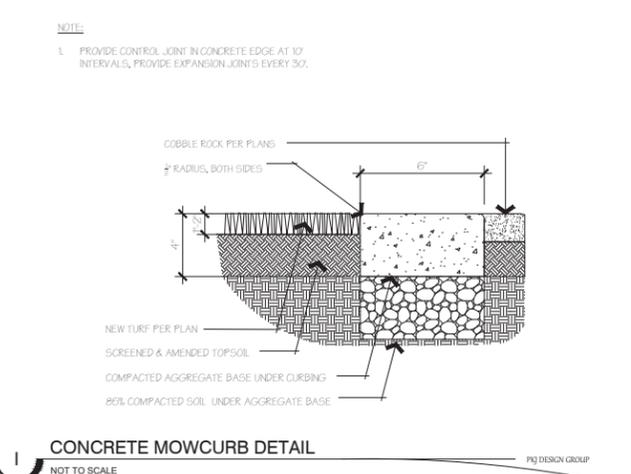
- NOTES:**
1. SEE PLANTING LEGEND FOR GROUND COVER SPECIES, SIZE, AND SPACING DIMENSION.
 2. SMALL ROOTS (1/2" - 3/4") THAT GROW AROUND, UP, OR DOWN THE ROOT BALL PERIPHERY ARE CONSIDERED A NORMAL CONDITION IN CONTAINER PRODUCTION AND ARE ACCEPTABLE HOWEVER THEY SHOULD BE ELIMINATED AT THE TIME OF PLANTING. (SEE ROOT BALL SHAVING CONTAINER DETAIL).
 3. SETTLE SOIL AROUND ROOT BALL OF EACH GROUND COVER PRIOR TO MULCHING.



H MULCH DETAIL

NOT TO SCALE PKJ DESIGN GROUP

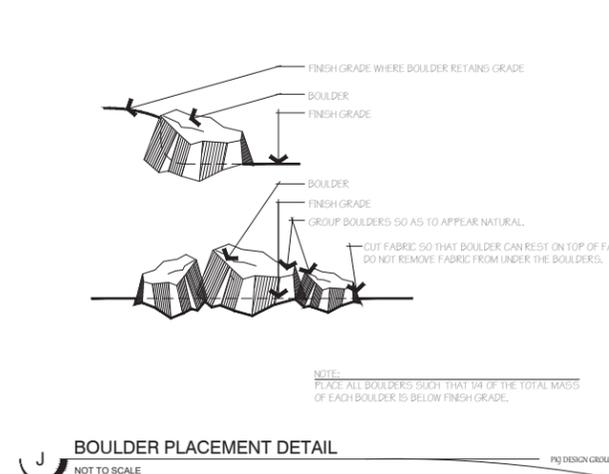
- NOTES:**
1. KEEP TOP OF COBBLE ROCK 1/2" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW COBBLE ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL COBBLE ROCK AFTER INSTALLATION OF WEED BARRIER FABRIC AND PLANT MATERIAL.
 2. CONTRACTOR TO ENSURE THAT TOP OF WEED BARRIER FABRIC IS FREE OF SOILS AND DEBRIS PRIOR TO PLACING COBBLE ROCK.
 3. SEE LANDSCAPE PLANS FOR ROCK TYPE AND DEPTH.
 4. COBBLE ROCK TO BE SCREENED AND WASHED PRIOR TO INSTALLATION.



I CONCRETE MOWCURB DETAIL

NOT TO SCALE PKJ DESIGN GROUP

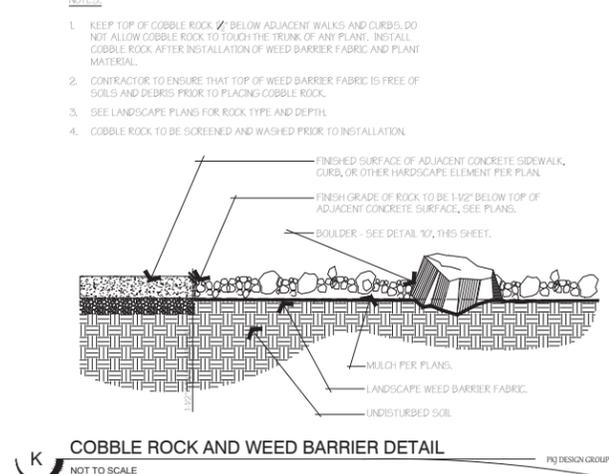
- NOTE:**
1. PROVIDE CONTROL JOINT IN CONCRETE EDGE AT 10' INTERVALS, PROVIDE EXPANSION JOINTS EVERY 50'.



