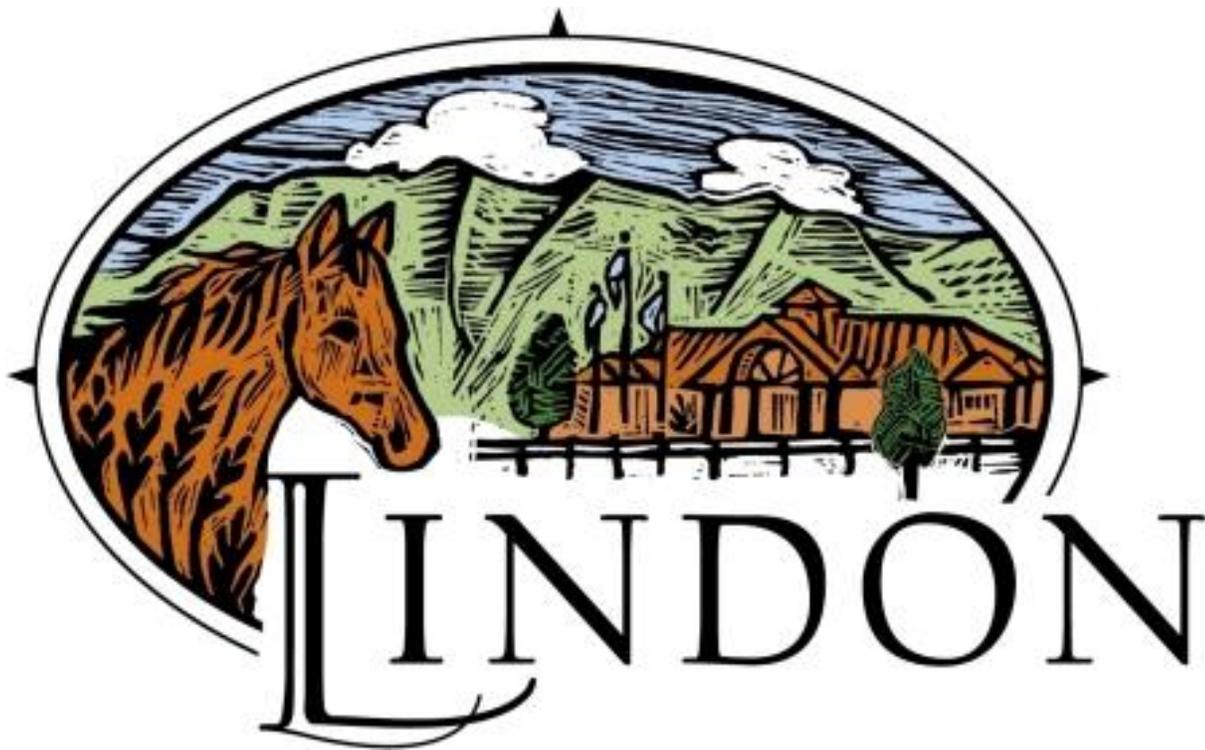


Lindon City Planning Commission Staff Report



January 27, 2015



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, January 27, 2015** in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **7:00 P.M.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. The agenda will consist of the following:

AGENDA

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. Call to Order

2. Approval of minutes from January 13, 2015

3. Public Comment

*(Review times are estimates only.)
(20 minutes)*

4. Site Plan — Lindon Tech Center, approx. 600 North 2000 West

Andrew Bollschweiler requests site plan approval of an 81,884 square foot office/warehouse on lot 1 and an 81,883 square foot office/warehouse on lot 2 of the Lindon Tech Center Subdivision at approximately 600 North 2000 West in the Mixed Commercial (MC) zone.

(20 minutes)

5. Minor Subdivision — Lindon Tech Center, approx. 600 North 2000 West

Andrew Bollschweiler requests preliminary approval of a three (3) lot subdivision, including dedication of public right-of-way, at approximately 600 North 2000 West in the Mixed Commercial (MC) zone.

(20 minutes)

6. Public Hearing — Zone Map Amendment, approx. 53 North State Street

Brandon Pierce requests approval of a zone map amendment to reclassify Utah County Parcel ID #14:069:0266 from General Commercial (CG) to General Commercial A (CG-A), to allow used automobile sales on the lot.

(20 minutes)

7. Minor Subdivision — Westlind Industrial Park, approx. 1450 West 70 South

Jill Einerson requests preliminary subdivision approval of a 3 lot industrial subdivision, with common area, at approximately 1450 West 70 South in the Light Industrial (LI) zone.

(20 minutes)

8. Minor Subdivision — Ostler Industrial Park, approx. 124 South 1800 West

Brian Pittard requests preliminary subdivision approval of a 2 lot industrial subdivision at approximately 124 South 1800 West in the Light Industrial (LI) zone.

(20 minutes)

9. Site Plan — Mix Right, approx. 124 South 1800 West

Brian Pittard requests site plan approval of a 9,375 square foot industrial building on lot 2 of the proposed Ostler Industrial Park Plat "G" at approximately 124 South 1800 West in the Light Industrial (LI) zone.

(20 minutes)

10. Minor Subdivision — Ruf Subdivision, approx. 1200 West 700 North

Ben Davis of UVM Building, LLC requests preliminary approval of a two (2) lot commercial subdivision at approximately 1200 West 700 North in the General Commercial (CG) zone.

(10 minutes)

11. Public Hearing — Ordinance Amendment, Lindon City Code 17.04.090

Lindon City requests approval of an amendment to Lindon City Code 17.04.090. The proposed amendment would define when amendment proceedings are formally initiated.

(10 minutes)

12. Election of Planning Commission Chair and Vice-chair

The Commission will hold elections for the positions of Chair and Vice-chair for 2015.

13. New Business (Reports by Commissioners)

14. Planning Director Report

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 hours notice.

Posted By: Jordan Cullimore
Time: ~11:00 am

Date: January 23, 2015
Place: Lindon City Center, Lindon Public Works, Lindon Community Center

Item I: Call to Order

January 27, 2015 Planning Commission meeting.

Roll Call:

Sharon Call
Rob Kallas
Mike Marchbanks
Matt McDonald
Andrew Skinner
Bob Wily

Item 2: Approval of Minutes

Planning Commission – Tuesday, January 13, 2015

2 The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday,**
3 **January 13, 2015 at 7:00 p.m.** at the Lindon City Center, City Council Chambers, 100
4 North State Street, Lindon, Utah.

6 **REGULAR SESSION** – 7:00 P.M.

8 Conducting: Sharon Call, Chairperson
9 Invocation: Matt McDonald, Commissioner
10 Pledge of Allegiance: Bob Wily, Commissioner

12 **PRESENT** **ABSENT**

13 Sharon Call, Chairperson
14 Andrew Skinner, Commissioner – arrived 7:13
15 Bob Wily, Commissioner
16 Mike Marchbanks, Commissioner
17 Rob Kallas, Commissioner
18 Matt McDonald, Commissioner
19 Hugh Van Wagenen, Planning Director
20 Jordan Cullimore, Associate Planner
21 Kathy Moosman, City Recorder

22
23 Special Attendee:
24 Matt Bean, Councilmember

- 26 1. **CALL TO ORDER** – The meeting was called to order at 7:00 p.m.
28 2. **APPROVAL OF MINUTES** – The minutes of the regular meeting of December 9,
29 2014 were reviewed.

30
31 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE MINUTES
32 OF THE REGULAR MEETING OF DECEMBER 9, 2014 AS PRESENTED.
33 COMMISSIONER WILY SECONDED THE MOTION. ALL PRESENT VOTED IN
34 FAVOR. THE MOTION CARRIED.

36 3. **PUBLIC COMMENT** –

37 Chairperson Call called for comments from any audience member who wished to
38 address any issue not listed as an agenda item. There were no public comments.

40 **CURRENT BUSINESS** –

- 41
42 4. **Plat Amendment:** *Homesteads @ Coulson Cove, Plat D, Approx. 750 North*
43 *Coulson Drive.* Stephen Phelon of ESP Excavation requests approval of a plat
44 amendment to create Plat D of Homesteads at Coulson Cove at approximately 750 North
45 Coulson Drive. The plat amendment includes a vacation of Lots 13, 14, and 15 of
46 Homesteads @ Coulson Cove Plat B. The subdivision is located in the Single Family
47 Residential (R1-12) zone.
48

2 Jordan Cullimore, Associate Planner, opened the discussion by giving a brief
overview of this agenda item. He explained this is a request by Stephen Phelon (who is
4 in attendance) of ESP Excavation who is requesting approval of a plat amendment to
create Plat D of Homesteads @ Coulson Cove at approximately 750 North Coulson
6 Drive. The plat amendment includes a vacation of Lots 13, 14, and 15 of Homesteads at
Coulson Cove Plat B. The subdivision is located in the Single Family Residential (R1-
8 12) zone.

10 Mr. Cullimore explained that after Plat B of Homesteads @ Coulson Cove was
recorded, it was discovered that there were discrepancies between the ownership deed
descriptions and the property lines described on the plat. He noted this plat amendment
12 simply harmonizes and reflects the lot lines identified on the recorded plat with the actual
ownership deed descriptions of the parcels. Mr. Cullimore added that the resulting lots
14 will remain compliant to city standards and Lindon City Code dimensional requirements;
this is just a formality and a technical correction. Mr. Cullimore then referenced the
16 existing Homesteads @ Coulson Cove Plat B Subdivision with proposed changes and the
proposed Homesteads @ Coulson Cove Plat D Subdivision followed by discussion.

18 Mr. Phelon commented that this is a pretty basic and straightforward plat
amendment. Commissioner Kallas inquired if this action will be making a new
20 subdivision. Mr. Cullimore stated that it is not making a new subdivision but because the
lines need to be adjusted the three (3) lots have to be vacated from the recorded plat B
22 and create Plat D. There was then some additional discussion regarding this plat
amendment.

24 Chairperson Call called for any further comments or discussion. Hearing none she
called for a motion.

26
28 COMMISSIONER MARCHBANKS MOVED TO APPROVE THE
APPLICANT'S REQUEST FOR APPROVAL OF A PLAT AMENDMENT TO
VACATE LOTS 13, 14, AND 15 OF HOMESTEADS AT COULSON COVE PLAT B
30 AND CREATE PLAT D OF HOMESTEADS AT COULSON COVE WITH NO
CONDITIONS. COMMISSIONER MCDONALD SECONDED THE MOTION. THE
32 VOTE WAS RECORDED AS FOLLOWS:

34 CHAIRPERSON CALL	AYE
COMMISSIONER WILY	AYE
COMMISSIONER KALLAS	AYE
36 COMMISSIONER MARCHBANKS	AYE
COMMISSIONER MCDONALD	AYE

38 THE MOTION CARRIED UNANIMOUSLY.

- 40 5. **Site Plan** – *ZYTO Technologies/Tams Solutions, approx. 1100 West 700 North.*
42 Barrett Morley, on behalf of Stay ZYTO LLC, requests site plan approval of a
44 46,060 square foot office building and a 51,970 square foot retail/office building on
a 5.61 acre site at approximately 1100 West700 North in the General Commercial
(CG) zone.

46 Mr. Cullimore led this agenda item by explaining this is a request by Barrett
Morley, on behalf of Stay ZYTO LLC, who is in attendance to address the Commission
48 tonight. He explained the applicant proposes to construct a 46,060 square foot office
building and a 49,480 square foot retail/office building on a 5.61 acre site at

2 approximately 1100 West 700 North in the General Commercial (CG) zone as both
3 businesses are growing and they are in need of additional space. He noted that retail and
4 office uses are permitted in the General Commercial (CG) zone.

5 Mr. Cullimore further explained that the total required number of spaces for the
6 various spaces in the two buildings is 251 required spaces with 7 ADA accessible spaces.
7 The applicant is proposing 252 parking spaces with 10 accessible parking stalls which
8 means the requirements are met. Additionally, the Code requires 18 bicycle parking
9 stalls. The site plan proposes to install 18 bicycle parking stalls, and meets the
10 requirement.

11 Mr. Cullimore then referenced the summary of parking requirements *as follows*:

- 12 • Vehicle Spaces Required: 251
- 13 • Vehicle Space Provided: 252
- 14 • Bicycle Spaces Required: 18
- 15 • Bicycle Spaces Provided: 18

16
17 Mr. Cullimore also referenced the landscape strip along the frontage explaining
18 that the 700 North Corridor has a specific street cross section which includes a narrower
19 landscaped strip than is typically required in the CG zone because there is a landscaped
20 median on 700 North. He noted the landscaping plan for this site complies with the
21 required cross section, as it relates to the proposed dimensions. Mr. Cullimore then
22 referenced the 700 North Tree Plan explaining that 700 North also includes a specific tree
23 plan along the corridor. He noted the submitted landscaping plan also matches and
24 reflects the required 700 North Tree Plan and is in compliance with all frontage
25 requirements.

26 Mr. Cullimore then referenced the Interior Landscaping explaining the interior
27 landscaping must be provided at 40 square feet per required stall. He explained that the
28 site has 252 parking stalls, which will require at least 10,800 square feet of interior
29 landscaping, exclusive of the required landscaped strip along street frontage. He noted the
30 submitted landscaping plan proposes 24,822 square feet of interior landscaping, which
31 exceeds the interior landscaping requirement. He noted the interior landscaping
32 requirements include 1 interior tree per 10 parking stalls. The number of required trees for
33 this site is 26, and the landscaping plan proposes 37 trees, which satisfies the requirement
34 as well and noted the applicant has done a good job with this landscaping aspect.

35 Mr. Cullimore then referenced the total open space requirement explaining that
36 Lindon City Code requires that a minimum of 20% of the lot be maintained in permanent
37 landscaped open space. He noted the landscaping plan indicates that just over 21% of the
38 site is landscaped (51,632/244,301) so they are compliant in this regard as well.

39 Mr. Cullimore then referenced Lindon's Commercial Design guidelines
40 explaining that the guidelines govern architectural treatments in the CG zone, identify
41 masonry building materials, such as brick, stone, and colored decorative concrete block
42 (including fenestration) as the preferred primary building material with good accents; and
43 brick, stone, colored decorative concrete block, stucco, wood/cement fiber siding, and
44 timbers as secondary materials.

45 Mr. Cullimore noted that an architect's rendering of the structures and elevation
46 details are included in attachment 4 (included in the packets). The building materials
47 proposed for the exterior of the 46,060 square foot office building include sandstone
48

2 veneer, granite veneer, and painted tilt-up. He added that the proposed exterior of the
4 49,480 square foot retail/office building includes Split-face CMU, brick-pattern
6 formliner, and painted concrete tilt-up. He noted that it is staff's opinion that the proposed
8 combination of materials and fenestration for each building properly satisfies the building
10 materials requirements of the Commercial Design Guidelines.

12 Mr. Cullimore went on to say the Commercial Design Guidelines indicate that
14 earth tones are generally preferred over harsh or loud colors, except where more vibrant
16 colors are used to create a special effect that works well with the adjacent context. The
18 Design Guidelines include a color palette for reference in determining compliance with
20 this requirement. He noted the color palette has been included as attachment 5 in the
22 packets for reference. He mentioned that the renderings of the building that illustrate the
24 building colors are also included in attachment 4 (in the packets) for review.

26 Mr. Cullimore then mentioned that the City Engineer is working through the
28 technical issues related to the site and he has indicated there are not any significant issues
30 and he will ensure all engineering related issues will be resolved before final approval is
32 granted. Mr. Cullimore then referenced the aerial photo of the site and surrounding area,
34 the site plan, the landscaping plan, the architectural rendering & elevations and the
36 commercial design guidelines color palette followed by some general discussion.

38 Commissioner Kallas inquired if the tilt up concrete will be painted and if the
40 columns will be split faced block. Mr. Morley confirmed the tilt up concrete will be
42 painted in portions and noted the split faced block may actually be a thin brick style but
44 will look like block. Commissioner McDonald asked if the blocks will also be painted.
46 Mr. Morley replied that at this point they will probably not paint the blocks.

48 Commissioner Kallas asked if staff feels this proposal meets city requirements.
Mr. Cullimore confirmed that staff feels the proposal is compliant. Chairperson Call
stated that this appears to meet the architectural and color palette standards. She added
that she sees the only thing that can be questioned is the architectural standards because
this is permitted in the general commercial zone and the parking, landscaping, open space
and tree plan requirements are all met and it does meet the color palette. Commissioner
Wily pointed out that the Zyto building obviously meets the fenestration percentage
requirement and the Tams building does as well. Mr. Cullimore stated there is not a
specific fenestration requirement but it is included in the primary building material
package. He added regarding the Zyto building the only thing that could not be
considered primary building material would be the painted tilt up areas and it also has a
lot of windows to work with as well as the primary building accents. Commissioner Wily
also inquired if they expect the two buildings to be fully occupied. Mr. Morley replied
that they will be fully occupied but they would like to have the option of leasing out if
necessary.

Commissioner Kallas commented that this appears to be a very nice looking
building but added the 700 north corridor is very important to the city and voiced his
concerns that they want to see the buildings look nice as this may set a precedent for
future buildings. Mr. Morley commented that they have worked hard to come up with a
design that looks good and fits in the neighborhood.

Adam Ford, General Counsel for Zyto, addressed the Commission at this time.

Mr. Ford stated the reason they decided to go with granite and sandstone is that they
brought the granite rock in from Utah at an additional cost to them because they want the
building to look nice, and to ensure that the façade looks great they brought sandstone in

2 from southern Utah which also has some meaning. He added that this will be a beautiful
building and they are very excited about it.

4 Commissioner McDonald asked if there were any further recommended
conditions from staff. Mr. Van Wagenen commented that when the original submittal
6 from the applicant (as far as landscaping and architecture treatments) came back to Mr.
Morley with the review comments they immediately made the improvements to come
8 into compliance. He added that staff has been very impressed with the way the applicant
has handled the process and staff feels this will be a good start for 700 north.

10 Commissioner Kallas inquired on the east property line where it comes to the
railroad track does the landscaping take it right to the property line. Mr. Morley
12 confirmed that it will go right up to their property line. Commissioner Marchbanks asked
what business Zyto and Tams does. Mr. Morley stated Zyto is a medical software
14 company that supports and sells to medical professionals and the Tams business is a
computer recycling business that refurbishes and re-sells computers.

16 Chairperson Call called for any comments or discussion. Hearing none she called
for a motion.

18
20 COMMISSIONER WILY MOVED TO APPROVE THE APPLICANT'S
REQUEST FOR SITE PLAN APPROVAL WITH NO CONDITIONS.
COMMISSIONER MARCHBANKS SECONDED THE MOTION. THE VOTE WAS
22 RECORDED AS FOLLOWS:

24 CHAIRPERSON CALL	AYE
COMMISSIONER WILY	AYE
COMMISSIONER KALLAS	AYE
26 COMMISSIONER MARCHBANKS	AYE
COMMISSIONER SKINNER	AYE
28 COMMISSIONER MCDONALD	AYE

THE MOTION CARRIED UNANIMOUSLY.

- 30
32 6. **Public Hearing** – *Ordinance Amendment, LCC 17.32.320 Flag Lots.* Rick
Chatwin requests approval of an amendment to LCC 17.32.320 Flag lots. The
34 proposed amendment would modify flag lot setback requirements to reflect typical
setback requirements for standard lots in the R1 Single Family Residential zone
(front/rear – 30 feet; side – 10 feet).

36
38 COMMISSIONER KALLAS MOVED TO OPEN THE PUBLIC HEARING.
COMMISSIONER MCDONALD SECONDED THE MOTION. ALL PRESENT
VOTED IN FAVOR. THE MOTION CARRIED.

40
42 Mr. Cullimore led this agenda item by explaining this is a request for approval of
an amendment to LCC 17.32.320 Flag Lots by Rick Chatwin (who is in attendance). Mr.
Cullimore noted the proposed amendment would modify flag lot setback requirements to
44 reflect typical setback requirements for standard lots in the R1 Single Family Residential
zone (front/rear – 30 feet; side – 10 feet).

46 Mr. Cullimore gave a brief overview explaining that the Planning Commission
has authority to approve flag lots when certain criteria, identified in LCC 17.32.320, are
48 satisfied. He explained that when the existing flag lot ordinance was passed, the City

2 Council at the time of passage expressed concerns that dwellings on flag lots could
4 encroach on the privacy of neighboring dwellings because flag lots are typically situated
6 behind standard lots. He went on to say in administering the ordinance, staff has observed
8 that the more restrictive setback requirements do not appear to be necessary to preserve a
reasonable level of privacy on neighboring lots. Mr. Cullimore stated that typical setbacks
applied to flag lots would provide neighboring lots with the same space between homes
that standard lots enjoy, and it would afford flag lot owners less restrictive buildable
areas.

10 Mr. Cullimore explained that Mr. Chatwin would like to create a flag lot at
approximately 200 South and 400 West in Lindon, but the more restrictive setbacks will
12 make it difficult for him to situate his home the way he would like to on the lot.
Consequently, he is requesting that the setback requirements on flag lots be modified to
14 reflect the setback requirements on standard lots in the R1 Single Family Residential
Zone.

16 Mr. Cullimore noted the current flag lot ordinance has the following setback
requirements:

18 Front: 30 feet
Rear: 50 feet
20 Side: 20 feet

22 Mr. Cullimore noted the Standard setback requirements in the R1 Single Family
Residential Zone are as follows:

24 Front: 30 feet
Rear: 30 feet
26 Side: 10 feet

28 Mr. Cullimore further discussed that because staff sees little reason to impose
more restrictive setback requirements on flag lots they would recommend that the
30 Planning Commission and City Council consider adjusting the height requirement on flag
lots. Mr. Cullimore explained that the City Council, at the time the existing ordinance
32 was passed, also restricted the height of dwellings on flag lots to 25 feet. Mr. Cullimore
further explained that the Commission and Council may consider adjusting this
34 requirement to reflect the height requirement of dwellings on typical residential (35 feet)
for reasons similar to those previously discussed (it likely will not adversely affect
36 adjacent standard lots, and it will allow flag lot owners greater flexibility). Mr. Cullimore
then referenced the proposed amendment.

38 Mr. Cullimore explained it was this application that triggered the discussion of the
more restrictive setbacks on flag lots. He noted that the question imposed on the
40 Commission tonight, is if the more restrictive flag lot setbacks are warranted or if it
makes sense to go ahead and apply the same setbacks that are applied to standard lots to
42 flag lots. There was then some additional discussion by the Commission with Mr.
Chatwin explaining the site plan etc. and the setback request. Mr. Cullimore then showed
44 photos of the site showing the access to the lot, the barn to the north and where the house
would be situated followed by additional discussion.

46 Mr. Cullimore then presented photos of flag lot examples in the city followed by
some general discussion. Mr. Chatwin inquired how many flag lots are currently in the
48 city. Mr. Cullimore stated there are a total of eight (8) flag lots located in the city with
two (2) under the current ordinance.

2 Chairperson Call inquired if the reason of wanting to increase the height to 35 ft.
on the flag lots is just to make it standard. Mr. Cullimore confirmed that statement noting
4 with this application there was a lot of back and forth discussion because the property
owner didn't like the grade, so if the Commission is comfortable with the 25 ft. then from
6 staff's perspective they are comfortable with it as well, so the question is if we feel that
there is not a need for it or if we feel it is necessary for the lower house height for flag
8 lots as compared to a standard lot. Chairperson Call commented she is trying to
understand why previous Commissions and City Council's approved that height limit.
10 Councilmember Bean commented that the major issue was the privacy issue of existing
homes.

12 Commissioner Kallas voiced his concerns of changing the setback to 10 ft. on the
side yards. Mr. Chatwin commented that is currently the setback on any lot in Lindon
14 other than the three flag lots approved since 2006. Mr. Cullimore commented that what
he is hearing from Commissioner Kallas is that he proposing giving the option of
16 choosing which is the front and rear setback but to keep it more restrictive.
Commissioner Kallas expressed that he would rather leave the side yards the way they
18 are (20, 20) instead of 10 ft., but also allow some flexibility as far as designating which is
the front. He also voiced his concerns if the ordinance is changed to fit this application it
20 may cause problems with future applications. Mr. Cullimore inquired if it would be more
palatable if the height restriction is maintained but the setbacks are loosened. He also
22 inquired if the side yards are kept the same and have a 30 ft. front setback and a 30 ft.
rear setback, if that would be an option.

24 Councilmember Bean noted there is a provision in the code that gives the
Planning Commission and City Council the discretion to adjust something in the
26 ordinance which is one way to consider this issue. Chairperson Call observed that
Commissioner Kallas' concerns are if the ordinance is changed to benefit Mr. Chatwin
28 that it may be detrimental in other situations. Mr. Van Wagenen asked the Commission if
they are in agreement with the concerns of Commissioner Kallas. Commissioner Wily
30 stated that he feels a special ordinance is not needed for flag lots but he is aware the
Council has already ruled on this some time ago but he feels it is the neighbors
32 expectations of what the setbacks are going to be and they should have the same
expectation if it was a non-flag lot. On the other hand, there are so few of them in the city
34 that there should be some way to handle them on a case by case basis.

Commissioner McDonald stated that he feels flag lots are not the best way to go
36 and feels that because of the lot sizes in Lindon there has not been a lot of them but there
could be more down the road with in-fill. He has concerns if this is done on a case by
38 case basis that it could cause issues for the city in the future. Commissioner Marchbanks
voiced, in his opinion, that flag lots are not a big issue and he is fine with it, but he would
40 not be comfortable changing the setbacks on the front yard. He would also like the
flexibility to look at them on a case by case basis. Chairperson Call commented that she
42 is comfortable with the 20, 20, 30, and 30. Commissioner McDonald agreed with that
statement. Commissioner Kallas stated that he would propose making a recommendation
44 to change from the current 30, 50, 20, 20, to 30, 30, 20, and 20 and keep everything else
the same.

46 Chairperson Call called for any comments or discussion. Hearing none she called
for a motion to close the public hearing.

48

2 COMMISSIONER SKINNER MOVED TO CLOSE THE PUBLIC HEARING.
3 COMMISSIONER MARCHBANKS SECONDED THE MOTION. ALL PRESENT
4 VOTED IN FAVOR. THE MOTION CARRIED.

6 Chairperson Call called for any comments or discussion. Hearing none she called
7 for a motion.

8
9 COMMISSIONER KALLAS MOVED TO RECOMMEND APPROVAL OF
10 THE PROPOSED ORDINANCE AMENDMENT TO 17.32.320 WITH THE
11 FOLLOWING CHANGES: 1. APPROVE THE CHANGE TO THE CURRENT
12 SETBACKS FROM 30 FT. FRONT YARD, 50 FT. REAR YARD, 20 FT. SIDE YARD,
13 20 FT. SIDE YARD TO 30 FT. FRONT YARD, 30 FT. REAR YARD, 20 FT. SIDE
14 YARD, 20 FT. SIDE YARD, AND 2. CHANGE THE CURRENT FLAG LOT HEIGHT
15 LIMITATION FROM THE CURRENT 25 FEET UP TO 35 FEET AND
16 RECOMMEND APPROVAL TO THE CITY COUNCIL. COMMISSIONER WILY
17 SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

18 CHAIRPERSON CALL AYE
19 COMMISSIONER WILY AYE
20 COMMISSIONER KALLAS AYE
21 COMMISSIONER MARCHBANKS AYE
22 COMMISSIONER SKINEER AYE
23 COMMISSIONER MCDONALD AYE

24 THE MOTION CARRIED UNANIMOUSLY.

- 26 7. **Minor Subdivision** – *Olsen Industrial Park, approx. 325 South Geneva Rd.*
27 Chris Olsen of Olsen Enterprises Inc., requests preliminary approval of a one (1)
28 lot industrial subdivision that will leave an un-subdivided remainder piece at
29 approximately 325 South Geneva Road in the Light Industrial (LI) zone.

30
31 *Commissioner McDonald recused himself from the meeting at this time because of*
32 *a potential conflict of interest with this agenda item.*

34 Mr. Cullimore led this agenda item by explaining this is a request by Chris Olsen
35 of Olsen Enterprises Inc., who is requesting preliminary approval of a one (1) lot
36 industrial subdivision that will leave an un-subdivided remainder piece at approximately
37 325 South Geneva Road in the Light Industrial (LI) zone. Mr. Cullimore then gave some
38 background stating that currently, Mountain States Steel and Sunroc both sit on the same
39 parcel. He noted this proposed subdivision will separate the Sunroc site from the
40 Mountain States Steel site so that the two pieces can be under separate ownership in order
41 for Sunroc to purchase a portion of the Mountain States Steel property.

42 Mr. Cullimore then referenced for discussion the lot requirements as follows:

- 43 ■ Minimum lot size in the LI zone is 1 acre (43,560 sq. ft.). The lot created by this
44 subdivision will be 9.81 acres. The remaining un-subdivided parcel upon which
45 Mountain State Steel sits will be 16.1 acres and may be further subdivided at a
46 future date.

47 Mr. Cullimore then referenced for discussion other requirements as follows:

- 48 ■ Staff has determined that the proposed subdivision complies, or will be able to
comply before final approval, with all remaining land use standards.

- 2 ▪ The City Engineer is addressing engineering standards. All engineering issues
4 will be resolved before final approval is granted. There is a possibility that street
6 dedication may be required along the eastern boundary line, but such dedication
8 will not disqualify the lot from meeting code requirements. The City Engineer is
10 reviewing the site to determine if the current right-of- way meets city standards,
12 or if dedication will be necessary.

14 Mr. Cullimore then referenced the aerial photo of the proposed subdivision and
16 the preliminary plan followed by some additional discussion. Commissioner Marchbanks
18 commented that this request seems pretty straightforward. Commissioner Kallas inquired
20 if Sunroc and Mountain States are separately connected to all utilities. Mr. Olsen
22 confirmed the utilities are currently separate.

24 Chairperson Call called for any comments or discussion. Hearing none she called
26 for a motion.

28 COMMISSIONER KALLAS MOVED TO APPROVE THE APPLICANTS
30 REQUEST FOR APPROVAL OF A ONE LOT COMMERCIAL SUBDIVISION WITH
32 NO CONDITIONS. COMMISSIONER MARCHBANKS SECONDED THE MOTION.
34 THE VOTE WAS RECORDED AS FOLLOWS:

36 CHAIRPERSON CALL	AYE
38 COMMISSIONER WILY	AYE
40 COMMISSIONER KALLAS	AYE
42 COMMISSIONER MARCHBANKS	AYE
44 COMMISSIONER SKINNER	AYE

46 THE MOTION CARRIED UNANIMOUSLY.

- 48 8. **Public Hearing** – *Ordinance Amendment, Lindon City Standard Land Use
Table.* Lindon City requests approval of an amendment to the Lindon City
Standard Land Use Table. The proposed amendment would establish legal
services as a permitted use in the Research & Business (R&B) zone.

32 COMMISSIONER WILY MOVED TO OPEN THE PUBLIC HEARING.
34 COMMISSIONER MARCHBANKS SECONDED THE MOTION. ALL PRESENT
36 VOTED IN FAVOR. THE MOTION CARRIED.

38 Mr. Cullimore led this agenda item by explaining this is a request by Lindon City
40 staff for approval of an amendment to the Lindon City Standard Land Use Table. The
42 Business (R&B) zone. They had an application from a law firm recently who also
44 applied for a business license to operate in the Research & Business zone, at which time
46 staff discovered that legal services is not a permitted use in the R&B (in the canopy
48 section). He noted that staff has determined that designating legal services as a non-
permitted use in the R&B zone was an unintended oversight, as legal services appears to
be a compatible use with other permitted business and professional offices uses in the R&
B zone.

 Mr. Cullimore further stated purpose of the R&B zone is to “provide an
aesthetically attractive working environment exclusively for conducive to the
development and protection of offices research and development institutions, and certain

2 specialized assembling and packaging uses as a secondary use to the primary function of
the building.” Consequently, staff is recommending that legal services be designated as a
4 permitted use in the R&B zone. Mr. Cullimore then referenced the proposed amendment
followed by some general discussion. He also stated this is a pretty straightforward
6 ordinance amendment and basically a formality.

8 Chairperson Call called for any comments or discussion. Hearing none she called
for a motion to close the public hearing.

10 COMMISSIONER SKINNER MOVED TO CLOSE THE PUBLIC HEARING.
COMMISSIONER WILY SECONDED THE MOTION. ALL PRESENT VOTED IN
12 FAVOR. THE MOTION CARRIED.

14 Chairperson Call called for any comments or discussion. Hearing none she called
for a motion.

16
18 COMMISSIONER MARCHBANKS MOVED TO RECOMMEND APPROVAL
OF THE PROPOSED ORDINANCE AMENDMENT TO THE LINDON CITY
STANDARD LAND USE TABLE. COMMISSIONER KALLAS SECONDED THE
20 MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

22 CHAIRPERSON CALL AYE
COMMISSIONER WILY AYE
COMMISSIONER KALLAS AYE
24 COMMISSIONER MARCHBANKS AYE
COMMISSIONER SKINNER AYE
26 COMMISSIONER MCDONALD AYE
THE MOTION CARRIED UNANIMOUSLY.

28

30 **9. New Business (Reports by Commissioners) –**

32 Chairperson Call mentioned an article in the Utah Valley magazine titled “Seven
Things about Lindon.” In the article, the author, Sharla Graff, Lindon resident, talks
about the reasons she loves Lindon for example the Smoking Apple restaurant, the Pizza
34 Factory, and the Utah College of Massage Therapy. The article also mentions that
everyone in this town focuses so much on volunteerism and how everyone is welcome in
36 Lindon. Chairperson Call also mentioned that the first of the year we do a vote for
Planning Commission Chairperson. She mentioned her concerns with all of the
38 development coming in that perhaps one of the other Commissioners who has more
experience with development should be Chairperson as she is not sure she has the depth
40 of knowledge with these types of developments.

42 Mr. Van Wagenen commented that a lot of the Chairperson’s job is to move the
meeting forward and stated that he feels Chairperson Call does a great job in this
44 position. The Commission was in agreement that Chairperson Call handles the position
well. Mr. Cullimore stated that this issue can be brought to another meeting as a formal
46 motion as an action item. Mr. Van Wagenen mentioned that there is still one vacancy on
the Planning Commission with the vacancy Commissioner Ron Anderson left. He noted
48 to contact Councilmember Bean or himself to make a recommendation. He added that a
candidate to represent the west side of Lindon would be beneficial.

2 Chairperson Call also reported that she had a resident that expressed concerns
about a basement being rented out without a permit. Mr. Cullimore stated that they will
4 check in to the issue. Mr. Van Wagenen mentioned the recent Ivory Development
meeting and asked Commissioner McDonald his thoughts about Ivory. Commissioner
6 McDonald stated he thought it was productive and feels we are moving forward slowly.
He noted it was helpful for him as well as the applicant and he feels more comfortable
8 now with the amount of rooftops and feels it is the best option to date. There was some
additional discussion by the Commission regarding this issue.

10 Chairperson Call called for any further comments or discussion. Hearing none she
moved on to the next agenda item.

12
14 **10. Planning Director Report**–

Mr. Van Wagenen reported on the following items followed by discussion:

- 16 1. ICO Apartment Tour
- 18 2. Avalon Senior Living Update
3. Envision Utah “Build Your 2050 Utah”

20 Chairperson Call called for any further comments or discussion. Hearing none she
called for a motion to adjourn.

22 **ADJOURN** –

24
26 COMMISSIONER KALLAS MADE A MOTION TO ADJOURN THE
MEETING AT 9:25 P.M. COMMISSIONER MARCHBANKS SECONDED THE
MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

28
30 Approved – January 27, 2015

32
34 _____
Sharon Call, Chairperson

36

Hugh Van Wagenen, Planning Director

Item 3: Public Comment

1 - Subject _____
Discussion

2 - Subject _____
Discussion

3 - Subject _____
Discussion

Item 4: Site Plan — Lindon Tech Center, ~600 North 2000 West

Andrew Bollschweiler of AE Urbia requests site plan approval of a two phase office/warehouse project consisting of two buildings on 11.26 acre site at approximately 600 North 2000 West in the Mixed Commercial (MC) zone.

<p>Applicant: Andrew Bollschweiler Presenting Staff: Hugh Van Wagenen</p> <p>General Plan: Mixed Commercial Current Zone: Mixed Commercial (MC)</p> <p>Property Owners: WICP West Lindon, LLC Address: ~ 600 North 2000 West Parcel ID: 14:057:0052, 14:57:0061 Lot Size: 11.26 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether to approve the two-phase site plan for two 81,884 square foot office/warehouse buildings in the MC zone.2. Whether to consider landscaping requirements being met on the entire project site or each lot individually. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for a two-phase site plan approval of two 81,884 square foot office/warehouse buildings referred to as Lindon Tech Center with the following conditions (if any):</p> <ol style="list-style-type: none">1. <i>Lindon Tech Center Subdivision needs to be approved and recorded.</i>2. <i>Any deficiencies in landscaping on Phases 1 and 2 need to be remedied in the future Phase 3.</i>3.
---	---

BACKGROUND

1. This is a site plan application for a two phase project consisting of two office/warehouse buildings of 81,884 square feet each. Each building will be on separate lots of 5.65 and 5.61 acres respectively (the subdivision application should be the next item on the agenda).
2. The site is located in the Mixed Commercial (MC) zone. The northern portion of the project was recently rezoned from CG to MC based on a similar concept for an office/warehouse project. Most office/warehouse uses are permitted or conditionally permitted in the MC zone.
3. The project will be built in two phases with phase one consisting of the building along the 2000 West frontage and phase two consisting of the building directly to the east of phase one. Each building will sit on its own lot respectively.

DISCUSSION & ANALYSIS

Parking Standards

In the Mixed Commercial Zone warehousing uses required one parking stall per 500 square feet while office uses require one stall per 350 square feet. Bicycle parking is required at an 8% ratio to the total number of parking stalls up to 16 bike stalls. ADA parking spaces are based on the total number of vehicles spaces. The square footage and correlating parking requirements for each building is below:

Building One

Office: 20,000 s.f. (57 stalls)

Warehouse: 61,884 s.f. (124 stalls)
Total Parking Required/ Provided: 181/181
Total ADA Spaces Required/Provided: 6/6
Total Bicycle Spaces Required/Provided: 14/16

Building Two

Office: 21,000 s.f. (60 stalls)
Warehouse: 60,884 s.f. (122 stalls)
Total Parking Required/Provided: 182/182
Total ADA Spaces Required/Provided: 6/6
Total Bicycle Spaces Required/Provided: 14/16

Landscaping Standards

Landscaped Strip Along Frontage

Subsection 17.48.030(4) requires a 20 foot landscaped berm along public street frontages, of which at least 70% is planted in grass. The Code also requires that trees be planted within the strip every 30 feet on center. Building One is located along the public frontage of 2000 West and has the required landscape strip with grass and trees every 30 feet on center. Building Two does not have any public street frontage.

Interior Landscaping

Interior landscaping must be provided at 40 square feet per required stall. Although each building is providing sufficient on-site parking, the interior landscaping requirement is not being met on each site respectively. The applicant is proposing to make up the deficiencies in interior landscaping for Buildings One and Two with the construction of the future phase three office building project so that the site as a whole meets the requirements. A summary of required and provided interior parking lot landscaping per building is below.

Building One

Interior Parking Lot Landscaping Required/Provided (40 s.f. per stall): 4,208/7,240 s.f.
Deficient: 3,032 s.f.

Building Two

Interior Parking Lot Landscaping Required/Provided (40 s.f. per stall): 6,440/7,280 s.f.
Deficient: 840 s.f.

The total deficiency for the two sites is 3,872 square feet. In order to ensure that the deficient landscaping is made up in phase three, the applicant is proposing to place a note on the required plat indicating the minimum landscaping requirements for each lot, which would include the 3,872 square feet of interior landscaping *in addition* to whatever is required by the provided parking stalls for that phase. For example, a note on the plat could state, "Lot 3 (phase three) to provide the following minimum parking lot landscaping area: what is required by code (40 s.f. per stall) plus an additional 3,872 square feet of parking lot landscaping."

Total Open Space Requirement

The Code requires that a minimum of 15% of each lot be maintained in permanent landscaped open space. Building One and Building Two are deficient in this area with Building One providing 10.13% (24,922 s.f. of 36,904 s.f. required) and Building Two providing 11.33% (27,711 s.f. of 36,682 s.f.

required). Again, the applicant is proposing that these deficiencies be made up in future phase three of the overall project and be ensured by placing a note on the plat. The total deficiency is 20,953 square feet of landscaped open space. Phase three is a 202,986 square foot lot and will require a minimum of 30,448 square feet of overall landscaping. If phase three is allowed to “absorb” the deficiencies in phases one and two, the plat note could state, “Lot 3 to provide the following minimum overall landscaping area: 51,401 square feet (20,953 s.f. plus 30,448 s.f.).

Other Landscape Requirements

All other landscaping requirements have been met for both buildings, including landscape buffers from adjacent zones and landscaping around the buildings.