J BOULDER PLACEMENT DETAIL

NOT TO SCALE PKJ DESIGN GROUP

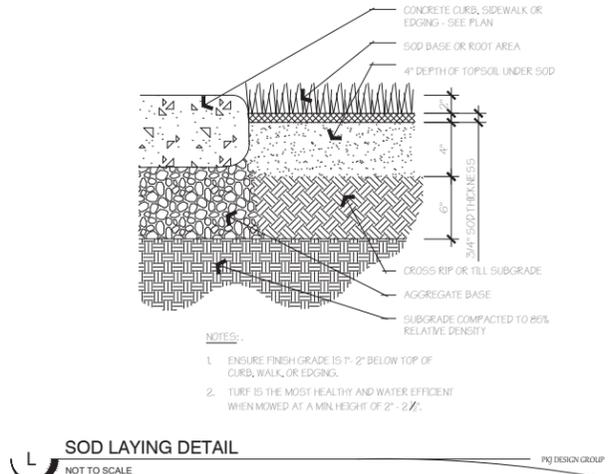
- NOTE:**
1. PLACE ALL BOULDERS SUCH THAT 1/4 OF THE TOTAL MASS OF EACH BOULDER IS BELOW FINISH GRADE.



K COBBLE ROCK AND WEED BARRIER DETAIL

NOT TO SCALE PKJ DESIGN GROUP

- NOTES:**
1. KEEP TOP OF COBBLE ROCK 1/2" BELOW ADJACENT WALKS AND CURBS. DO NOT ALLOW COBBLE ROCK TO TOUCH THE TRUNK OF ANY PLANT. INSTALL COBBLE ROCK AFTER INSTALLATION OF WEED BARRIER FABRIC AND PLANT MATERIAL.
 2. CONTRACTOR TO ENSURE THAT TOP OF WEED BARRIER FABRIC IS FREE OF SOILS AND DEBRIS PRIOR TO PLACING COBBLE ROCK.
 3. SEE LANDSCAPE PLANS FOR ROCK TYPE AND DEPTH.
 4. COBBLE ROCK TO BE SCREENED AND WASHED PRIOR TO INSTALLATION.



L SOD LAYING DETAIL

NOT TO SCALE PKJ DESIGN GROUP

- NOTES:**
1. ENSURE FINISH GRADE IS 1" - 2" BELOW TOP OF CURB, WALK, OR EDGING.
 2. TURF IS THE MOST HEALTHY AND WATER EFFICIENT WHEN MOWED AT A MIN HEIGHT OF 2" - 2 1/2".

ISSUE DATE		PROJECT NUMBER		PLAN INFORMATION		PROJECT INFORMATION		DEVELOPER / PROPERTY OWNER / CLIENT		LANDSCAPE ARCHITECT / PLANNER		LICENSE STAMP	
02-27-2016		UT16003		811 BLUE STAKES OF UTAH UTILITY NOTIFICATION CENTER, INC 1-800-662-4111 www.bluestakes.org		200 South Business Park 1545 West 200 South Lindon, Utah		TREVOR SHARP 533 West State Road Suite 102 Pleasant Grove, Utah 84062 (801) 787-4603		PKJ DESIGN GROUP 3450 N. TRIUMPH BLVD. SUITE 102 LEHI, UTAH 84043 (801) 960-2698 www.pkjdesigngroup.com			
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7													

March 31, 2016

Hugh Van Wagenen
Reviewer
100 North State Street
Lindon, Utah 84042
P. 801-785-7687
F. 801-785-4510
E-mail: planningdept@lindoncity.org

Re: Business Park at 200 South (Landscape and Irrigation Comments)

Lindon Staff,

The following are descriptions of addressed redline corrections to the Business Park at 200 South Landscape and Irrigation Plans submission. All comments City comments have been addressed.

Landscape Plan:

Comment #1

1.) Comment 1:

Frontage landscape strip requires 70% coverage in grass. The remaining 30% may consist of decorative rock, bark, mulch, and/or other ground covers other than grass. Also, trees are required every 30 feet centered ten feet from the edges of the strip. The Planning Commission can grant exceptions to location and design of trees and landscape materials at the time of the public meeting. See LCC 17.49.060 for reference.