Architectural Standards

For the MC zone the architectural design requirement states that all structures shall be aesthetically pleasing, well-proportioned building that blend with the surrounding property and structures. All structures in the zone shall have finished of brick, decorative block, stucco, wood, concrete tilt-up or other materials and designs approved within the Lindon City Commercial Design Guidelines, or as otherwise approved by the Planning Commission.

Both Building One and Building Two are virtually identical. An architect’s rendering of the structure and elevation details are included in attachment 4. The building materials proposed for the exterior of the structure include grey concrete tilt-up panels with varying sandblasting applied, 5% black tinted concrete tilt-up panels, and aluminum accent canopies.

The building height is 40 feet high which is within the 48 foot limit.

Engineering Requirements

The City Engineer is working through technical issues related to the site and will ensure all engineering related issues are resolved before final approval is granted.

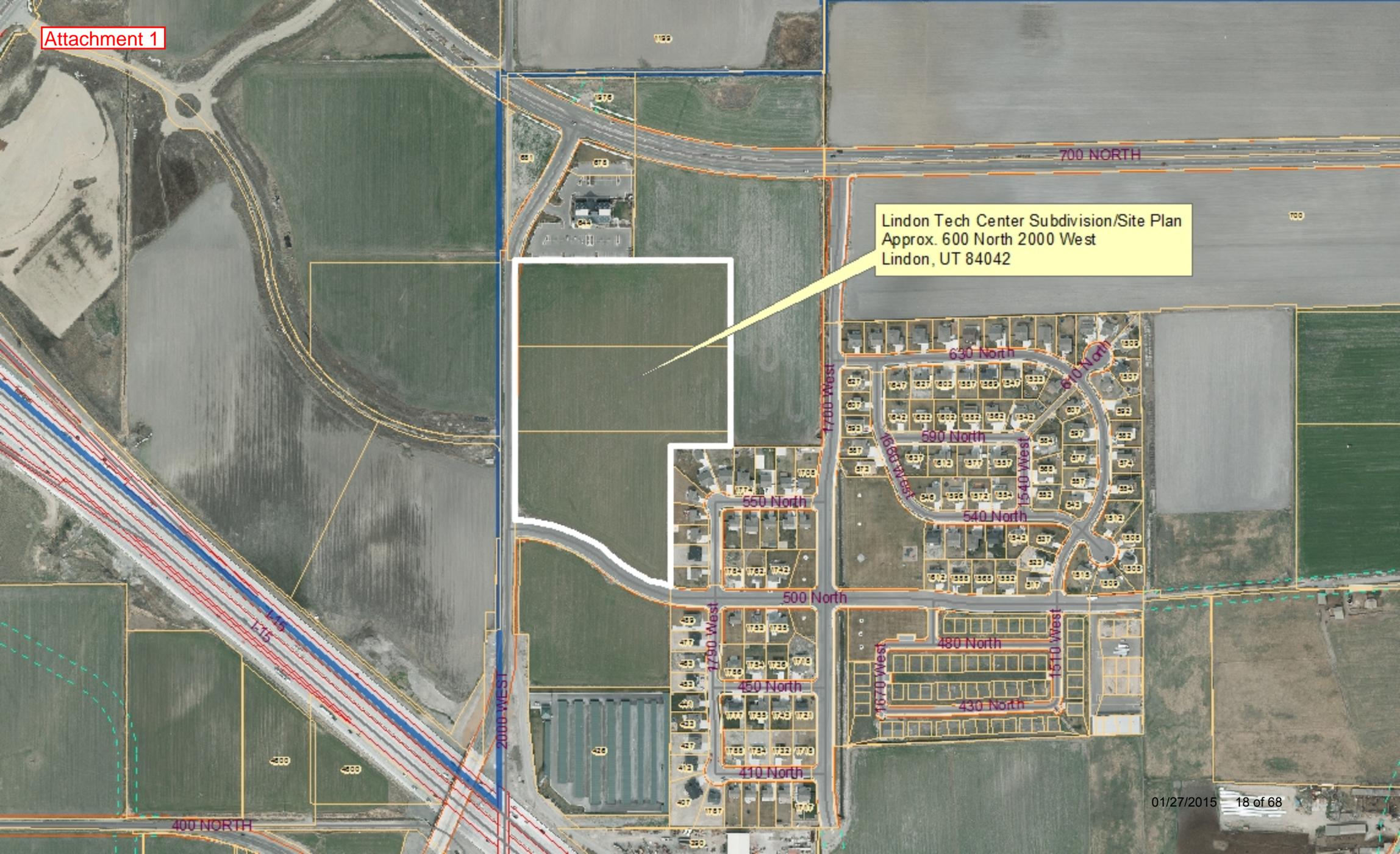
MOTION

I move to (*approve, deny, continue*) the applicant’s request for a two-phase site plan approval of two 81,884 square foot office/warehouse buildings, referred to as Lindon Tech Center, with the following conditions (if any):

1. *Lindon Tech Center Subdivision needs to be approved and recorded.*
2. *Any deficiencies in landscaping on Phases 1 and 2 need to be remedied in the future Phase 3 through notes on the Lindon Tech Center Subdivision Plat.*
- 3.

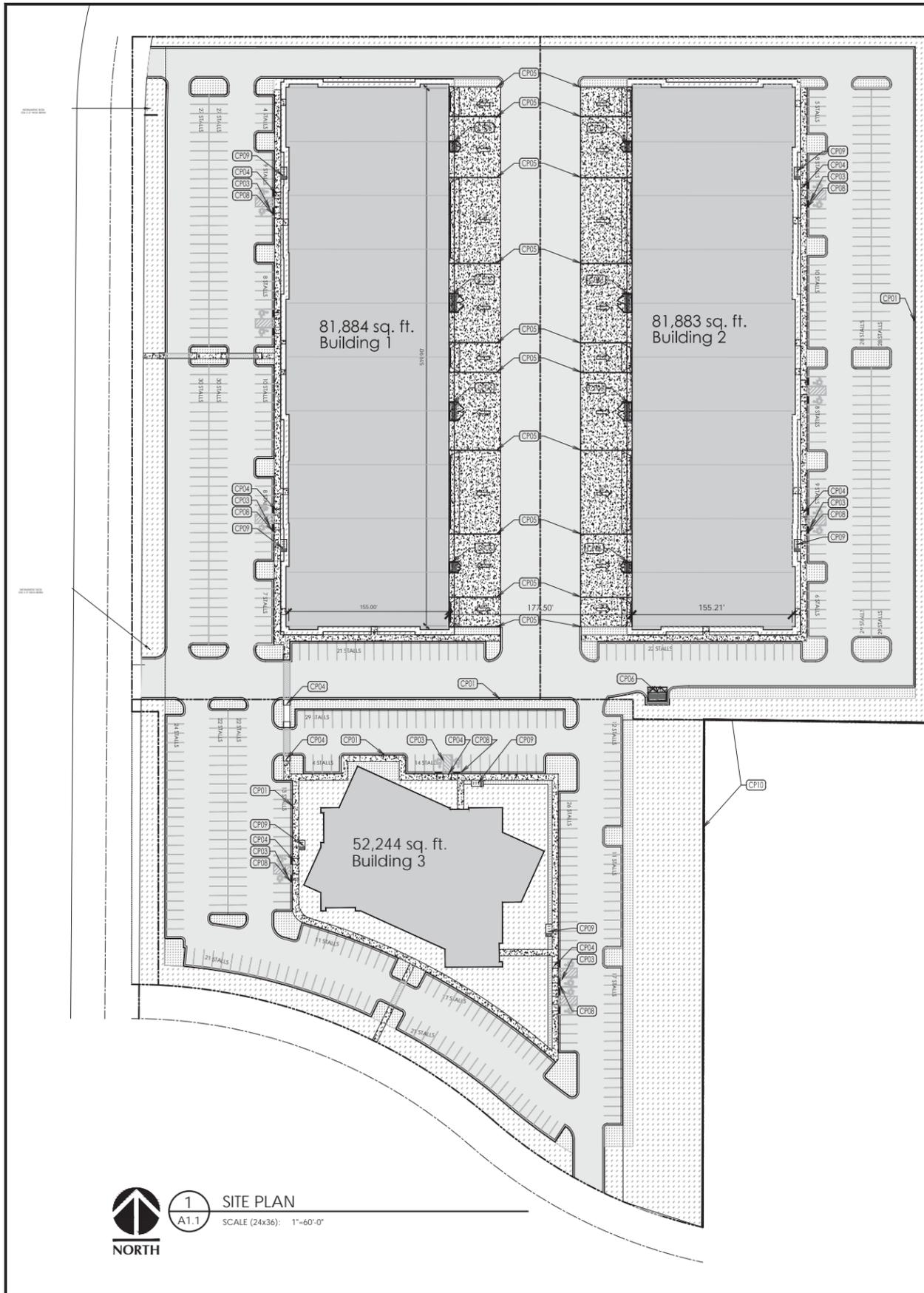
ATTACHMENTS

1. Aerial photo of the site and surrounding area.
2. Photographs of the existing site.
3. Site Plan Documents
4. Architectural Rendering & Elevations
5. Landscaping Plan



Lindon Tech Center Subdivision/Site Plan
Approx. 600 North 2000 West
Lindon, UT 84042





1 SITE PLAN
A1.1 SCALE (24x36): 1"=60'-0"

LOT 1 AREAS:

LOT	SQ. FT. / ACRES
BUILDING FOOTPRINT	246,024 SQ. FT. / 5.65 ACRES
ASPHALT	81,884 SQ. FT. / 1.88 ACRES
TOTAL LANDSCAPING	102,229 SQ. FT. / 2.35 ACRES
PARKING LANDSCAPING	24,922 SQ. FT. / 0.57 ACRES
REMAINING LANDSCAPING	4,208 SQ. FT. / 0.10 ACRES
CONCRETE	20,713 SQ. FT. / 0.48 ACRES
	36,989 SQ. FT. / 0.85 ACRES

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 1 LANDSCAPING AREAS:

SQ. FT.	CITY REQ'D
PARKING AREA LANDSCAPING	4,208 SQ. FT. 40 SQ.FT. PER STALL (OR 7,240 SQ. FT. REQ'D)
TOTAL LANDSCAPING	24,922 SQ. FT. 10.13% PROVIDED (36,904 SQ. FT.)

NOTE:
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUEVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 1 PARKING REQUIREMENTS:

SQ. FT.	CITY REQMT
OFFICE	20,000 SQ. FT. 57 (1/350)
WAREHOUSE	61,884 SQ. FT. 124 (1/500)
TOTAL REQUIRED:	181
TOTAL PROVIDED:	182 (100.55% PROVIDED, NOT TO EXCEED 130%)
ACCESSIBLE SPACES	6 (6 REQ'D - 151 TO 200)
BICYCLE SPACES	16 (14.48 REQ'D 8% OF 181)

NOTES:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 3 AREAS:

LOT	SQ. FT. / ACRES
BUILDING FOOTPRINT	202,986 SQ. FT. / 4.66 ACRES
ASPHALT	26,122 SQ. FT. / 0.60 ACRES
TOTAL LANDSCAPING	81,094 SQ. FT. / 1.86 ACRES
PARKING LANDSCAPING	82,043 SQ. FT. / 1.88 ACRES
REMAINING LANDSCAPING	15,357 SQ. FT. / 0.35 ACRES
CONCRETE	66,686 SQ. FT. / 1.53 ACRES
	13,727 SQ. FT. / 0.32 ACRES

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 3 LANDSCAPING AREAS:

SQ. FT.	CITY REQ'D
PARKING AREA LANDSCAPING	15,357 SQ. FT. 40 SQ.FT. PER STALL (OR 10,560 SQ. FT. REQ'D)
TOTAL LANDSCAPING	82,043 SQ. FT. 40.42% PROVIDED (30,448 SQ. FT.)

NOTE:
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUEVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 3 PARKING REQUIREMENTS:

SQ. FT.	CITY REQMT
OFFICE	52,244 SQ. FT. 261 (1/200)
TOTAL REQUIRED:	261
TOTAL PROVIDED:	264 (101.15% PROVIDED, NOT TO EXCEED 130%)
ACCESSIBLE SPACES	8 (8 REQ'D - 301-400)
BICYCLE SPACES	22 (21.12 REQ'D 8% OF 264)

NOTES:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 2 AREAS:

LOT	SQ. FT. / ACRES
BUILDING FOOTPRINT	244,548 SQ. FT. / 5.61 ACRES
ASPHALT	81,883 SQ. FT. / 1.88 ACRES
TOTAL LANDSCAPING	97,614 SQ. FT. / 2.24 ACRES
PARKING LANDSCAPING	27,711 SQ. FT. / 0.64 ACRES
REMAINING LANDSCAPING	6,440 SQ. FT. / 0.15 ACRES
CONCRETE	21,270 SQ. FT. / 0.49 ACRES
	37,341 SQ. FT. / 0.86 ACRES

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 2 LANDSCAPING AREAS:

SQ. FT.	CITY REQ'D
PARKING AREA LANDSCAPING	6,440 SQ. FT. 40 SQ.FT. PER STALL (OR 7,280 SQ. FT. REQ'D)
TOTAL LANDSCAPING	27,711 SQ. FT. 11.33% PROVIDED (36,682 SQ. FT. REQ'D)

NOTE:
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUEVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 2 PARKING REQUIREMENTS:

SQ. FT.	CITY REQMT
OFFICE	21,000 SQ. FT. 60 (1/350)
WAREHOUSE	60,884 SQ. FT. 122 (1/500)
TOTAL REQUIRED:	182
TOTAL PROVIDED:	182 (100.55% PROVIDED, NOT TO EXCEED 130%)
ACCESSIBLE SPACES	6 (6 REQ'D - 151 TO 200)
BICYCLE SPACES	16 (14.46 REQ'D 8% OF 182)

NOTES:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

OVERALL PROJECT:

TOTAL LOT AREAS:

LOT	SQ. FT. / ACRES
BUILDING FOOTPRINT	693,558 SQ. FT. / 15.92 ACRES
ASPHALT	189,890 SQ. FT. / 4.36 ACRES
TOTAL LANDSCAPING	280,936 SQ. FT. / 6.45 ACRES
PARKING LANDSCAPING	134,675 SQ. FT. / 3.09 ACRES
REMAINING LANDSCAPING	26,006 SQ. FT. / 0.60 ACRES
CONCRETE	108,669 SQ. FT. / 2.49 ACRES
	792,586 SQ. FT. / 6.73 ACRES

NOTE:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

OVERALL LANDSCAPING AREAS:

SQ. FT.	CITY REQ'D
PARKING AREA LANDSCAPING	26,006 SQ. FT. 40 SQ.FT. PER STALL (OR 25,040 SQ. FT. REQ'D)
TOTAL LANDSCAPING	134,675 SQ. FT. 19.42% PROVIDED (104,034 SQ. FT.)

NOTE:
1. PARKING AREA DOES NOT INCLUDE TRUCK MANUEVERING AREA OR LANDSCAPED BUFFER AS DIMENSIONED.
2. LANDSCAPED AREAS DO NOT INCLUDE HARD SURFACE AREAS(WALKWAYS, BIKE RACKS, CURB & GUTTERS).
3. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

OVERALL PARKING REQUIREMENTS:

	CITY REQMT
PHASE 1 PARKING	181
PHASE 2 PARKING	182
PHASE 3 PARKING	261
TOTAL REQUIRED:	624
TOTAL PROVIDED:	626 (100.32%)
ACCESSIBLE SPACES	CALCULATED PER PHASE
BICYCLE SPACES	CALCULATED PER PHASE

NOTES:
1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

KEYNOTES:

- CP01 CURB AND GUTTER, SEE CIVIL
- CP02 CONCRETE WALKWAYS
- CP03 VAN ACCESSIBLE PARKING, SEE DETAIL 1/A1.2
- CP04 ACCESSIBLE RAMP, SEE DETAIL 3/A1.2
- CP05 CONCRETE WALL
- CP06 DUMPSTER ENCLOSURE, SEE DETAIL 11/A1.2
- CP07 FIRE RISER ENTRY
- CP08 CONCRETE WHEEL STOP
- CP09 BICYCLE RACKS
- CP10 7" CONCRETE OR MASONRY FENCE

ae urbia
architects and engineers
2875 south decker lake drive, suite 275
salt lake city, utah 84119
phone: 801.746.0456 - fax: 801.575.4456
webpage: aeurbia.com

REGISTERED ARCHITECT
17000
JAMES W. WATSON
STATE OF UTAH
19 January 2015

SPEC OFFICE/WAREHOUSE BUILDING A
LINDON TECH CENTER
600 NORTH 2000 WEST, LINDON, UTAH

AE2014.018
SITE PLAN
REVISIONS:
DATE: DEC. 23, 2014
SHEET NO.
A1.1
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Attachment 4

01/27/2015 10:50:35 AM



- STANDARD BLACK METAL CAP FLASHING
- ALUMINUM STOREFRONT AWNING CANOPY
- TYPICAL GREY CONCRETE TILT-UP PANEL
- 3" REVEALS
- 5% BLACK TINTED CONCRETE TILT-UP PANEL
- BLACK STOREFRONT FRAMES W/ DARK BRONZE GLAZING
- 4'-0" METAL CANOPY
- BLACK STOREFRONT FRAMES W/ DARK BRONZE GLAZING
- 5% HEAVY SAND BLASTED BAND BETWEEN REVEAL LINES
- 4'-0" METAL CANOPY

1 EXTERIOR ENTRY TYPE A VIEW 1
A3.0



- STANDARD BLACK METAL CAP FLASHING
- ALUMINUM STOREFRONT AWNING CANOPY
- TYPICAL GREY CONCRETE TILT-UP PANEL HEAVY SANDBLAST
- BLACK STOREFRONT FRAMES W/ DARK BRONZE GLAZING
- TYPICAL GREY CONCRETE TILT-UP PANEL LIGHT SANDBLAST
- EXPOSED AND SEALED BLACK TINTED CONCRETE TILT-UP PANEL
- 4'-0" METAL CANOPY
- TYPICAL GREY CONCRETE TILT-UP PANEL HEAVY SANDBLAST
- 3" REVEALS
- HEAVY SAND BLASTED BAND BETWEEN REVEAL LINES
- BLACK STOREFRONT FRAMES W/ DARK BRONZE GLAZING

2 EXTERIOR ENTRY TYPE A VIEW 2
A3.0



- STANDARD BLACK METAL CAP FLASHING
- ALUMINUM STOREFRONT AWNING CANOPY
- 3" REVEALS
- SIGNAGE - DEFERRED SUBMITTAL
- BLACK STOREFRONT FRAMES W/ DARK BRONZE GLAZING
- 4'-0" ALUMINUM CANOPY
- BLACK STOREFRONT FRAMES W/ DARK BRONZE GLAZING
- EXPOSED AND SEALED BLACK TINTED CONCRETE TILT-UP PANEL
- HEAVY SAND BLASTED BAND BETWEEN REVEAL LINES

3 EXTERIOR ENTRY TYPE B VIEW 1
A3.0



- STANDARD BLACK METAL CAP FLASHING
- 5% TINTED BLACK CONCRETE TILT-UP PANEL LIGHT SANDBLAST
- ALUMINUM STOREFRONT AWNING CANOPY
- BLACK STOREFRONT FRAMES W/ DARK BRONZE GLAZING
- TYPICAL GREY CONCRETE TILT-UP PANEL HEAVY SANDBLAST
- TYPICAL GREY CONCRETE TILT-UP PANEL LIGHT SANDBLAST
- EXPOSED AND SEALED BLACK TINTED CONCRETE TILT-UP PANEL
- 4'-0" METAL CANOPY
- 3" REVEALS
- 5% BLACK TINTED CONCRETE TILT-UP PANEL HEAVY SANDBLAST BAND
- BLACK STOREFRONT FRAMES W/ DARK BRONZE GLAZING

4 EXTERIOR ENTRY TYPE B VIEW 2
A3.0

aeurbia
architects and engineers

174600
JAMES MICHAEL
MILLER
STATE OF UTAH
PHONE: 801.746.0456 - FAX: 801.575.6456
WEBSITE: aeurbia.com

174600
JAMES MICHAEL
MILLER
STATE OF UTAH
12/23/2014 10:50:35 AM

SPEC OFFICE/WAREHOUSE BUILDING A
LINDON TECH CENTER
600 NORTH 2000 WEST, LINDON, UTAH 84042

DATE	12/23/2014
TIME	10:50:35 AM
PROJECT	SPEC OFFICE/WAREHOUSE BUILDING A
LOCATION	LINDON TECH CENTER
OWNER	600 NORTH 2000 WEST, LINDON, UTAH 84042