- a. On Sheet LP-1.0 the landscape plan showed around 30% grass instead of 70% coverage because of the detention area in the front landscape portion of the project. This area has been designed to have 2:1 side slopes which are to steep to place grass. This area we have called out a cobble rock that will hold the 2:1 slope and create a nice drought tolerant design. We have added more grass area to the design in locations that can sustain this type of material. The design now has around 40% grass coverage. We hope the planning commission will grant us this design ratio of grass and planter bed area shown in this project understanding the reasons for trying to create a more drought tolerant design.
- b. The trees if placed into the bottom of the swale area will not thrive due to the wet and saturated environment. The Trees have been place 30 feet on center and closer to the parking side edge away from the bottom of the swale. This area does not have a lot of utility lines as well like the area next to the main road. We ask that the planning commission take these design considerations for approval.

Kind Regards,
PKJ Design Group, L.L.C.



Jeremy Ainsworth, ASLA

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BUILDING PANEL A:
FABRAL SELECT SERIES 12,
SMOOTH SLATE GRAY

ALTERNATES:
PAC CLAD 12" FLUSH WALL PANEL
CITYSCAPE (COLOR)

MBCI DESIGNER SERIES 12.0 FLAT
SLATE GRAY

METAL SALES TLC-1 SLATE GRAY

BUILDING PANEL B:
FABRAL SILLOETTE HFC 164C
REGAL BLUE

ALTERNATES:
PAC CLAD HPW 16 (1-3/8")
MILITARY BLUE

MBCI MASTERLINE 16
HARBOR BLUE

METAL SALES T5 WALL REGAL BLUE

BUILDING PANEL C:
FABRAL MIGHTY RIB
SLATE GRAY

ALTERNATES:
PAC CLAD R-36 CITYSCAPE (COLOR)

MBCI FBR SLATE GRAY

METAL SALES R PANEL SLATE GRAY

GARAGE DOORS:
MARTIN M24 12" X 14' FLAT PANEL 14 INSULATED (R14) W/
INSULATED TEMPERED GLASS WINDOWS. COLOR: YELLOW
(CUSTOM) W/ ELECTRIC OPERATOR AND COLD WEATHER
SEAL PACKAGE

ALTERNATES:
OVERHEAD DOOR COMPANY THERMACORE MODEL 536
(R14) WITH INSULATED TEMPERED GLASS WINDOWS
COLOR: YELLOW (CUSTOM) WITH ELECTRIC OPERATOR
AND COLD WEATHER SEAL PACKAGE

CLOPAY 3722 INSULATED (R18.4) WITH NSULARD FULL VIEW
INSULATE TEMPERED GLASS WINDOWS. COLOR: YELLOW
(CUSTOM) W/ ELECTRIC OPERATOR AND COLD WEATHER
SEAL PACKAGE.

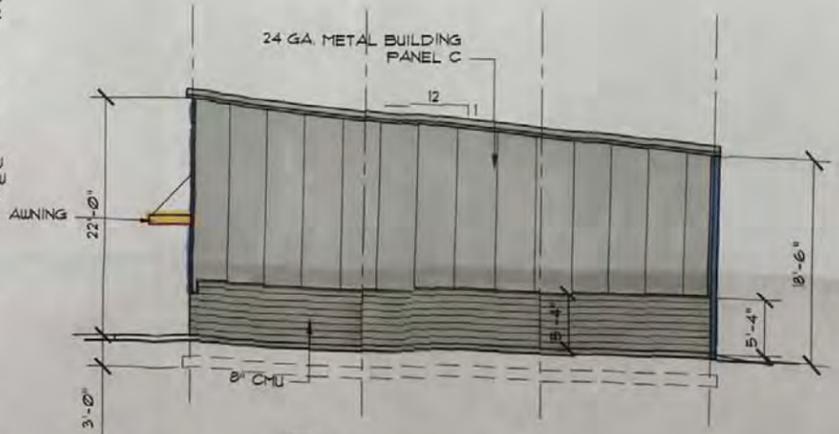
STOREFRONT
KAWNEER 451 TRIFAB THERMALLY BROKEN ANODIZE
ALUM. WINDOW FRAME W/ LOW E INSULATED GLASS AND
MATCHING DOOR OR EQUAL BY EFCO

AWNING
C10 X 15.3 PAINTED. 1" ROD SUPPORTS W/ HARDWARE.
CMU
8" SPLIT FACE ON FRONT (NORTH) AND EAST SIDES. 8"
STANDARD BLOCK ON SOUTH AND WEST SIDES. COLOR
GRAY (TBD). ALL BLOCK AND GROUT TO BE SEALED

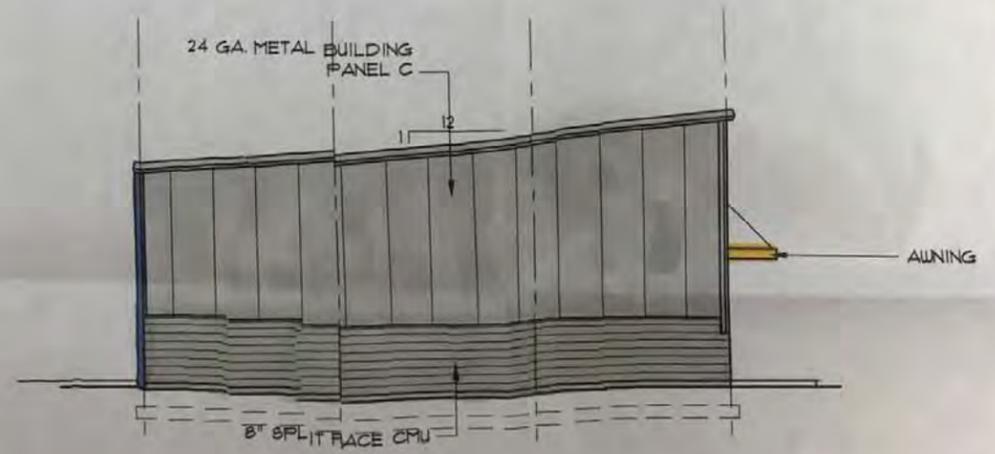


1 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

AREA: METAL WALL PANEL A 1021# 28%
METAL WALL PANEL B 1021# 28%
CMU 217# 6%
GARAGE DOOR 1008# 27%
GLASS AND GLAZING 403# 11%
TOTAL WALL AREA: 3676#

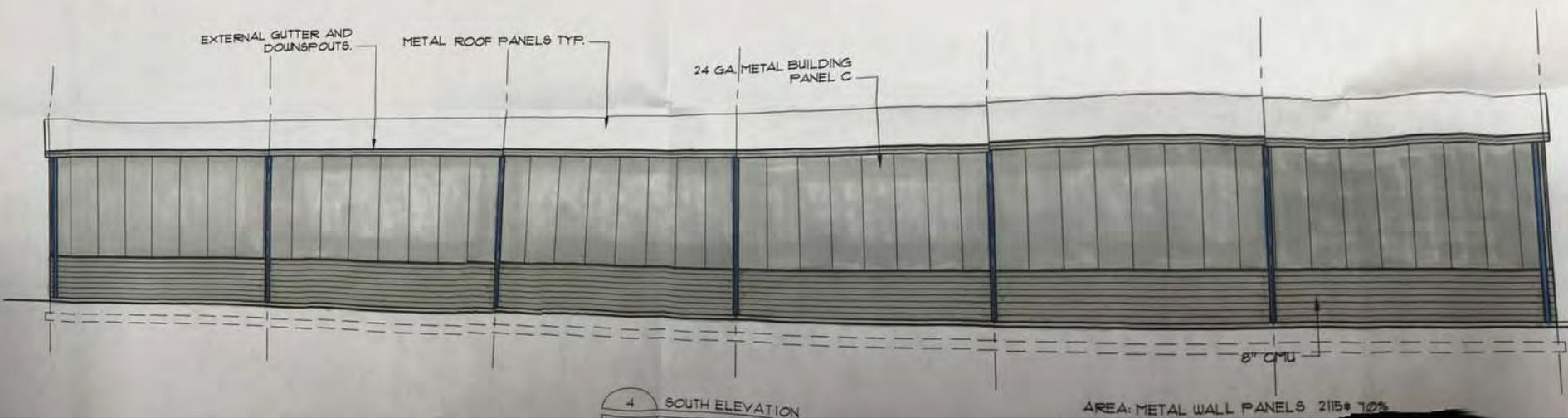


2 WEST ELEVATION
SCALE: 1/8" = 1'-0"
AREA: METAL WALL PANELS 104# 73%
CMU 25# 2%



Nelson·Howden & Associates
architects / planners

OFFICE WAREHOUSE FOR



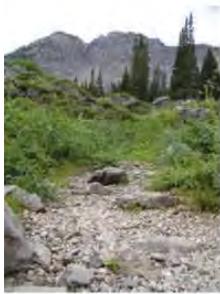
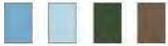
4 SOUTH ELEVATION

AREA: METAL WALL PANELS 2115± 10%

SCALE V
 0 1/2"
 24x36
 12x18
 OTHER

FOR REF

IV. Utah Mountain Desert Color Palette



Utah Mountain Desert Color Palette

Primary Colors



Primary Color Row	Color 1	Color 2	Color 3	Color 4	Color 5
1	Blue	Light Blue	Light Blue	Light Blue	Light Blue
2	Grey	Grey	Grey	Grey	Grey
3	Brown	Brown	Brown	Brown	Brown
4	Dark Green				
5	Green	Green	Green	Green	Green
6	Yellow	Yellow	Yellow	Yellow	Yellow
7	Brown	Brown	Brown	Brown	Brown

Item 10: Minor Subdivision — Tams-Zyto Subdivision, Plat A 1126 West and 1172 West 700 North

Tia Crow, on behalf of Tom Stuart, 1100 West Street LLC, requests approval of a two (2) lot subdivision at 1126 West and 1172 West 700 North in the General Commercial (CG) zone.