DESIGN DEVELOPMENT

AE2014_074

ELEVATION CONCEPTS

DATE: DEC. 23, 2014

SHEET #

A3.0

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01/27/2015 10:50:35 AM

01/27/2015 11:58 AM



HEAVY SANDBLASTING FINISH EXAMPLE



5% BLACK CONCRETE TILT UP PANELS AGAINST
TYPICAL GREY CONCRETE TILT UP PANELS



STOREFRONT WINDOW AWINGS



HEAVY SANDBLASTING STRIP FINISH IN LIGHT SANDBLAST
OVERALL CONCRETE TILT UP PANEL



HEAVY SANDBLASTING CONCEPT IMAGES



ALUMINUM ENTRY CANOPY CONCEPT



TYPICAL EXPOSED
GREY CONCRETE TILT
UP PANELS, LEVEL 1
(LIGHT SANDBLAST)



TYPICAL EXPOSED
GREY CONCRETE TILT
UP PANELS, LEVEL 2
(HEAVY SANDBLAST
STRIP ELEMENT)

PROJECT FINISH COLOR SWATCHES



5% EXPOSED BLACK
CONCRETE TILT UP
PANELS, LEVEL 1
(LIGHT SANDBLAST)



5% EXPOSED GREY
CONCRETE TILT UP
PANELS, LEVEL 2
(HEAVY SANDBLAST
STRIP ELEMENT)

aeurbia
architects and engineers
174600
2411
phone: 801.746.0456 - fax: 801.575.6456
website: aeurbia.com



12/23/2014 10:50:35 AM

**SPEC OFFICE/WAREHOUSE
BUILDING A**
LONDON TECH CENTER
600 NORTH 2000 WEST, LONDON, UTAH 84042



AE2014_074

**BUILDING
ELEVATIONS**

DATE: DEC. 23, 2014

SHEET #

A3.1

DESIGN DEVELOPMENT

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01/27/2015 11:58 AM

01/27/2015 24 of 68



KEYNOTE LEGEND

- T.O. WALL 140'-0"
- T.O. WALL 3 138'-0"
- T.O. WALL 2 134'-0"
- DECK BEARING 134'-0"
- T.O. WINDOW 4 123'-0"
- UPPER LEVEL FLOOR PLAN 115'-0"
- T.O. WINDOW 3 109'-0"
- MAIN LEVEL 107'-0"
- T.O. FOOTING 1 98'-0"

aeurbia architects and engineers
 174600 JAMES McHAEL
 2411 S. 4000 WEST, SUITE 400
 LINDON, UTAH 84042
 phone: 801.746.0456 • fax: 801.575.6456
 webpage: aeurbia.com

DESIGNED ARCHITECT
 174600 JAMES McHAEL
 STATE OF UTAH

12/23/2014 10:50:42 AM

SPEC OFFICE/WAREHOUSE BUILDING A
 LINDON TECH CENTER
 600 NORTH 2000 WEST, LINDON, UTAH 84042

PROJECT NUMBER
DATE
SCALE
REVISIONS

AE2014_074

BUILDING ELEVATIONS

DATE: DEC. 23, 2014

SHEET #

A3.2

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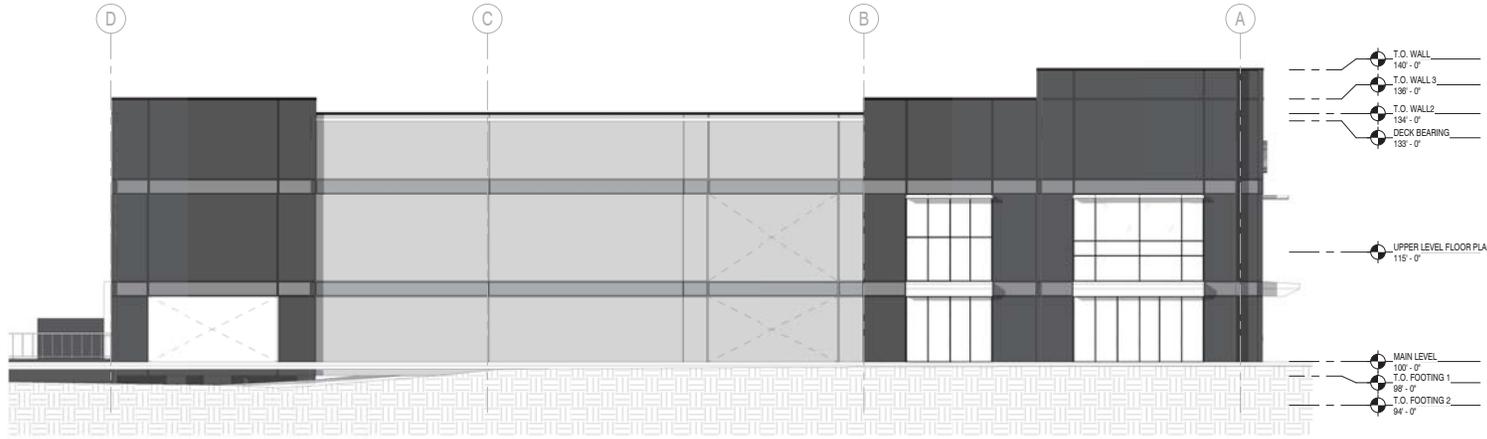
DESIGN DEVELOPMENT

- GENERAL EXTERIOR FINISH NOTES:**
1. EXTERIOR CONCRETE WALL SHALL BE SEALED WITH TWO COATS OF SEALER.
 2. EXTERIOR SURFACES REQUIRING PAINTING: HOLLOW METAL DOORS AND FRAMES, EXTERIOR FACE OF OVERHEAD DOORS, ROLLERS, SLAB EDGE FORMS, METAL STRIPS AND RAILING, ETC.
 3. SEE ELECTRICAL FOR ANY WALL MOUNTED LIGHTS.
 4. SEE DETAILS FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
 5. CALLS AND SEAL ALL EXTERIOR JOINTS.

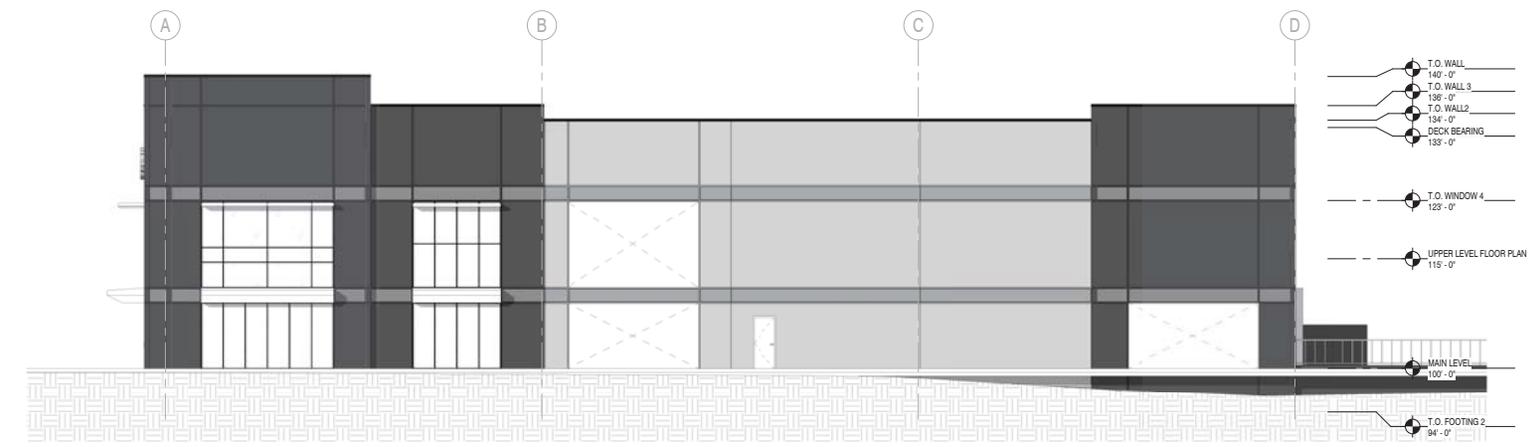
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1 BUILDING ELEVATION
A3.3 1/8" = 1'-0"



2 BUILDING ELEVATION
A3.3 1/8" = 1'-0"

- GENERAL EXTERIOR FINISH NOTES:
1. EXTERIOR CONCRETE WALL SHALL BE SEALED WITH TWO COATS OF SEALER.
 2. EXTERIOR SURFACES REQUIRING PAINTING; HOLLOW METAL DOORS AND FRAMES, EXTERIOR FACE OF OVERHEAD DOORS, WALLS, S&B EDGE FORMS, METAL STAIRS AND RAILING, ETC.
 3. SEE ELECTRICAL FOR ANY WALL MOUNTED LIGHTS.
 4. SEE DETAILS FOR TYPICAL CONCRETE REVEALS AND PANEL JOINTS.
 5. CAULK AND SEAL ALL EXTERIOR JOINTS.

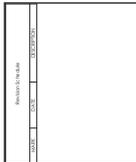
KEYNOTE LEGEND

aeurbia
architects and engineers

174660
JAMES MICHAEL
STATE OF UTAH
PHONE: 801.746.6456 - FAX: 801.575.6456
WEBSITE: aeurbia.com

174660
JAMES MICHAEL
STATE OF UTAH
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SPEC OFFICE/WAREHOUSE
BUILDING A
LINDON TECH CENTER
600 NORTH 2000 WEST, LINDON, UTAH 84042



DESIGN DEVELOPMENT

AE2014_074

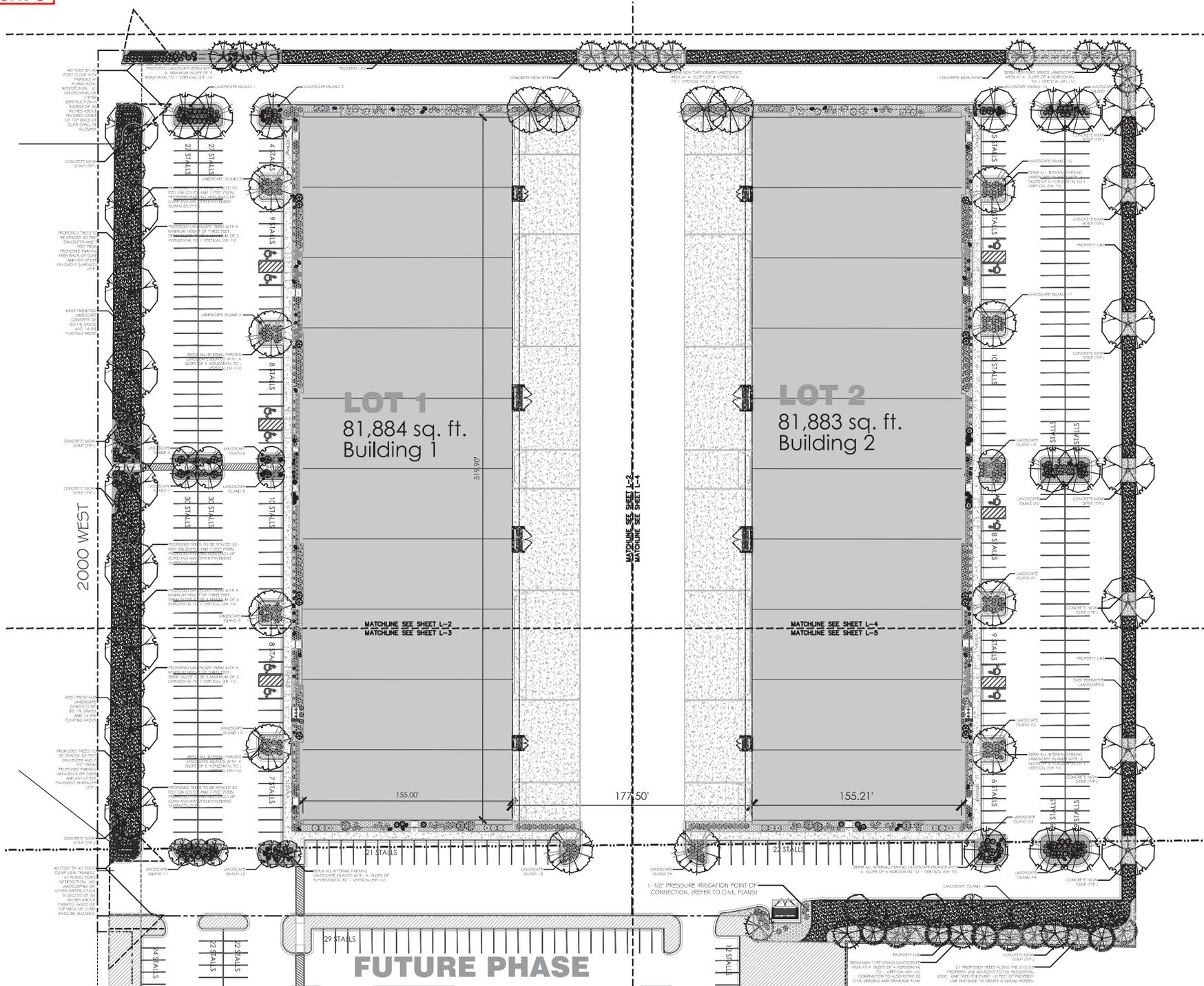
BUILDING ELEVATIONS

DATE: DEC. 23, 2014

SHEET #

A3.3

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 This document, together with the concepts and designs presented herein, is an instrument of service, as an instrument of service, is intended only for the specific purpose and client for which it was prepared. Reuse of and improper reliance on this document without written authorization and adaptation by Foresite Design Group, L.C. shall be without liability to Foresite Design Group, L.C.

LOT 1 AREAS:

LOT	SO. FT. / ACRES
BUILDING FOOTPRINT	246,024 SQ. FT. / 5.65 ACRES
ASPHALT	81,884 SQ. FT. / 1.88 ACRES
TOTAL LANDSCAPING	102,229 SQ. FT. / 2.35 ACRES
PARKING LANDSCAPING	24,922 SQ. FT. / 0.57 ACRES
REMAINING LANDSCAPING	4,208 SQ. FT. / 0.10 ACRES
CONCRETE	20,713 SQ. FT. / 0.48 ACRES
	36,989 SQ. FT. / 0.85 ACRES

NOTE:

1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT 2 AREAS:

LOT	SO. FT. / ACRES
BUILDING FOOTPRINT	244,548 SQ. FT. / 5.61 ACRES
ASPHALT	81,883 SQ. FT. / 1.88 ACRES
TOTAL LANDSCAPING	97,614 SQ. FT. / 2.24 ACRES
PARKING LANDSCAPING	27,711 SQ. FT. / 0.64 ACRES
REMAINING LANDSCAPING	6,440 SQ. FT. / 0.15 ACRES
CONCRETE	21,270 SQ. FT. / 0.49 ACRES
	37,341 SQ. FT. / 0.86 ACRES

NOTE:

1. ALL AREA CALCULATIONS ARE APPROXIMATE AND CAN CHANGE DUE TO CONSTRUCTION TOLERANCES.

LOT SUMMARIES OBTAINED FROM ARCHITECT AND FOR REFERENCE ONLY

LANDSCAPE CALCULATIONS SUMMARY INCLUDING BOTH LOTS
 ON SITE LANDSCAPING PROVIDED (REFER TO ARCHITECTURAL PLANS)

52,633 SF
 TOTAL LANDSCAPE AREA IN TURF GRASS
 23,212 SF (44.1% OF LANDSCAPE)
 TOTAL AREA IN DROUGHT TOLERANT LANDSCAPING (INCLUDING ROAD R.O.W.)
 29,421 SF (55.9% OF TOTAL)
 TOTAL IRRIGATED LANDSCAPE WITH "WATER-WIZE" PLANT MATERIAL
 52,633 SF

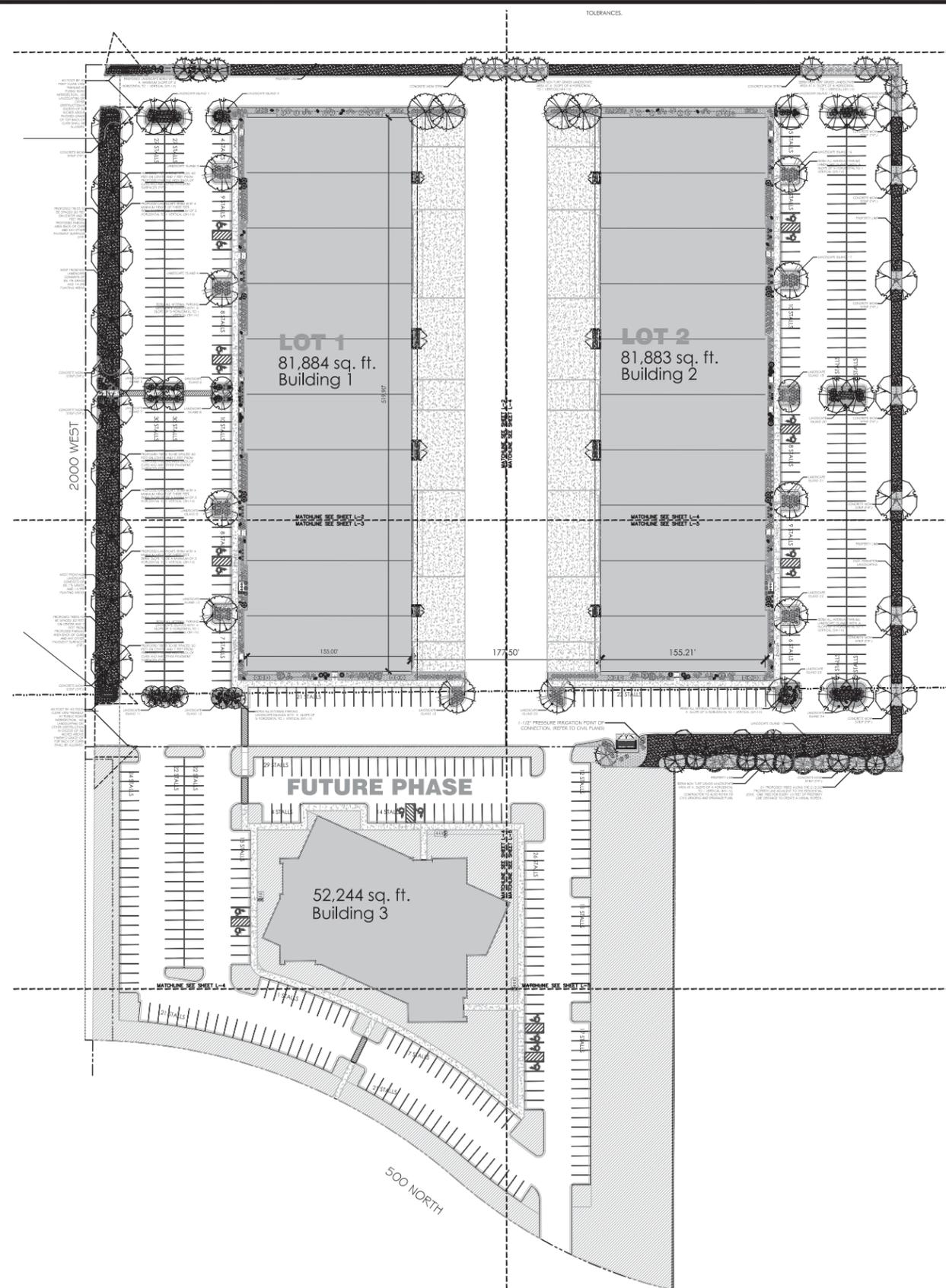
2000 WEST STREET TREES (FROM NORTHERN PROPERTY LINE TO PHASE I SOUTH ENTRY)
 18.7 TREES (560.03 FT / 30)
 PROVIDED 2000 WEST STREET TREES
 18 TREES

REQUIRED INTERIOR PARKING LOT TREES
 36.3 (1 TREE PER EVERY TEN REQ. PARKING STALLS - 363 REQ. STALLS NORTH PARCEL)
 PROVIDED INTERIOR PARKING LOT TREES
 37

REQUIRED INTERIOR LANDSCAPING OF 40 S.F. PER REQUIRED PARKING STALL AND ILLUSTRATED LOCATION OF REQUIRED INTERIOR LANDSCAPING, REFER TO ARCHITECTURAL SITE PLAN.