<p>Applicant: Tia Crow Presenting Staff: Brandon Snyder</p> <p>General Plan: Commercial Current Zone: General Commercial (CG)</p> <p>Property Owner: 1100 West Street LLC Address: 1126 W. 700 N. & 1172 W. 700 N. Parcel ID: 14-053-0142 Lot Size: 5.616 acres Proposed Lot Sizes: 2.317 acres & 3.306 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <p>1. Whether to approve a two (2) lot commercial subdivision in the General Commercial (CG) zone based on its compliance with requirements of the zone and all other applicable zoning regulations.</p> <p><u>MOTION</u> I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a two (2) lot commercial subdivision, to be known as the Tams-Zyto Subdivision, Plat A, with the following conditions (if any):</p> <p>1.</p>
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BACKGROUND

1. This proposal creates two subdivision lots out of one parcel to accommodate Tams and Zyto and their respective buildings. The parcel currently contains both the Zyto and Tams buildings, both of which buildings are currently under construction.

DISCUSSION & ANALYSIS

Lot Requirements

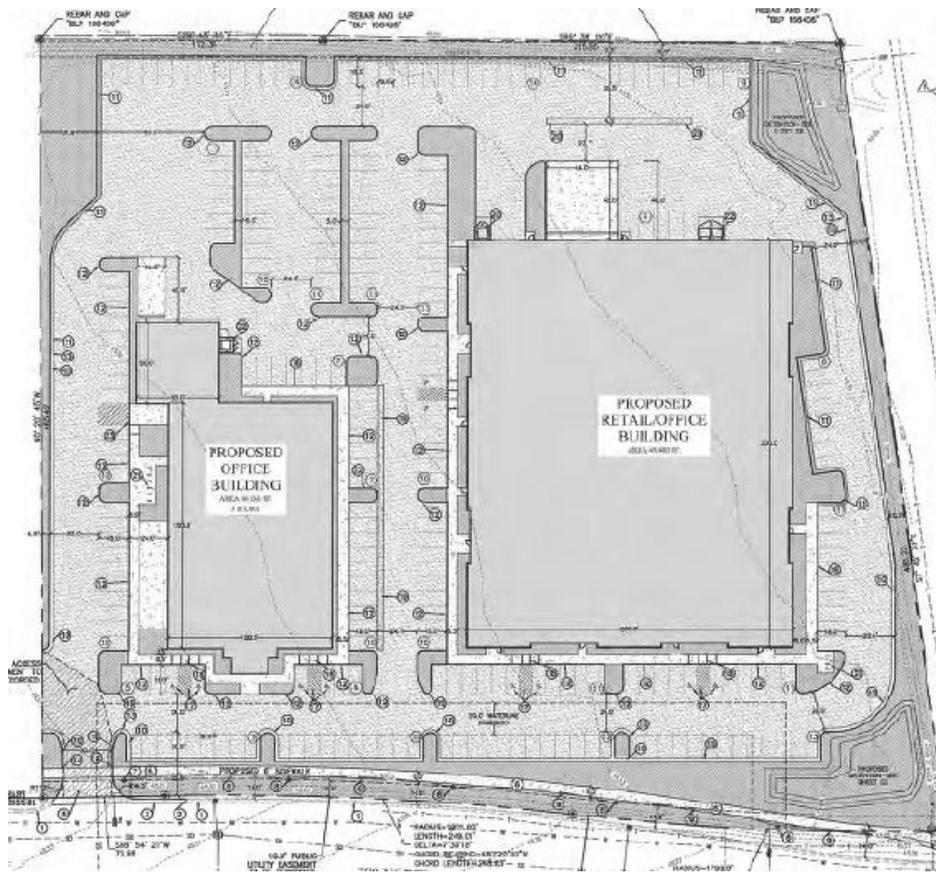
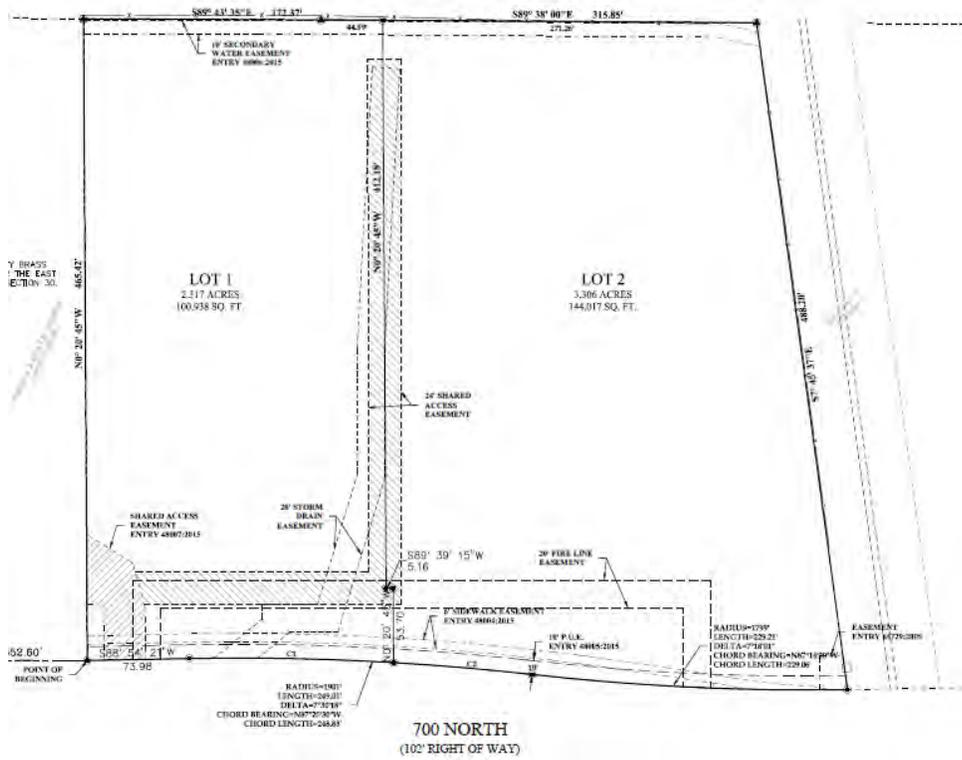
- Minimum lot size in the CG zone is 20,000 square feet (.459 acre). Lot 1 (Zyto) at 1172 West 700 North, will be 2.317 acres. Lot 2 (Tams) at 1126 West 700 North, will be 3.306 acres.
- Frontage and access requirements are met for both lots. The lots will have shared access as required per UDOT's access management plan for 700 North.
- The right-of-way improvements were previously installed. Remaining improvements are being completed per the approved site plans (PC 01/13/2015).