INTERIOR PARKING LANDSCAPE AREAS - 75% PLANT COVER REQUIRED

ISLAND	AREA (S.F.)	PLANT COVER PROVIDED (%)
ISLAND 1	521 S.F.	75.05% PLANT COVER PROVIDED
ISLAND 2	260 S.F.	78.85% PLANT COVER PROVIDED
ISLAND 3	303 S.F.	75.91% PLANT COVER PROVIDED
ISLAND 4	303 S.F.	75.91% PLANT COVER PROVIDED
ISLAND 5	208 S.F.	78.37% PLANT COVER PROVIDED
ISLAND 6	107 S.F.	85.98% PLANT COVER PROVIDED
ISLAND 7	208 S.F.	78.37% PLANT COVER PROVIDED
ISLAND 8	107 S.F.	85.98% PLANT COVER PROVIDED
ISLAND 9	303 S.F.	75.91% PLANT COVER PROVIDED
ISLAND 10	303 S.F.	75.91% PLANT COVER PROVIDED
ISLAND 11	361 S.F.	86.43% PLANT COVER PROVIDED
ISLAND 12	263 S.F.	77.95% PLANT COVER PROVIDED
ISLAND 13	218 S.F.	80.73% PLANT COVER PROVIDED
ISLAND 14	197 S.F.	75.63% PLANT COVER PROVIDED
ISLAND 15	283 S.F.	76.68% PLANT COVER PROVIDED
ISLAND 16	303 S.F.	75.91% PLANT COVER PROVIDED
ISLAND 17	303 S.F.	75.91% PLANT COVER PROVIDED
ISLAND 18	2,366 S.F.	97.08% PLANT COVER PROVIDED
ISLAND 19	303 S.F.	77.23% PLANT COVER PROVIDED
ISLAND 20	590 S.F.	76.95% PLANT COVER PROVIDED
ISLAND 21	295 S.F.	77.97% PLANT COVER PROVIDED
ISLAND 22	295 S.F.	77.97% PLANT COVER PROVIDED
ISLAND 23	431 S.F.	76.57% PLANT COVER PROVIDED
ISLAND 24	682 S.F.	77.86% PLANT COVER PROVIDED
ISLAND 25	240 S.F.	76.25% PLANT COVER PROVIDED



PLANT SCHEDULE

TREES	BOTANICAL NAME / COMMON NAME	CONT	CAL	SIZE	QTY
1	Acer gresum / Paperbark Maple	B 4 B	2' Cal		8
2	Acer platanoides / Royal Red / Royal Red Maple	B 4 B	2' Cal		14
3	Fraxinus pennsylvanica 'Marshall's Seedless' / Marshall's Seedless Ash	B 4 B	2' Cal		11
4	Gleditsia tracanthos 'varm' / Shademaster TM / Shademaster Locust	B 4 B	2' Cal		17
5	Koeleria paniculata / Golden Rain Tree	B 4 B	2' Cal		4
6	Picea pungens / Colorado Spruce	B 4 B	6'		9
7	Pinus nigra / Austrian Black Pine	B 4 B	6'		16
8	Pinus nigra 'Arnold Sentinel' / Arnold Sentinel Austrian Black Pine	B 4 B	6'		6
9	Pyrus calleryana 'Jack' / Jack Flowering Pear	B 4 B	2' Cal		17
10	Berberis thunbergii / Baguette / Baguette Red Barberry	2 gal			120
11	Bergenia coronata / Heartleaf Bergenia	1 gal			18
12	Buxus microphylla 'Winter Gem' / Gicle Winter Gem Boxwood	5 gal			14
13	Cornus sanguinea 'Midwinter Fire' / Blood-Twig Dogwood	5 gal			18
14	Cotoneaster salicifolia / Repens / Willowleaf Cotoneaster	2 gal			12
15	Euonymus alatus 'Compactus' / Compact Burning Bush	5 gal			56
16	Hemerocallis x 'Parson Me' / Parson Me Daylily	1 gal			118
17	Hemerocallis x 'Stella de Oro' / Stella de Oro Daylily	1 gal			36
18	Juncus horizontalis / Creeping Juniper	2 gal			84
19	Juncus horizontalis 'Blue Chip' / Blue Chip Juniper	2 gal			14
20	Macarthur sinensis 'Grazilimus' / Maiden Grass	2 gal			74
21	Macarthur sinensis 'Morning Light' / Eulalia Grass	2 gal			23
22	Perovskia atriplicifolia 'Blue Spire' / Russian Sage	5 gal			39
23	Pinus mugo mugo / Dwarf Mugo Pine	5 gal			12
24	Rhus aromatica 'Autumn Amber' / Autumn Amber Sumac	5 gal			22
25	Rhus aromatica 'Gro-Low' / Gro-Low Fragrant Sumac	5 gal			59
26	Festuca ovina glauca / Blue Sheep Fescue	1 gal			92
27	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	2 gal			137

GRASSES	BOTANICAL NAME / COMMON NAME	CONT	QTY
1	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass	2 gal	64
2	Festuca ovina glauca / Blue Sheep Fescue	1 gal	92
3	Pennisetum alopecuroides 'Little Bunny' / Little Bunny Fountain Grass	2 gal	137

MULCHES / ROCK	DESCRIPTION	QTY
1	8-12 CF LANDSCAPE BOULDER (BROWNS, REDS 4 GRAYS)	88 BOULDERS
2	TURF GRASS BLEND - REFER TO NOTES AND DETAILS SHEET	23,212 S.F.
3	4" DEPTH MINIMUM OF 1" TO 1 1/2" COLORED CRUSHED ROCK (BROWNS, REDS 4 GRAYS) WITH 10 PERCENT OF 4" MINUS COLORED COBBLE ROCK (BROWNS, REDS 4 GRAYS) OVER DEWITT PRO 5 WEED BARRIER	7,070 S.F.
4	4" DEPTH OF 1" TO 1 1/2" OF COLORED CRUSHED ROCK (BROWNS, REDS 4 GRAYS) OVER DEWITT PRO 5 WEED BARRIER	10,165 S.F.
5	4" DEPTH OF 3/4" TO 1" OF COLORED CRUSHED ROCK (BROWNS, REDS 4 GRAYS) OVER DEWITT PRO 5 WEED BARRIER	12,538 S.F.

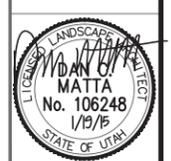
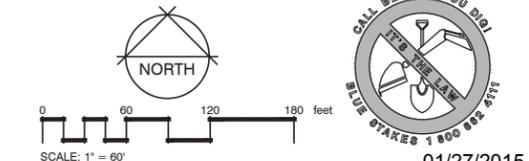
NOTES:
 1. SEE SHEET L-6 FOR LANDSCAPE NOTES AND DETAILS.
 2. LANDSCAPE MATERIAL SQUARE FOOTAGES INCLUDE AREAS WITHIN THE PUBLIC RIGHT-OF-WAY.
 3. DECIDUOUS TREES TO BE A MINIMUM OF 6 FEET IN HEIGHT AND 2" CALIPER MEASURED 12 INCHES ABOVE GROUND GRADE WHEN PLANTED.
 4. CLEAR VIEW AREA AT STREET INTERSECTIONS IS TO BE MEASURED ALONG THE PROPERTY LINE AND ALONG FRONT FACE OF CURB OF DRIVEWAY.
 5. WRITTEN AUTHORIZATION FROM THE SUPERINTENDENT OF PARKS SHALL BE REQUIRED PRIOR TO PLANTING OR REPLACING ANY TREE LOCATED ON PROPERTY OWNED AND MAINTAINED BY LONDON CITY. THE WRITTEN AUTHORIZATION SHALL ADDRESS CONCERNS INCLUDING, BUT NOT LIMITED TO:
 A. THE SPECIES, OPTIMUM PLANTING SEASON AND LOCATION OF EACH TREE.
 B. THE IMPACT OF THE TREE ON PUBLIC AND PRIVATE UTILITY FACILITIES.
 C. ANY ADDITIONAL CONDITIONS OR PROTECTIVE MEASURES DEEMED NECESSARY.
 6. ALL WORK DONE WITHIN THE PUBLIC WAY SHALL BE DONE BY A LICENSED, BONDED AND INSURED CONTRACTOR WHO SHALL FIRST OBTAIN A PUBLIC WAY PERMIT.
 7. CONTRACTOR TO REFER TO THE DOCUMENT: "WHAT YOU SHOULD KNOW ABOUT TREES - LONDON CITY TREE PLANTING GUIDE - THE VALUE OF TREES"
 8. QUANTITIES ABOVE INCLUDE BOTH LOT 1 AND LOT 2.
 SEE SHEET L-2, L-3, L-4 AND L-5 FOR ENLARGED LANDSCAPE PLANS

NO.	REVISIONS	BY	DATE
1	STREET TREES UNID UP & BKE STALLS	DCM	1/14/15
2	SITE PLAN INTERNAL PARKING AREA CHANGED	DCM	1/19/15
3	TREE BUFFER ALONG RESERVING ZONE	DCM	1/19/15

PLANNING, LANDSCAPE ARCHITECTURE & SITE DESIGN SERVICES
 13892 ARROW CREEK DRIVE
 DAPER, UTAH 84020
 PHONE: 801.641.7468
 www.foresitedesign.com



**LONDON TECH CENTER
 OVERALL LANDSCAPE PLAN
 2000 WEST 600 NORTH, LONDON, UTAH**



SHEET: **L-1**
 FILE NAME: SCALE: 1"=60'
 FSD-054-LT

01/27/2015

28 of 68

Item 5: Minor Subdivision — Lindon Tech Center ~600 North 2000 West

Andrew Bollschweiler of AE Urbia requests approval of a three lot subdivision in the Mixed Commercial zone to be known as Lindon Tech Center.

<p>Applicant: Andrew Bollschweiler Presenting Staff: Hugh Van Wagenen</p> <p>General Plan: Mixed Commercial Current Zone: Mixed Commercial</p> <p>Property Owner: WICP West Lindon, LLC Address: ~ 600 North 2000 West Parcel ID: 14:057:0052, 14:57:0061, 14:060:0049 Size: ~16 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none"> 1. Whether to approve a three lot subdivision in the MC zone. 2. Whether or not to institute minimum landscaping requirements on each lot so the overall project meets site plan requirements. <p><u>MOTION</u> I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a three lot subdivision to be known as Lindon Tech Center with the following conditions (if any):</p> <ol style="list-style-type: none"> 1. Appropriate minimum requirements for interior parking lot landscaping and overall landscaping to meet overall site requirements are recorded on the plat. 2. 3.
--	---

BACKGROUND

1. The site is located in the Mixed Commercial (MC) zone. The northern portion of the project was recently rezoned from CG to MC based on a similar concept for an office/warehouse project. Most office/warehouse uses are permitted or conditionally permitted in the MC zone.
2. The previous item on the agenda was a phased site plan application for the two of the three lots. As part of that application, the applicant is desiring to make up for landscaping deficiencies on lots one and two by placing appropriate notes on lot three of this plat. See General Notes on Page 1 of the plat to review the notes. All actual square foot percentages will be verified by staff prior to recording of the plat.

DISCUSSION & ANALYSIS

Lot Requirements

- Minimum lot size in the MC zone is 1 acre (43,560 sq. ft.). The lots created by this subdivision will be 5.6 acres (Lot 1), 5.6 acres (Lot 2) and 4.7 acres (Lot 3).

Frontage Requirements

- Lots 1 and 3 meet the required public street frontage of 100 feet. Lot 2 fronts on a private right of way as described in easement notes One and Three. This is allowed per LCC 17.04.180.

Other Requirements

- Staff has determined that the proposed subdivision complies with all remaining land use standards.

- Street dedication along 2000 West is part of the subdivision. Street improvements, including pavement widening and curb, gutter, and sidewalk installation, will be constructed with approval of the plat.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted.

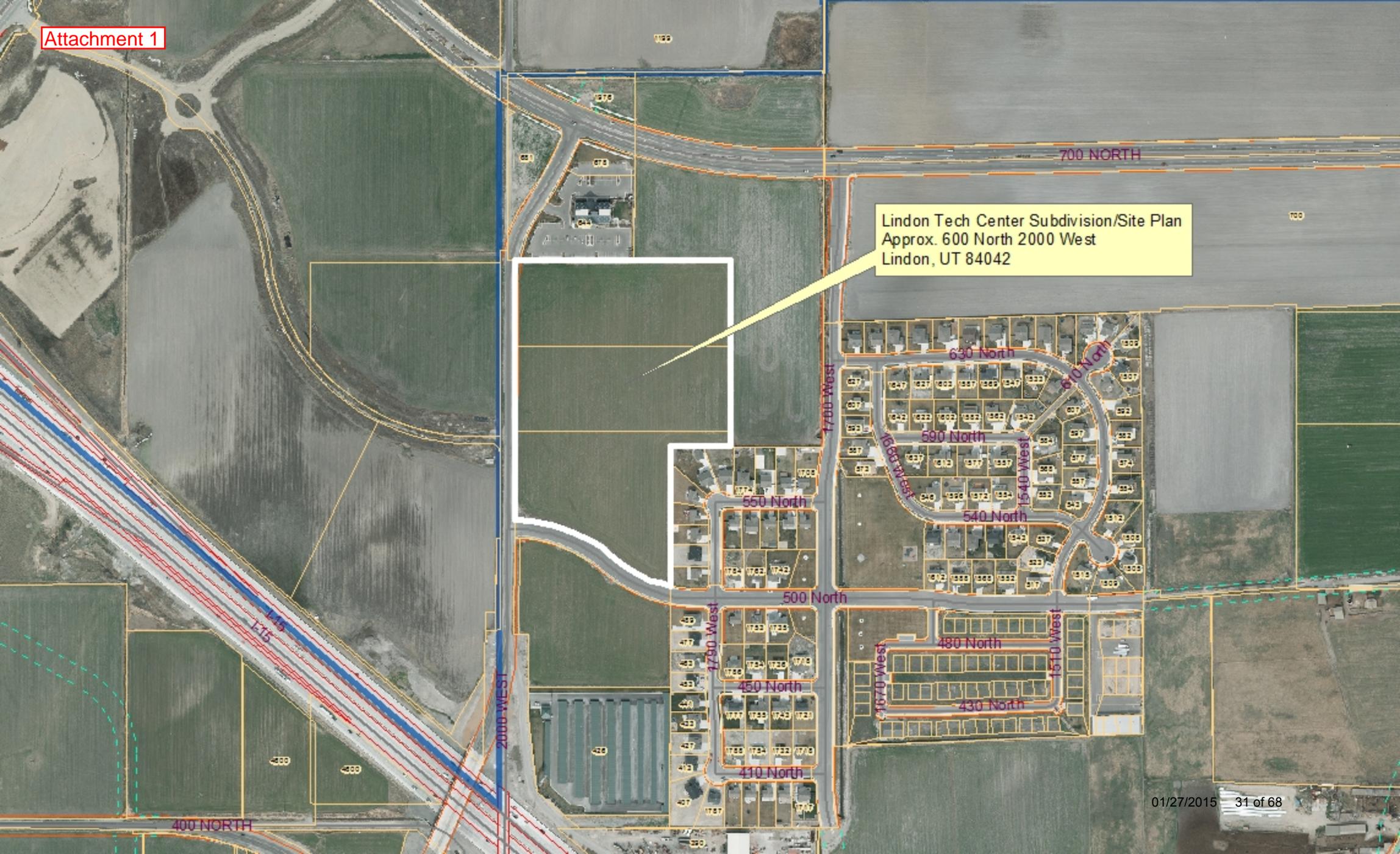
MOTION

I move to (*approve, deny, continue*) the applicant's request for approval of a three lot subdivision to be known as Lindon Tech Center with the following conditions (if any):

1. Appropriate minimum requirements for interior parking lot landscaping and overall landscaping to meet overall site requirements are recorded on the plat.
- 2.
- 3.

ATTACHMENTS

1. Aerial photo of the proposed subdivision.
2. Preliminary plan.



Lindon Tech Center Subdivision/Site Plan
Approx. 600 North 2000 West
Lindon, UT 84042



LINDON TECH CENTER

LOCATED IN THE SOUTH HALF OF SECTION 30 AND THE NORTH HALF OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN



EASEMENTS

- ① **RIGHT OF WAY EASEMENT** (IN FAVOR OF LOT 2)
 BEGINNING AT A POINT BEING SOUTH 89°32'38" WEST 1296.73 FEET ALONG THE SECTION LINE AND NORTH 547.73 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE NORTH 89°57'10" WEST 381.17 FEET TO THE EAST RIGHT OF WAY LINE OF 200 WEST STREET; THENCE 30.24 FEET ALONG A 417.00 FOOT RADIUS CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 4°09'18" (CHORD BEARS NORTH 71°12'22" EAST 30.24 FEET) ALONG SAID RIGHT OF WAY; THENCE SOUTH 89°57'10" EAST 377.39 FEET; THENCE SOUTH 30.00 FEET TO THE POINT OF BEGINNING.
 CONTAINS 0.261 ACRES OR 11,386 SQUARE FEET, MORE OR LESS.
- ② **SHARED ACCESS**
 BEGINNING AT A POINT BEING SOUTH 89°32'38" WEST 1230.88 FEET ALONG THE SECTION LINE AND SOUTH 53.02 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE NORTH 89°59'50" WEST 452.53 FEET TO THE EAST RIGHT OF WAY LINE OF 200 WEST STREET; THENCE NORTH 0°23'23" EAST 40.00 FEET ALONG SAID RIGHT OF WAY; THENCE SOUTH 89°59'50" EAST 56.36 FEET; THENCE SOUTH 86°25'07" EAST 64.09 FEET; THENCE SOUTH 89°59'50" EAST 332.94 FEET; THENCE SOUTH 0°00'10" WEST 36.00 FEET TO THE POINT OF BEGINNING.
 CONTAINS 0.381 ACRES OR 16,616 SQUARE FEET, MORE OR LESS.
- ③ **SHARED RIGHT OF WAY AND DRAINAGE**
 BEGINNING AT A POINT BEING SOUTH 89°32'38" WEST 1257.72 FEET ALONG THE SECTION LINE AND SOUTH 52.83 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE NORTH 89°59'50" WEST 77.32 FEET; THENCE NORTH 630.26 FEET; THENCE SOUTH 89°57'10" EAST 77.32 FEET; THENCE SOUTH 630.26 FEET TO THE POINT OF BEGINNING.
 CONTAINS 1.119 ACRES OR 48,729 SQUARE FEET, MORE OR LESS.

EASEMENTS

- ④ **WATER EASEMENT** (IN FAVOR OF LINDON CITY)
 BEGINNING AT A POINT ON THE EAST RIGHT OF WAY LINE OF 2000 WEST STREET, SAID POINT BEING SOUTH 89°32'38" WEST 1683.23 FEET ALONG THE SECTION LINE AND SOUTH 21.27 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE SOUTH 0°23'23" WEST 15.00 FEET ALONG SAID RIGHT OF WAY; THENCE EAST 600.84 FEET; THENCE SOUTH 12.00 FEET; THENCE EAST 15.00 FEET; THENCE NORTH 27.00 FEET; THENCE WEST 615.74 TO THE POINT OF BEGINNING.
 CONTAINS 0.216 ACRES OR 9,417 SQUARE FEET, MORE OR LESS.
- ⑤ **UTILITY EASEMENT** (PRIVATE) (IN FAVOR OF LOT 2)
 BEGINNING AT A POINT ON THE EAST RIGHT OF WAY LINE OF 2000 WEST STREET, SAID POINT BEING SOUTH 89°32'38" WEST 1683.15 FEET ALONG THE SECTION LINE AND SOUTH 9.84 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE SOUTH 67°30'00" EAST 33.28; THENCE EAST 340.48 FEET; THENCE NORTH 10.00 FEET; THENCE WEST 338.46 FEET; THENCE NORTH 67°30'00" WEST 33.28 FEET; THENCE WEST 17.11 FEET TO THE EAST RIGHT OF WAY LINE OF 2000 WEST STREET; THENCE SOUTH 0°23'23" WEST 10.00 FEET TO THE POINT OF BEGINNING.
 CONTAINS 0.089 ACRES OR 3,889 SQUARE FEET, MORE OR LESS.
- ⑥ **SEWER EASEMENT** (PRIVATE) (IN FAVOR OF LOT 2)
 BEGINNING AT A POINT BEING SOUTH 89°32'38" WEST 1163.57 FEET ALONG THE SECTION LINE AND SOUTH 72.90 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE SOUTH 76°13'51" WEST 79.00 FEET; THENCE NORTH 0°01'52" WEST 17.85 FEET; THENCE SOUTH 89°58'08" WEST 11.20 FEET; THENCE NORTH 11°31'51" EAST 50.07 FEET; THENCE SOUTH 0°02'16" WEST 10.35 FEET; THENCE SOUTH 89°06'48" EAST 39.31 FEET TO THE POINT OF BEGINNING.
 CONTAINS 0.022 ACRES OR 987 SQUARE FEET, MORE OR LESS.