Other Requirements

- The applicant has provided a parking summary which indicates each lot has been provided with adequate parking spaces to comply with the Lindon City Code parking requirements.
- Staff has determined that the proposed subdivision complies with all remaining land use standards.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted.

ATTACHMENTS

1. Proposed subdivision.
2. Site plan.



Item 11: Minor Subdivision — Lindon Harbor Industrial Park Subdivision, Plat E approx. 328 South 1250 West

Arnim Way, Davies Design Build, on behalf of Enoch Jurgens, Sky Guy LLC, requests approval of a one (1) lot subdivision at approximately 328 South 1250 West in the Light Industrial (LI) zone.

<p>Applicant: Arnim Way Presenting Staff: Brandon Snyder</p> <p>General Plan: Light Industrial Current Zone: Light Industrial (LI)</p> <p>Property Owners: Enoch Jurgens, Sky Guy LLC Address: 328 South 1250 West Parcel ID: 35:338:0001 - 7 Proposed Lot Size: 3.37 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none"> Whether to approve a one (1) lot subdivision in the Light Industrial (LI) zone. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a one (1) lot subdivision, to be known as Lindon Harbor Industrial Park Subdivision, Plat E, with the following conditions (if any):</p> <ol style="list-style-type: none">
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BACKGROUND

- This proposal creates a one (1) lot subdivision by way of vacating and combining all of the existing units and common area of the Boswell-Olsen Business Condominiums, Plat A. The property currently contains the Scenic Solutions building (unit 1). They are looking to combine the property to accommodate an additional building with a design and layout not compatible with the existing recorded condominium plat (units 2-7).