EASEMENTS

- ⑦ **SEWER EASEMENT** (PRIVATE) (IN FAVOR OF LOT 1)
 BEGINNING AT A POINT BEING SOUTH 89°32'38" WEST 1260.30 FEET ALONG THE SECTION LINE AND SOUTH 73.09 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE SOUTH 89°58'08" WEST 113.94 FEET; THENCE NORTH 54°31'14" WEST 69.56 FEET; THENCE SOUTH 89°59'50" EAST 34.46 FEET; THENCE SOUTH 54°31'14" EAST 35.09 FEET; THENCE NORTH 89°58'08" EAST 107.54 FEET TO THE POINT OF BEGINNING.
 CONTAINS 0.075 ACRES OR 3,261 SQUARE FEET, MORE OR LESS.
- ⑧ **SEWER EASEMENT** (IN FAVOR OF LINDON CITY)
 BEGINNING AT A POINT ON THE NORTH RIGHT OF WAY LINE OF 500 NORTH STREET, SAID POINT BEING SOUTH 89°32'38" WEST 1298.46 FEET ALONG THE SECTION LINE AND SOUTH 493.01 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE 20.03 FEET ALONG A 467.00 FOOT RADIUS CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 2°27'26" (CHORD BEARS NORTH 54°28'38" WEST 20.03 FEET); THENCE NORTH 32°31'03" EAST 103.64 FEET; THENCE NORTH 0°01'52" WEST 322.89 FEET; THENCE NORTH 89°58'08" EAST 20.00 FEET; THENCE SOUTH 0°01'52" EAST 328.72 FEET; THENCE SOUTH 32°31'03" WEST 108.53 FEET TO THE POINT OF BEGINNING.
 CONTAINS 0.198 ACRES OR 8,619 SQUARE FEET, MORE OR LESS.
- ⑨ **WATER EASEMENT** (IN FAVOR OF LINDON CITY)
 BEGINNING AT A POINT ON THE EAST RIGHT OF WAY LINE OF 200 WEST STREET, SAID POINT BEING SOUTH 89°32'38" WEST 1077.14 FEET ALONG THE SECTION LINE AND NORTH 538.94 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE EAST 640.04 FEET; THENCE SOUTH 67°30'00" EAST 55.38 FEET; THENCE NORTH 22°30'00" EAST 15.00 FEET; THENCE NORTH 67°30'00" WEST 58.37 FEET; THENCE WEST 641.12 FEET TO THE EAST RIGHT OF WAY LINE OF 2000 WEST STREET; THENCE 15.12 FEET ALONG A 417.00 FOOT RADIUS CURVE TO THE LEFT THRU A CENTRAL ANGLE OF 0°04'40" (CHORD BEARS SOUTH 77°14'10" WEST 15.12 FEET) ALONG SAID RIGHT OF WAY TO THE POINT OF BEGINNING.
 CONTAINS 0.240 ACRES OR 10,464 SQUARE FEET, MORE OR LESS.

GENERAL NOTES

1. THE BENCHMARK WAS ESTABLISHED WITH AN ELEVATION OF 4966.77 AT THE FORD BESS CAP MONUMENT FOR THE SOUTH QUARTER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN ACCORDING TO NAVD 83 ELEVATIONS.
2. LOT 2 TO PROVIDE THE FOLLOWING MINIMUM LANDSCAPING AREAS:
 MINIMUM TOTAL LANDSCAPING: 24,992 SQUARE FEET
 MINIMUM TOTAL PARKING LOT LANDSCAPING: 2,338 SQUARE FEET.
3. LOT 2 TO PROVIDE THE FOLLOWING MINIMUM LANDSCAPING AREAS:
 MINIMUM TOTAL LANDSCAPING: 27,741 SQUARE FEET
 MINIMUM TOTAL PARKING LOT LANDSCAPING: 4,446 SQUARE FEET.
4. LOT 3 TO PROVIDE THE FOLLOWING MINIMUM LANDSCAPING AREAS:
 MINIMUM TOTAL LANDSCAPING: 51,331 SQUARE FEET
 MINIMUM TOTAL PARKING LOT LANDSCAPING: WHAT IS REQUIRED BY CODE (80 SF/STALL) PLUS AN ADDITIONAL 1,872 SQUARE FEET OF PARKING LOT LANDSCAPING.

SURVEYORS CERTIFICATE:

I, CORY B. NEERINGS, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD LICENSE NO. 518760 AS PRESCRIBED BY THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY THAT BY THE AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAN AND DESCRIBED BELOW, AND HAVE SHOWN SAID TRACT OF LAND TO LOTS AND STREETS HEREAFTER TO BE KNOWN AS THE LINDON TECH CENTER, AND THAT THE SAME HAS BEEN CORRECTLY SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAN.

CORY B. NEERINGS
 PLS 518760
 (SEE SEAL BELOW)

BOUNDARY DESCRIPTION:

BEGINNING AT A POINT BEING SOUTH 89°32'38" WEST 924.02 FEET ALONG THE SECTION LINE AND SOUTH 78.1 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE NORTH 89°06'48" WEST 211.50 FEET; THENCE SOUTH 0°12'06" WEST 490.27 FEET TO A POINT ON THE NORTH RIGHT OF WAY LINE OF 80 NORTH STREET; THENCE ALONG SAID RIGHT OF WAY LINE THE FOLLOWING TWO COURSES: (1) THENCE 230.26 FEET ALONG A 467.00 FOOT RADIUS CURVE TO THE RIGHT THRU A CENTRAL ANGLE OF 28°15'06" (CHORD BEARS NORTH 65°01'14" WEST 227.94 FEET); (2) THENCE 381.98 FEET ALONG A 533.00 FOOT RADIUS CURVE TO THE LEFT THRU A CENTRAL ANGLE OF 41°03'40" (CHORD BEARS NORTH 89°23'31" WEST 373.85 FEET); THENCE NORTH 0°02'29" EAST 915.53 FEET; THENCE EAST 767.68 FEET; THENCE SOUTH 663.36 FEET TO THE POINT OF BEGINNING.

CONTAINS:
 16.133 ACRES OR 702,781.83 SQUARE FEET;
 3 LOTS

ROAD DEDICATION:

BEGINNING AT A POINT BEING SOUTH 89°32'38" WEST 1692.39 FEET ALONG THE SECTION LINE AND SOUTH 324.57 FEET FROM THE SOUTHEAST CORNER OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN;
 THENCE NORTH 0°02'29" EAST 915.52 FEET; THENCE EAST 19.30 FEET; THENCE 74.58 FEET ALONG A 417.00 FOOT RADIUS CURVE TO THE LEFT THRU A CENTRAL ANGLE OF 167°42'23" (CHORD BEARS SOUTH 5°30'35" WEST 74.43 FEET); THENCE SOUTH 02°23'23" WEST 841.51 FEET; THENCE 7.09 FEET ALONG A 533.00 FOOT RADIUS CURVE TO THE LEFT THRU A CENTRAL ANGLE OF 0°45'45" (CHORD BEARS NORTH 89°34'28" WEST 7.09 FEET) TO THE POINT OF BEGINNING.

CONTAINS 0.211 Acres or 9,206.80 square feet, more or less.

BASES OF BEARINGS:

BASES OF BEARINGS WAS ESTABLISHED AS NORTH 41°07'00" EAST BETWEEN THE SOUTH QUARTER AND EAST QUARTER CORNERS OF SECTION 30, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN, ACCORDING TO THE UTAH STATE PLANE COORDINATE SYSTEM, UTAH CENTRAL ZONE, NAD 1983, AS SHOWN HEREON.

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT I, WE, THE UNDERSIGNED OWNERS OF THE ABOVE DESCRIBED TRACT OF LAND, HAVING CAUSED THE SAME TO BE SURVEYED, HEREAFTER TO BE KNOWN AS THE LINDON TECH CENTER DO HEREBY DEDICATE FOR PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAN AS INTENDED FOR PUBLIC USE.
 IN WITNESS WHEREOF I HAVE HEREUNTO SET MY / OUR HANDS THIS ____ DAY OF _____, 2014.

ACKNOWLEDGEMENT

STATE OF UTAH)
 COUNTY OF UTAH)
 ON THE ____ DAY OF _____, A.D. 2014, PERSONALLY APPEARED BEFORE ME, THE SIGNERS OF THE FOREGOING DEDICATION WHO DELIBERATELY ACKNOWLEDGED TO ME THAT THEY DID FREELY AND VOLUNTARILY EXECUTE THE SAME FOR THE PURPOSES THEREIN MENTIONED.
 MY COMMISSION EXPIRES: _____
 NOTARY PUBLIC _____ RESIDING IN _____ COUNTY.
 (SEE SEAL BELOW)

ACCEPTANCE BY LEGISLATIVE BODY

ON THE ____ DAY OF _____, A.D. 2014, THE CITY COUNCIL OF LINDON CITY, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC:

LINDON CITY, MAYOR _____ CLERK/RECORDER
 (SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF _____, 2014, BY LINDON CITY PLANNING COMMISSION.
 CHAIR, PLANNING COMMISSION _____

LINDON TECH CENTER

LOCATED IN THE SOUTH HALF OF SECTION 30 AND THE NORTH HALF OF SECTION 31, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN LINDON CITY, UTAH

SURVEYOR SEAL	NOTARY PUBLIC SEAL	CITY ENGINEER SEAL	CLERK/RECORDER SEAL
Recorder	REVISION: NONE		DATE: 12/23/14
STATE OF UTAH, COUNTY OF UTAH, RECORDED AND FILED AT THE REQUEST OF:		SCALE: NONE	PAGE: 1 OF 2
DATE: _____	ENTRY NO: _____	BOOK: _____	PAGE: _____
FEE: _____	UTAH COUNTY RECORDER		

PREPARED BY:

 WCP, LLC
 MARK WELDON
 4914 JOANNE KEARNEY BLVD
 TAMPA, FL 33619

OWNER/DEVELOPER CONTACT:

MAYOR	APPROVAL AS TO FORM
APPROVED THIS ____ DAY OF _____, 2014.	APPROVED THIS ____ DAY OF _____, 2014.
LINDON CITY MAYOR _____	LINDON CITY ATTORNEY _____
PLANNING COMMISSION APPROVAL	CITY ENGINEER APPROVAL
APPROVED THIS ____ DAY OF _____, 2014.	APPROVED THIS ____ DAY OF _____, 2014.
CHAIRMAN, PLANNING COMMISSION _____	LINDON CITY ENGINEER _____

Item 6: Public Hearing — Zone Map Amendment, approx. 53 North State Street

Brandon Pierce requests approval of a zone map amendment to reclassify Utah County Parcel ID #14:069:0266 from General Commercial (CG) to General Commercial A (CG-A), to allow used automobile sales on the lot. File 14-054-3

<p>Applicant: Brandon Pierce Presenting Staff: Jordan Cullimore</p> <p>General Plan: Commercial Current Zone: General Commercial (CG) Requested Zone: General Commercial A (CG-A)</p> <p>Property Owner(s): Harold & Elvie Erickson Family Limited Partnership Address: ~53 North State Street Parcel ID: 14:069:0266 Lot Size: 0.64 acres (27,851 sq. ft.)</p> <p>Type of Decision: Legislative Council Action Required: Yes</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether to recommend approval of a request to change the zoning designation of the subject lot from General Commercial (CG) to General Commercial A (CG-A). <p><u>MOTION</u></p> <p>I move to recommend to the City Council (<i>approval, denial, continuance</i>) of Ordinance 2015-04-O to change the zoning designation of the lot identified by Utah County Parcel #14:069:0266 from General Commercial (CG) to General Commercial A (CG-A) with the following conditions (if any):</p> <ol style="list-style-type: none">1.2.3.
--	---

BACKGROUND

The principle difference between the General Commercial (CG) and General Commercial A (CG-A) zones is that the CG does not allow used car sales, while the CG-A does. The applicant currently operates a used car lot (Performance Motors) at 17 North State Street in Lindon (just to the north of the subject property). Recently, the landlord of the property where Performance Motors currently operates informed the applicant that they would like to redevelop the site and potentially add additional buildings to maximize its use potential. This means that Performance Motors will need to find a new location to operate.

The applicant's business has performed well in Lindon, and he would like to stay in Lindon and continue to contribute positively to the community. The subject property, located directly south of the current location of Performance Motors, would serve the applicant's needs well, but it is not zoned to allow used car sales. Consequently, the applicant is requesting that the lot be rezoned from CG to CG-A to allow him to improve the site, construct a new building, and continue to operate Performance Motors in Lindon.

ANALYSIS

- Subsection 17.04.090(2) of the Lindon City Code establishes the factors to review when considering a request for a zone change. The subsection states that the "planning commission shall recommend adoption of a proposed amendment only where the following findings are made:

- The proposed amendment is in accord with the master plan of Lindon City;
- Changed or changing conditions make the proposed amendment reasonably necessary to carry out the purposes of the division.”
- The stated purpose of the General Commercial Zone is to “promote commercial and service uses for general community shopping.” Further, the “objective in establishing commercial zones is to provide areas within the City where commercial and service uses may be located.” Commercial zones include the CG, CG-A, CG-A8, CG-S, PC-1, and PC-2 zones.

ATTACHMENTS

1. Aerial photo of the proposed area to be re-classified.
2. Photographs of the proposed area to be reclassified.
3. Photographs of the current Performance Motors site.
4. Current zoning of the area.
5. Conceptual Site Plan.
6. Performance Motors Financial Information from 2012-2014.

Attachment 1







CG

SHFO

PF

CG

HARCLIFF

60 NORTH

Lindon City Center

Proposed Site for Performance Motors
(Subject of Rezone Request)

60 NORTH

Current Location of Performance Motors

R1-20

R1-20

CG-A

CENTER

180 WEST

STATE

40 SOUTH

CG

SHFO

300 WEST

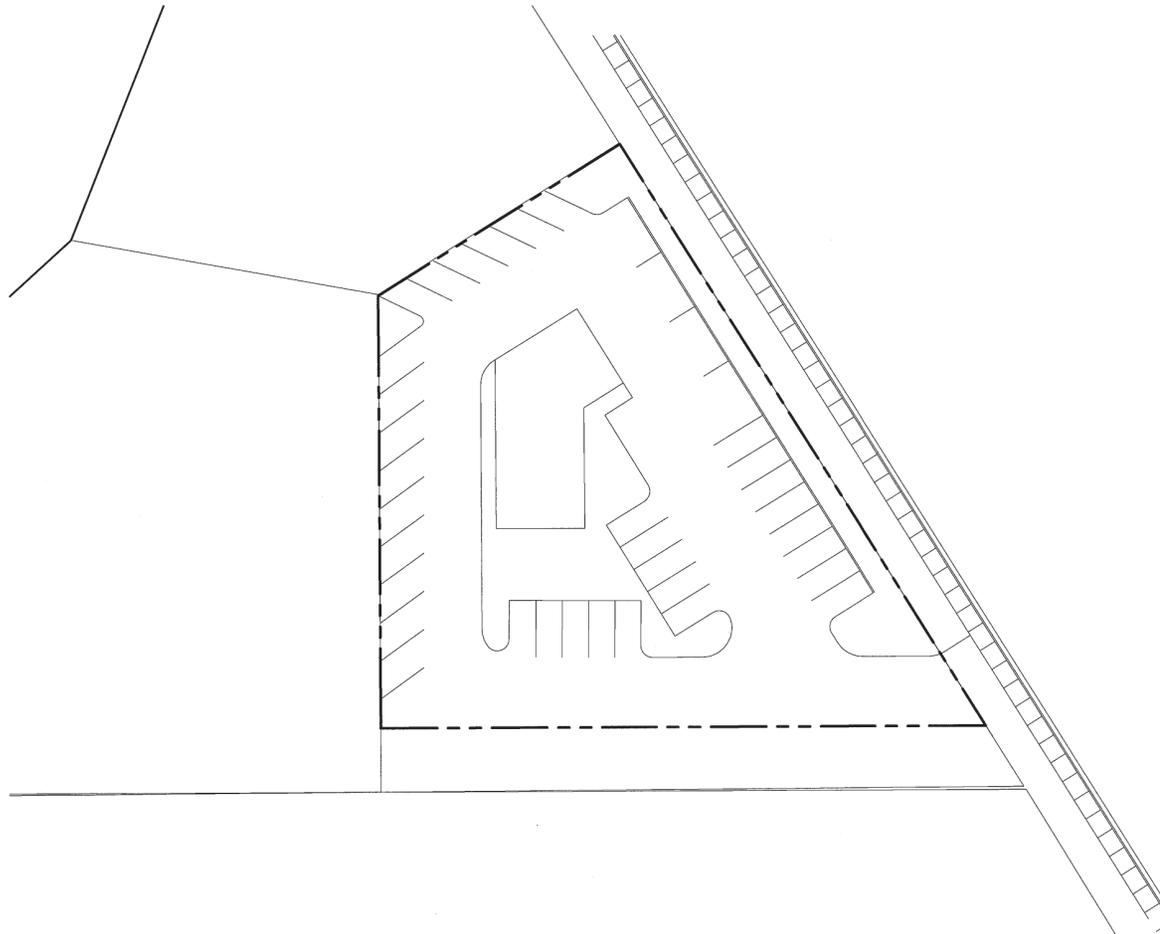
100 EAST

MAIN

Attachment 5



NORTH
1" = 20'



CAUTION!!! Notice to Contractors
The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field; the information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to reconfirm the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

Notes:

1. Telecommunication conduit shall be installed to serve this site. Run the conduit to the site from an existing service box at a nearby site as shown in the UTOPIA design. Run the conduit within the public right-of-way or secure easements to run it on private property. Lay the conduit at a minimum depth of cover of 24".
2. Install one orange 1/2" diameter SDR-11 HDPE conduit meeting ASTM 3026, or in different quantities and sizes as shown in the UTOPIA design. A twelve (12) gauge solid THHN tracer wire shall be installed inside all conduits according to NESC standards. Telecommunications conduit shall include a 3" caution tape installed in the piped line trench approximately 12" below the ground surface, with the words "CAUTION: FIBER OPTIC CABLE" printed on it.
3. The applicant is responsible for compliance with all requirements of the "Americans with Disabilities Act" (ADA).
4. All landscaped areas shall have an automatic, underground sprinkling system with a backflow prevention device and a backflow prevention device to the building, unless landscaping is served by the secondary water system.
5. Water Meters are to be located behind back of walk or back of curb in an area that is accessible, not located behind fenced areas or under covered parking.
6. Linden Standard Specifications and Drawings apply to construction of public improvements that will be owned or maintained by Linden City and take precedence over other standards.

Notes:

1. The applicant is responsible for compliance with all requirements of the "Americans with Disabilities Act" (ADA).
2. All landscaped areas shall have an automatic, underground sprinkling system with a backflow prevention device and a backflow prevention device to the building, unless landscaping is served by the secondary water system.
3. Water Meters are to be located behind back of walk or back of curb in an area that is accessible, not located behind fenced areas or under covered parking.
4. Linden Standard Specifications and Drawings apply to construction of public improvements that will be owned or maintained by Linden City and take precedence over other standards.

Project Benchmark is the South quarter corner of Section 33, Township 5 South, Range 2 East, with an elevation of 4540.42

Know what's below. 811
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111



DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Site Plan

Lindon Utah

Revisions

Date
1-22-2015
Scale
1" = 20'
By
TD
Tracing No.
L -

Sheet No.
C - 3

Item 7: Minor Subdivision — Westlind Industrial Park, approx. 1450 West 70 South

Jill Einerson requests preliminary subdivision approval of a 2 lot industrial subdivision, with common area, at approximately 1450 West 70 South in the Light Industrial (LI) zone.

<p>Applicant: Jill Einerson Presenting Staff: Jordan Cullimore</p> <p>General Plan: Light Industrial Current Zone: Light Industrial (LI)</p> <p>Property Owner: GAP Properties, LLC Address: 1450 West 70 South Parcel ID: 55:398:0005 Lot Size: 0.522 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether to approve a two unit industrial condominium subdivision in the LI zone. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a two unit industrial condominium subdivision with the following conditions (if any):</p> <ol style="list-style-type: none">1.2.3.
--	---

BACKGROUND

The applicant, who represents one of the current tenants of the property, would like to purchase their unit from the current property owner. To enable this transaction, the existing building must be condominiumized to create unique parcel IDs for the units that will enable the units to be separately owned. There will be no additions or modifications to the building, and the existing site will not be reconfigured.

The effect of the plat will be to simply create two units within the structure that may be separately owned. Each unit will include an undivided interest in the identified common area.