DISCUSSION & ANALYSIS

Lot Requirements

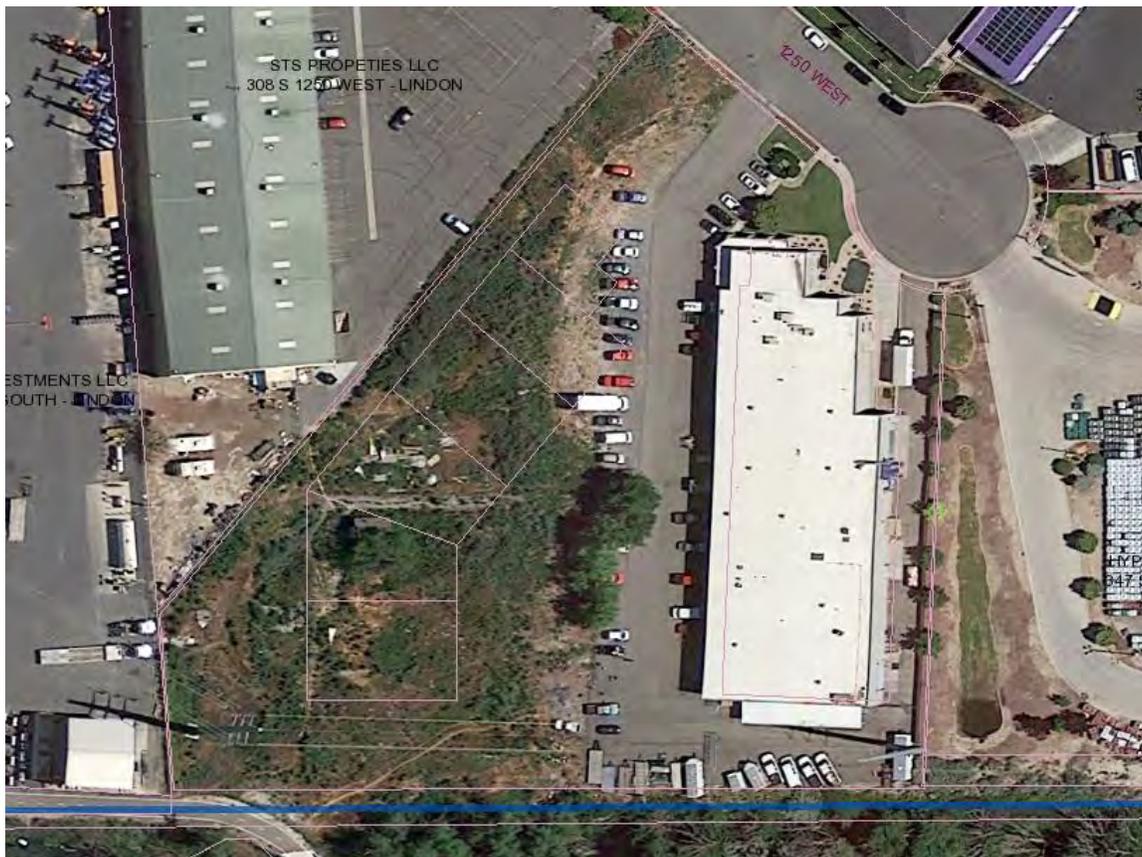
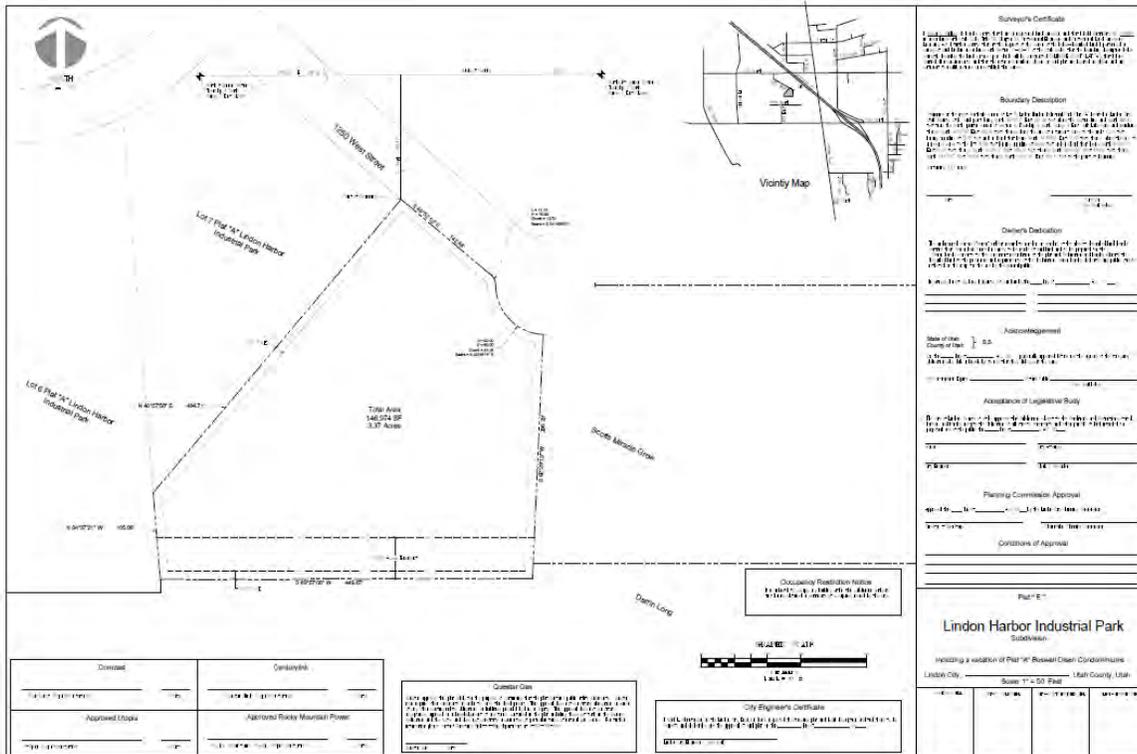
- Minimum lot size in the LI zone is 1 acre.
- Frontage requirements are met.