DISCUSSION & ANALYSIS

- Since there will be no exterior additions or modifications to the site or structures, staff has determined that the proposed subdivision complies, or will be able to comply before final approval, with applicable land use standards.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted. Staff will ensure that the final plat complies with all requirements of the Utah Condominium Ownership Act (Utah Code Ann. §57-8-1 et seq.)

ATTACHMENTS

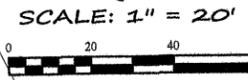
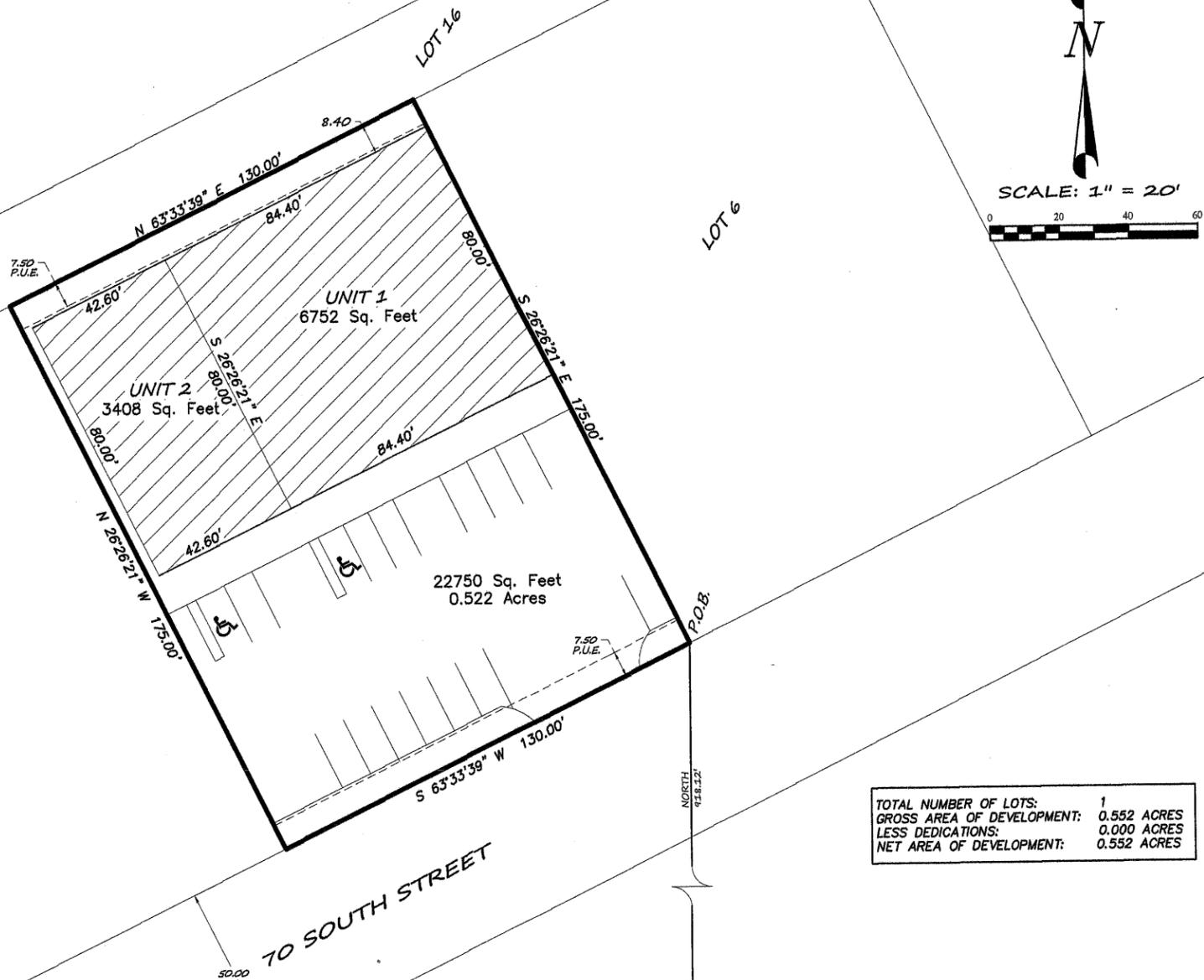
1. Aerial photo of the proposed subdivision.
2. Preliminary plan.
3. Photos of the existing site and structure.

Attachment 1





THIS SUBDIVISION PLAT AND THE LOTS ASSOCIATED THEREWITH ARE SUBJECT TO THE COVENANTS, CONDITIONS AND RESTRICTIONS RECORDED HEREWITH.



TOTAL NUMBER OF LOTS: 1
 GROSS AREA OF DEVELOPMENT: 0.552 ACRES
 LESS DEDICATIONS: 0.000 ACRES
 NET AREA OF DEVELOPMENT: 0.552 ACRES

SURVEYOR'S CERTIFICATE

I, KEVIN S BISHOP, DO HEREBY CERTIFY THAT I AM A PROFESSIONAL LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 6508652 AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER DECLARE BY AUTHORITY OF THE OWNERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS AND EASEMENTS AND THE SAME HAS BEEN SURVEYED AND STAKED ON THE GROUND AS SHOWN ON THIS PLAT.

BOUNDARY DESCRIPTION

ALL OF LOT 5, WESTLIND INDUSTRIAL PARK SUBDIVISION PLAT "A", BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS;
 BEGINNING AT THE SOUTHEAST CORNER OF LOT 5, WESTLIND INDUSTRIAL PARK SUBDIVISION PLAT "A", WHICH POINT IS LOCATED N89°21'39"E 794.23 FEET ALONG THE SECTION LINE AND 918.12 FEET FROM THE SOUTHWEST CORNER OF SECTION 32, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SLB&M; THENCE S63°33'39"W 130.00 FEET TO THE SOUTHWEST CORNER OF LOT 5, THENCE ALONG THE COMMON LOT LINE BETWEEN LOT 5 AND LOT 6 N26°26'21"W 175.00 FEET TO THE NORTHWEST CORNER OF LOT 5, THENCE N63°33'39"E 130.00 FEET TO THE NORTHEAST CORNER OF LOT 5, THENCE ALONG THE LOT LINE S26°26'21"E 175.00 FEET TO THE POINT OF BEGINNING. AREA OF ABOVE DESCRIBED PARCEL BEING 0.522 ACRES

BASIS OF BEARINGS IS N89°21'39"E ALONG THE SECTION LINE BETWEEN THE SOUTHWEST CORNER OF SECTION 32 AND THE SOUTH QUARTER CORNER OF SECTION 32.

DECEMBER 19, 2014
DATE

SURVEYOR

OWNER'S DEDICATION

KNOWN ALL BY THESE PRESENTS THAT WE THE UNDERSIGNED OWNERS OF THE DESCRIBED TRACT OF LAND SHOWN HEREON, HAVING CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS TO BE KNOWN AS BARNEY ACRES SUBDIVISION AMENDED, DO HEREBY DEDICATE FOR THE PERPETUAL USE OF THE PUBLIC ALL PARCELS OF LAND SHOWN ON THIS PLAT AS INTENDED FOR PUBLIC USE, AND DO FURTHER DEDICATE THE EASEMENTS AS SHOWN FOR THE USE BY ALL SUPPLIERS OF UTILITY OR OTHER NECESSARY SERVICES.

IN WITNESS WHEREOF, WE HAVE HEREUNTO SET OUR HANDS THIS ____ DAY OF ____ A.D. 2015.

ACKNOWLEDGEMENT

STATE OF UTAH
 COUNTY OF UTAH

ON THE ____ DAY OF ____ A.D. 2014 PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO ME THAT THEY DID EXECUTE THE SAME.

MY COMMISSION EXPIRES: ____ NOTARY PUBLIC: ____

A NOTARY PUBLIC COMMISSIONER IN UTAH COMMISSION NUMBER: ____

CITY UTILITIES APPROVAL

CULINARY WATER/PRESSURE IRRIGATION SEWER/STORM DRAIN

DIRECTOR PUBLIC WORKS DIRECTOR PUBLIC WORKS

ACCEPTANCE BY LEGISLATIVE BODY

THE CITY COUNCIL OF LINDON, COUNTY OF UTAH, APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE PERPETUAL USE OF THE PUBLIC THIS ____ DAY OF ____ A.D. 2015.

PLANNING COMMISSION APPROVAL

APPROVED THIS ____ DAY OF ____ A.D. 2015 BY THE LINDON CITY PLANNING COMMISSION.

DIRECTOR - SECRETARY CHAIRMAN, PLANNING COMMISSION

OCCUPANCY RESTRICTION NOTICE

IT IS UNLAWFUL TO OCCUPY ANY BUILDING LOCATED WITHIN THIS SUBDIVISION WITHOUT HAVING FIRST OBTAINED A CERTIFICATE OF OCCUPANCY ISSUED BY PLEASANT GROVE CITY.

PHASE 2 WESTLIND COMMERCIAL

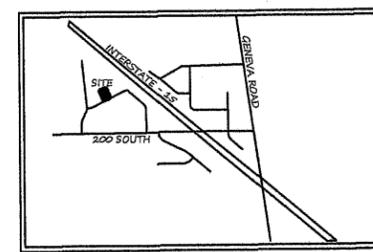
BEING A VACATION OF LOT 5 WESTLIND INDUSTRIAL PARK PLAT "A" SUBDIVISION LOCATED IN SW 1/4 SECTION 32, TOWNSHIP 5 SOUTH, RANGE 2 EAST, SLB&M PLEASANT GROVE CITY, UTAH, COUNTY OF UTAH SCALE: 1" = 20'

SURVEYOR SEAL CLERK / RECORDER SEAL ENGINEER SEAL

Community Development
 Lindon City
 DEC 29 2014

LEGEND

- UTAH COUNTY SURVEY MONUMENT
- SET REBAR AND CAP
- SUBDIVISION MONUMENT
- COMMON AREA
- PRIVATE AREA



WE HEREBY APPROVE THE VACATION OF THE DRAINAGE AND UTILITY EASEMENTS SHOWN ON THIS PLAT AND ACKNOWLEDGE THAT NO UTILITIES CURRENTLY EXIST WITHIN THE VACATED PUE.

ROCKY MTN. POWER
 CENTURY LINK
 QUESTAR GAS
 LINDON CITY

PUBLIC UTILITIES APPROVAL

CENTURY LINK DATE: _____
 QUESTAR DATE: _____
 ROCKY MTN POWER DATE: _____



Item 8: Ostler Industrial Park, approx. 124 South 1800 West

Brian Pittard requests preliminary subdivision approval of a 2 lot industrial subdivision at approximately 124 South 1800 West in the Light Industrial (LI) zone.

<p>Applicant: Brian Pittard Presenting Staff: Jordan Cullimore</p> <p>General Plan: Light Industrial Current Zone: Light Industrial (LI)</p> <p>Property Owner: KPGT Properties, LLC Address: approx. 124 South 1800 West Parcel ID: 48:347:0001 Lot Sizes: Lot 1: 1.02 acres; Lot 2: 1.00 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether to approve a two lot industrial subdivision in the LI zone. <p><u>MOTION</u> I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a two lot industrial subdivision with the following conditions (if any):</p> <ol style="list-style-type: none">1.2.3.
--	--

BACKGROUND

The existing lot is a 2.018 acre industrial site with an existing industrial structure. The northernmost area of the site is currently undeveloped. The property owner would like to subdivide the existing lot and develop the resulting undeveloped lot with another industrial structure. The site plan for lot 2 will be considered in item 9 of the Planning Commission agenda.

DISCUSSION & ANALYSIS

Lot Requirements

- Minimum lot size in the LI zone is 1 acre (43,560 sq. ft.). Lot 1 of the proposed subdivision will be 1.02 acres and lot 2 will be exactly 1.00 acre.
- Both lots will have frontage along a public street.

Other Requirements

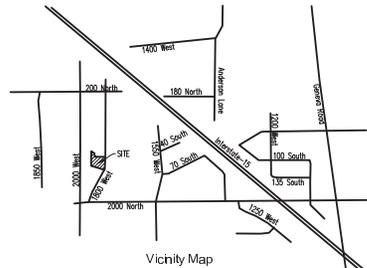
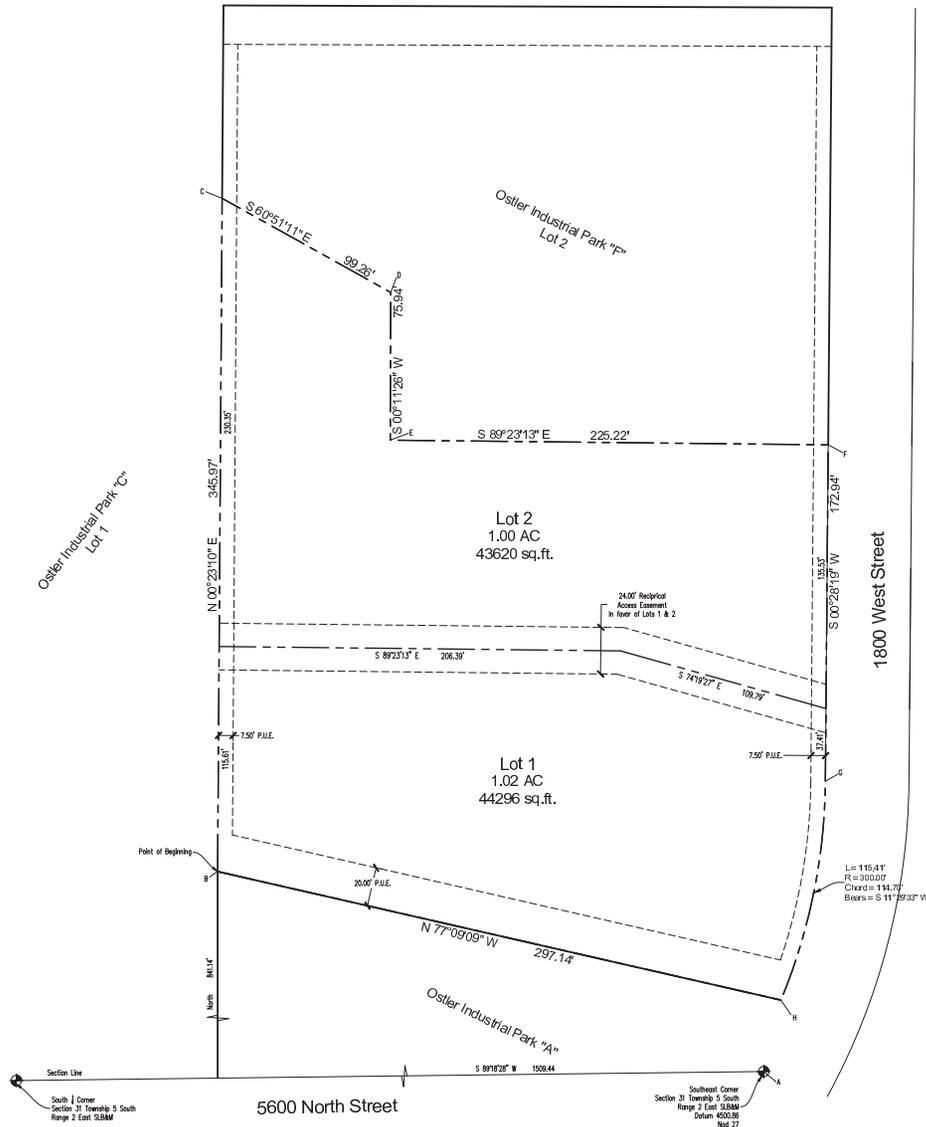
- Staff has determined that the proposed subdivision complies, or will be able to comply before final approval, with all remaining land use standards.
- Required curb and gutter already exist along the frontage of both proposed lots. Landscaping will be addressed with the site plan application.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted.

ATTACHMENTS

1. Aerial photo of the proposed subdivision
2. Preliminary plan
3. Site Photos



Attachment 2



State Plane Coordinates

	Northing	Easting
A	729625.0400'	192833.9900'
B	729448.4971'	1928025.1000'
C	729794.3555'	1928027.4437'
D	729746.0253'	1928114.1087'
E	729670.1085'	1928115.9663'
F	729667.6995'	1928338.9952'
G	729484.8147'	1928337.5711'
H	729382.4461'	1928314.7252'

Comcast

Comcast Representative _____ Date _____

Approved Utopia

Utopia Representative _____ Date _____

Centurylink

Centurylink Representative _____ Date _____

Approved Rocky Mountain Power

Rocky Mountain Power Representative _____ Date _____

Questar Gas

Questar approves this plat solely for the purpose of confirming that the plat contains public utility easements. Questar may require other easements in order to serve this development. This approval does not constitute abandonment or waiver of any other existing rights, obligations or liabilities provided by law or equity. This approval does not constitute acceptance, approval or acknowledgment of any terms contained in the plat, including those set forth in the Owners Dedication and the Notes and does not constitute a guarantee of particular terms of natural gas service. For further information please contact Questar's Right-of-Way department at 1-800-366-6532.

Questar Gas _____ Date _____

City Engineer's Certificate

I Mark L. Christensen as the Lindon City Engineer, have inspected the foregoing plat and legal description and find them to be correct, and do hereby give the approval of said plat on this _____ day of _____, 20____.

Lindon City Engineer (see seal)

Surveyor's Certificate

I, Roger D. Dudley, do hereby certify that I am a registered land surveyor, and that I hold certificate No. 147082 in accordance with Utah Code, Title 52, Chapter 22, Professional Engineers and Professional Land Surveyors Licensing Act. I further certify that at the request of the owner of the below-described land, I performed a survey of said land in accordance with Section 17-23-17 of the Utah Code; that the boundary description below correctly describes the land surface upon which will be constructed COLUMBIA COURT PLAT "A", that I have verified all measurements, and that the reference markers shown on said plat are located as shown and are sufficient to readily retrace or reestablish this survey.

Boundary Description

Commencing at the Southeast corner of Ostler Industrial Park Plat "C" which points lies South 89°18'28" West along the Section Line 1509.44 feet and North 841.14 feet from the Southeast corner of Section 31, Township 5 South, Range 2 East, South Line Base and Meridian; thence North 00°23'10" East 345.97 feet; thence South 60°51'11" East 99.25 feet; thence South 00°11'28" West 75.94 feet; thence South 89°23'13" East 225.22 feet; thence South 00°28'19" West 172.94 feet; thence along the arc of a 300.00 foot radius curve to the right 115.41 feet (chord bears South 11°29'33" West 114.79 feet); thence North 77°09'09" West 297.14 feet to the point of beginning.

AREA=87,856 sq. ft. or 2.02 acres

Basis of Bearing=South 89°18'28" West along the Section Line.

Date _____ Surveyor _____
(See Seal Below)

Owner's Dedication

Know all men by these presents that we, all of the undersigned owners of all the property described in the surveyors certificate hereto and shown on this map, have caused the same to be subdivided into lots, blocks, streets and easements and do hereby dedicate the streets and all public areas as indicated hereon for the perpetual use of the public.

In witness hereof we have hereunto set our hands the ____ day of _____ A.D. _____

Acknowledgement

State of Utah } S.S.
County of Utah }

On this _____ day of _____, A.D. 20____, personally appeared before me the signers of the foregoing dedication who duly acknowledge to me that they did execute the same.

My Commission Expires _____ Notary Public _____
(see Seal below)

Acceptance of Legislative Body

The City of Lindon, County of Utah, approves this Subdivision subject to the Conditions and Restrictions stated hereon, and hereby accepts the dedication of all streets, easements and other parcels of land intended for perpetual use of the public this _____ day of _____, A.D. 20____.

Mayer _____ City Attorney _____
City Engineer _____ Clerk / Recorder _____

Planning Commission Approval

Approved this _____ day of _____, A.D. 20____ by the Lindon City Planning Commission.

Director - Secretary _____ Chairman, Planning Commission _____

Conditions of Approval

Plat "G"

Ostler Industrial Park Subdivision

Including a vacation of Lot 1, Plat "F", Ostler Industrial Park
Lindon City, _____ Utah County, Utah
Scale: 1" = 30 Feet

SURVEYOR'S SEAL	NOTARY PUBLIC SEAL	CITY-COUNTY ENGINEER SEAL	CLEK-RECORDER SEAL
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Item 9: Site Plan — Mix Right, approx. 124 South 1800 West

Brian Pittard requests site plan approval of a 9,375 square foot industrial building on lot 2 of the proposed Ostler Industrial Park Plat “G” at approximately 124 South 1800 West in the Light Industrial (LI) zone.