Other Requirements

- Staff has determined that the proposed subdivision complies with all remaining land use standards.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final plat approval is granted.

ATTACHMENTS

- Proposed subdivision.
- Aerial photo.



Item 12: Site Plan — Scenic Solutions, 328 South 1250 West

Arnim Way, Davies Design Build, on behalf of Enoch Jurgens, Sky Guy LLC, requests site plan approval of an approximately 35,820 sq. ft. office/warehouse building on the proposed lot, Lindon Harbor Industrial Park Subdivision, Plat E, at 328 South 1250 West in the Light Industrial (LI) zone.

<p>Applicant: Arnim Way, Davies Design Build Presenting Staff: Brandon Snyder</p> <p>General Plan: Light Industrial Zone: Light Industrial (LI)</p> <p>Property Owner: Enoch Jurgens, Sky Guy LLC Address: 328 South 1250 West Parcel ID: 35:338:0001 - 7 Lot Size: 3.37 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <p>1. Whether the request for site plan approval complies with applicable land use requirements of the Light Industrial (LI) zone.</p> <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for site plan approval with the following conditions (if any):</p> <ol style="list-style-type: none"> 1. 2. 3.
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BACKGROUND

1. The proposed building will be used for Office/warehouse/production (Fabricated metal products & Cabinets and similar Furniture/Fixtures) – indoor storage and production only, which are permitted uses in the Light Industrial (LI) zone.
2. The intent of the Light Industrial (LI) zone is to provide areas in appropriate locations where light manufacturing, industrial processes and warehousing not producing objectionable effects may be established, maintained, and protected. The regulations of this district are designed to protect environmental quality of the district and adjacent areas. (LCC Section 17.49.020).

REVIEW PROCESS

DRC Review

Planning Staff, the City Engineer and the applicant are working through technical issues related to the site and City Staff will ensure all issues are resolved before final Engineering approval is granted.

Table 2. Property Information (Light Industrial(LI) zone LCC Chapter 17.49)

	Minimum Requirement	Proposed Site
Lot area	1 acre	3.37 acres
Lot frontage	100 feet	200' +
Building height	Max 48'	32'
Onsite parking stalls and bicycle stalls	Vehicle: 80 stalls (office 1/350; manufacturing 1/750; warehouse 1/1000) Bicycle: 3	Vehicle: 83 stalls Bicycle: 3

Building setbacks		
Front	20 feet	164'
Rear	0 feet	50'
Side	0 feet (20' without a one-hour firewall)	20'

DISCUSSION & ANALYSIS

Landscaping Standards

Landscaping Strip The LI zone requires that a landscaped strip twenty (20) feet in width shall be planted with grass, and trees planted every thirty (30') feet on center along all public street frontages.

Fencing Standards

Fencing No fencing regulations apply as the site is not adjacent to a residential use or residential zone.

Architectural Standards

Building Materials and Color

The building exterior is to be block, which complies with Lindon City Code materials and percentages requirements. **The applicant's elevations indicating building colors is included.**

ATTACHMENTS

1. Site plan
2. Elevation

Item 13: New Business (Planning Commissioner Reports)

Item 1 – Subject _____
Discussion

Item 2 – Subject _____
Discussion

Item 3 – Subject _____
Discussion

Item 14: Planning Director Report

- Dog kennel location requirements - clarification

Adjourn