<p>Applicant: Brian Pittard Presenting Staff: Jordan Cullimore</p> <p>General Plan: Light Industrial Current Zone: Light Industrial (LI)</p> <p>Property Owner: KPGT Properties, LLC Address: approx. 124 South 1800 West Parcel ID: 48:347:0001 Lot Sizes: 1.00 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether the request for site plan approval of a 9,375 square foot industrial building complies with applicable land use requirements. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant’s request for site plan approval with the following conditions (if any):</p> <ol style="list-style-type: none">1.2.3.
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BACKGROUND

1. The applicant proposes to construct a 9,375 square foot industrial building on lot 2 of Ostler Industrial Park Plat “G”.
2. The lot is located in the Light Industrial zone.

DISCUSSION & ANALYSIS

Parking Standards

The industrial building will include 1,375 square feet of office space and 8,000 feet of warehouse. The parking ratio for office space is 1/350 sq. ft. and the ratio for warehouse space is 1/1000 square feet. Consequently, the required number of spaces is 12, which includes 1 ADA accessible stall. The applicant is proposing 18 parking stalls, which satisfies the parking requirement.

Additionally, the Code requires 2 bicycle parking stalls. The site plan proposes to install 2 bicycle parking stalls, and meets the requirement.

Summary of Parking Requirements

- Vehicle Spaces Required: 12
- Vehicle Space Provided: 18
- Bicycle Spaces Required: 2
- Bicycle Spaces Provided: 2

Landscaping Standards

Landscaped Strip Along Frontage

The Light Industrial zone requires a 20’ landscaped strip along all street frontages with trees planted within the strip every 30’ on center. The

Interior Landscaping

The Code requires that interior landscaping must be provided at 40 square feet per required stall. The site has 18 parking stalls, which will require at least 720 square feet of interior landscaping, exclusive of the required landscaped strip along street frontage. The submitted landscaping plan does not propose any interior landscaping. The code also requires 1 interior tree per 10 required stalls. Since the site plan does not propose interior landscaping, this requirement is not being met. ***Staff recommends, as a condition of approval, that the applicant comply with interior landscaping requirements before final approval is granted.***

Architectural Standards

Building Materials

The Code requires that all buildings in the Light Industrial Zone must be “aesthetically pleasing, well-proportioned buildings which blend with the surrounding property and structures.” Specifically, the following is required:

- A minimum of 25% of the exterior of the building must be covered with brick, decorative block, stucco, wood, or other similar materials as approved by the Planning Commission. The Planning Commission may also approve ribless, metal, flat-faced, stucco embossed, metal sandwich panel buildings when the Commission finds that such buildings are aesthetically pleasing. The Commission may also allow that this architectural treatment be transferred to a more visible side of the building if the transfer improves the overall visual character of the area and if no net loss of treatment occurs.
- In the present case, the entire east elevation of the building, which faces the public street will be finished with ribless, metal, flat-faced, stucco embossed, metal sandwich paneling. The remaining three sides of the building each have less than 25% of the required architectural treatment, but when all 4 walls are considered together, 40% of the building is finished with the required architectural treatment. The Planning Commission may approve the proposed transfer of much of the architectural treatment to the front of the building if the Commissioners feel the transfer improves the overall visual character. The applicant submitted a board illustrating the materials that will be displayed at Planning Commission for review.

Building Color

The Code requires buildings in the LI zone to be earth-tone colors. Colored elevations of the building will be displayed at the Planning Commission meeting for compliance review.

Dimensional Standards

The proposed structure meets setback and height requirements of the LI zone.

Engineering Requirements

The City Engineer is working through technical issues related to the site and will ensure all engineering related issues are resolved before final approval is granted.

ATTACHMENTS

1. Aerial photo of the site and surrounding area.
2. Photos of the site.
3. Site Plan
4. Earth-tone Color Palette



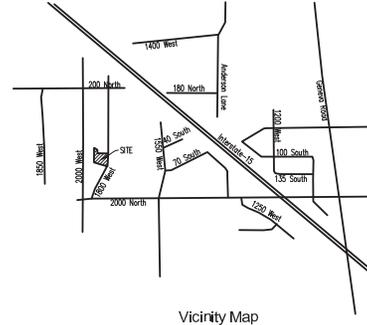


Mix Right

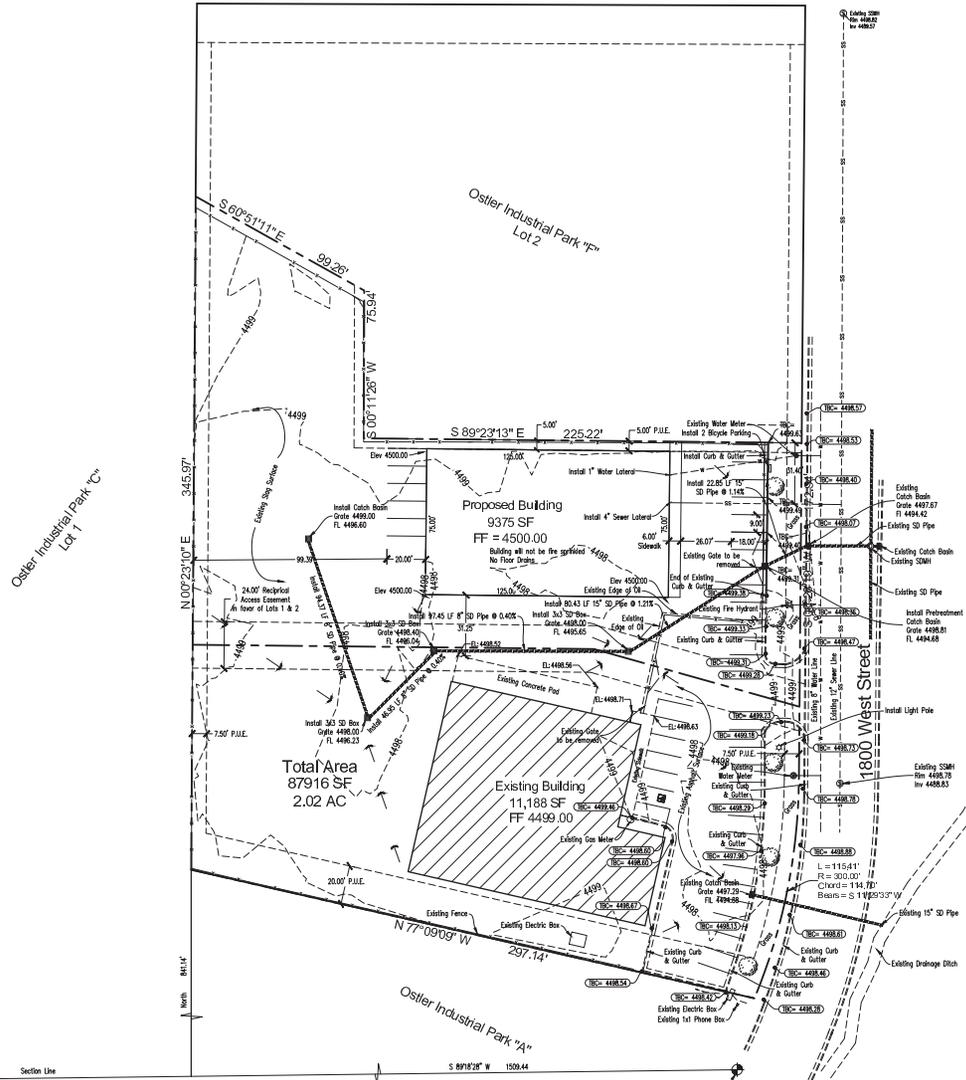
Lindon City Utah



NORTH
1" = 30'



Vicinity Map



Telecommunication Conduit
Telecommunication conduit must be stubbed to sites that do not currently have access to telecommunication conduit, and are located in areas where telecommunication conduit exists. The conduit location does not need to be shown on the site plans for approval. UTP/PA will provide the design of the telecommunication system. Contact Jamie Bratcher at 801-613-3662 or jbratcher@utplanning.org or Keith Perkins at 801-613-3663 or kperkins@utplanning.org to request the design. This construction, the location of the conduit shall be shown on the record drawings. Add the following notes to the site plan:

1. Telecommunication conduit shall be installed to serve this site. Run the conduit to the site from an existing service box of a nearby site as shown in the UTP/PA design. Run the conduit within the public right-of-way or secure easements to run it on private property. Lay the conduit at a minimum depth of cover of 24".
2. Install an orange 1/2" diameter SDR-11 HDPE conduit meeting ASTM 3025, or in different quantities and sizes as shown in the UTP/PA design, a heavy 12" gauge solid TRAMP tower wire shall be installed inside all conduits according to NEC standards. Telecommunications conduit shall include a 3" caution tape installed on the pipeline trench approximately 12" below the ground surface, with the words "CAUTION: FIBER OPTIC CABLE" printed on it.

- Notes:**
1. The Applicant is responsible for compliance with all requirements of the "Americans With Disabilities Act" (ADA)
 2. All landscaped areas shall have an automatic underground sprinkling system with a backflow prevention device to the building, unless landscaping is served by the secondary water system.
 3. Water meters are to be located behind back of walk or back of curb in an area that is accessible, not located behind fence or under covered parking.
 4. Lindon Standard Specifications and Drawings apply to construction of public improvements that will be owned or maintained by Lindon City and take precedence over other standards.
 5. Storm Drains to be privately owned.

CAUTION!! Notice to contractors
The Contractor is specifically cautioned that the location and/or elevation of existing utilities as shown on these plans is based on records of the various utility companies and where possible from measurements taken in the field. The information is not to be considered exact or complete. The Contractor must notify the utility location center at least 48 hours prior to any excavation to request the exact location of the utilities in the field. It shall be the responsibility of the Contractor to relocate all existing utilities which conflict with the proposed improvements shown on the plan.

Know what's below. 811
Call 811 before you dig.
BLUE STAKES OF UTAH
UTILITY NOTIFICATION CENTER, INC.
www.bluestakes.org
1-800-662-4111

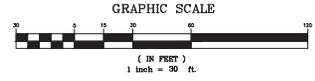
Developer:
Brian Pittard
124 South 1800 West
Lindon Utah
(801) 420-4109

Engineer:
Dudley and Associates, Inc.
353 East 1200 South
Orem, Utah 84058
801-224-1252

Site Data:
Zone = Light Industrial
Total Area = 2.02 Acres
Building Area
Office=1375 SF - 1 space/300 SF
Warehouse=8000 SF - 1 space/1000 SF
Parking Required = 13 Spaces
Parking Provided = 13 Spaces

	SQUARE FOOTAGE	ACREAGE	PERCENT OF TOTAL
TOTAL AREA	87,916	2.02	100
TOTAL BUILDING/PAD AREA	20,363	0.47	23
TOTAL HARD SURFACE AREA	54,384	1.26	62
TOTAL IMPERVIOUS AREA	75,547	1.73	85
TOTAL LANDSCAPED AREA	12,369	0.29	15

TABULATION TABLE



DUDLEY AND ASSOCIATES
ENGINEERS PLANNERS SURVEYORS
353 EAST 1200 SOUTH, OREM, UTAH
801-224-1252

Mix Right
Amended Site Plan
Lindon City

Revisions
11-12-2014

Date
12-12-2013
Scale
1"=30'
By
BHT
Tracing No.
L-13918

Sheet No.
C - 1

IV. Utah Mountain Desert Color Palette



Utah Mountain Desert Color Palette

Primary Colors



The primary colors section consists of seven rows of five color swatches each, arranged in a gradient from dark to light. The rows are: 1) Blue shades (dark to light), 2) Grey shades (dark to light), 3) Brown shades (dark to light), 4) Dark green shades (dark to light), 5) Medium green shades (dark to light), 6) Yellow-green shades (dark to light), 7) Tan shades (dark to light).

Item 10: Minor Subdivision — Ruf Subdivision, approx. 1200 West 700 North

Ben Davis of UVM Building, LLC requests preliminary approval of a two (2) lot commercial subdivision at approximately 1200 West 700 North in the General Commercial (CG) zone.

<p>Applicant: Ben Davis of UVM Building, LLC Presenting Staff: Jordan Cullimore</p> <p>General Plan: Commercial Current Zone: General Commercial (CG)</p> <p>Property Owner: BW Inc. and Idaho Corporation Address: approx. 1200 West 700 North Parcel ID: 14:057:0083 Lot Sizes: Lot 1: 1.00 acre; Lot 2: 1.26 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether to approve a two lot commercial subdivision in the CG zone. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a two lot commercial subdivision with the following conditions (if any):</p> <ol style="list-style-type: none">1.2.3.
---	---

BACKGROUND

The existing lot is a 2.27 acre parcel. The applicant wishes to subdivide the lot for future development. Curb and Gutter improvement currently exist along 700 North.

DISCUSSION & ANALYSIS

Lot Requirements

- Minimum lot size in the CG zone is 20,000 square feet (0.46 acre). Lot 1 of the proposed subdivision will be exactly 1.0 acre and lot 2 will be exactly 1.26 acres.
- Both lots will have frontage along a public street.

Other Requirements

- Staff has determined that the proposed subdivision complies, or will be able to comply before final approval, with all remaining land use standards.
- Required curb and gutter already exist along the frontage of both proposed lots. Sidewalk will be installed upon approval of the subdivision.
- 700 North is a limited access street. Cross-access easements must be provided to accommodate ingress and egress on these lots.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted.

ATTACHMENTS

1. Aerial photo of the proposed subdivision
2. Site Photo
3. Preliminary plan

Attachment 2



Item 11: Public Hearing — Ordinance Amendment, Lindon City Code 17.04.090

Lindon City requests approval of an amendment to Lindon City Code 17.04.090. The proposed amendment would define when amendment proceedings are formally initiated.

<p>Applicant: Lindon City Presenting Staff: Jordan Cullimore</p> <p>Type of Decision: Legislative Council Action Required: Yes</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <p>1. Whether it is in the public interest to recommend approval of the proposed amendment to the City Council.</p> <p><u>MOTION</u></p> <p>I move to recommend (<i>approval, denial, continuation</i>) of the proposed ordinance amendment to 17.04.090 (<i>as presented, with changes</i>).</p>
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DISCUSSION & ANALYSIS

This ordinance amendment was initiated because of a recommendation from Lindon City Attorney, Brian Haws.

Utah State Code 10-9a-509(1)(a)(ii) states the following:

- (1)(a)(ii) Except as provided in Subsection (1)(b), an applicant is entitled to approval of a land use application if the application conforms to the requirements of the municipality's land use maps, zoning map, a municipal specification for public improvements applicable to a subdivision or development, and an applicable land use ordinance in effect when a complete application is submitted and all application fees have been paid, unless:
- (A) the land use authority, on the record, finds that a compelling, countervailing public interest would be jeopardized by approving the application;
 - or
 - (B) in the manner provided by local ordinance and before the application is submitted, *the municipality has formally initiated proceedings* to amend its ordinances in a manner that would prohibit approval of the application as submitted [emphasis added].

When determining whether existing or proposed requirements apply to a specific application, the local municipality may define when amendment proceedings have been “formally initiated”. If the municipality has formally initiated amendment proceedings before an applicant submits an application for approval, the application will be subject to the proposed requirements if the amendment is subsequently approved.

Mr. Haws represents another municipality in Utah County that has not specifically defined when amendment proceedings are formally initiated, and the ambiguity has resulted in litigation. Lindon’s Code does not presently define when amendment proceedings are formally initiated. Consequently, Mr. Haws has recommended that we include a definition in the Code to avoid similar issues. The proposed language is included in attachment 1.

ATTACHMENTS

1. Proposed amendment

Attachment 1

Section 17.04.090 Amendment procedures.

The local City Council may amend this division, including the map, but only in accordance with the following procedures:

1. The Planning Commission may initiate division amendment recommendations to the City Council. Any other person seeking to amend this division or map shall make application for such amendment by filing the following materials with the Planning Commission:
 - a. A written petition designating the change desired and the reasons therefor;
 - b. A nonreturnable amendment review fee in an amount determined by resolution of the City Council.
2. Lindon City formally initiates proceedings to amend this division when it gives notice, according to Lindon City Code Section 17.14.40, of the first public hearing in which the proposed amendment will be considered.
3. The Planning Commission shall review the amendment application and certify its recommendations concerning the proposed amendment to the City Council within forty-five days from receipt of the amendment application in a regularly scheduled meeting. The Planning Commission shall recommend adoption of a proposed amendment only where the following findings are made:
 - a. The proposed amendment is in accord with the master-general plan of Lindon City;
 - b. Changed or changing conditions make the proposed amendment reasonably necessary to carry out the purposes of the division.
4. After receipt of the certified favorable recommendations of the Planning Commission, the City Council shall give notice of a public hearing to consider such amendment as provided by law for zoning amendments.
5. After the required public hearing on the proposed amendment, the City Council may adopt or reject such amendment.
6. Concurrence by the City Council ~~in-with~~ an unfavorable recommendation of the Planning Commission shall constitute a denial of the application, and no public hearing shall be held. However, if the City Council determines that the proposed amendment may be desirable ~~despite in spite of~~ the Planning Commission's recommendation, a public hearing shall be held, with notice as required by law, prior to formal action on the application by the City Council.
7. If the City Council proposes to make any substantive change in the amendment as submitted to it by the Planning Commission, or as advertised, it shall refer such change back to the Planning Commission for its recommendation before adoption of such amendment.
8. Notification of Pending Land Use Ordinances
 - a. When the City Council determines the need to adopt, amend, revise, or change any land-use, the City Council shall pass a resolution notifying the public that the City is considering the adoption, amendment, revision, or change of the current land use ordinances pursuant to Section 17.04.090, and shall identify the specific ordinance(s) and/or zone(s) to be affected.
 - b. Applications for building or use permits filed after the passage of a Resolution pursuant to this section will be subject to any conditions or requirements established or amended as adopted in the pending ordinance.
 - c. Upon receipt of an application for any building or use permit in an area or zone subject to a pending ordinance, the building official receiving the application shall notify the applicant of the pending ordinance(s).
9. Where an application for zoning amendment has been denied, the planning commission and the City Council shall not review the same zoning amendment application within six

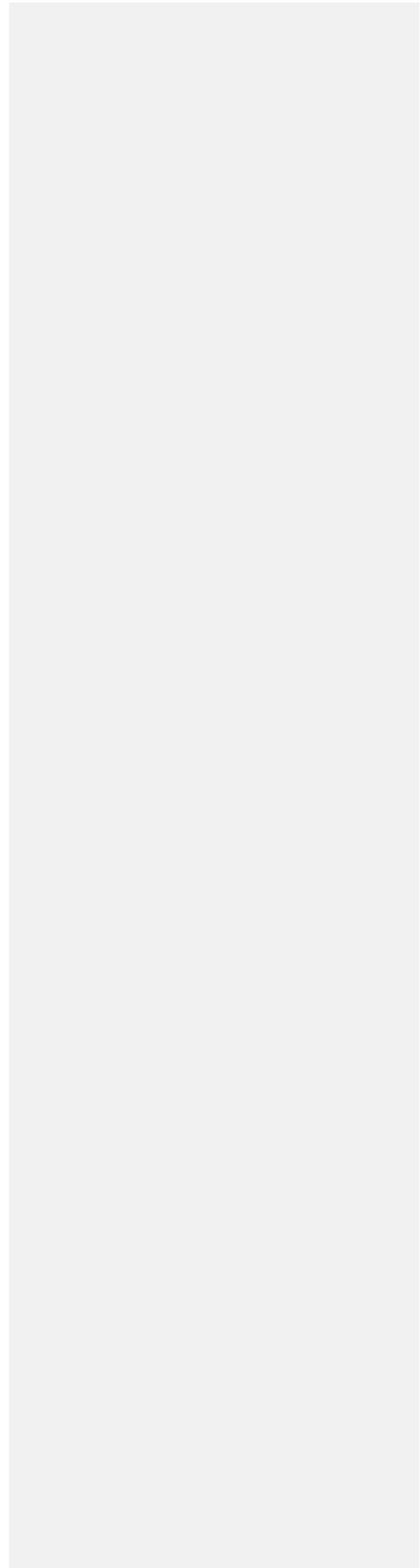
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months of such denial, but may consider the proposal thereafter, but only if there is a substantial change of conditions since the earlier application. A resubmitted application shall be processed in accordance with the procedure outlined above. (Ord. 2015-XX, amended XX/XX/201X; Ord. ~~inace~~ 2005-17, amended 11/15/2005; Ord. no. 2003-3, ~~a~~A amended, 03/04/2003; Ord. no. 111 §1(part), 1985; prior code §121 0 1-11.)



Item 12: Election of Planning Commission Chair and Vice-chair

The current chair of the Planning Commission is Sharon Call. The current Vice-chair is Mike Marchbanks. Election for Chair and Vice-chair are held annually as outlined in LCC 17.08.050 Planning Commission Policies and Procedures:

1. Organization

- i) Quorum - A quorum of at least four Planning Commission members must be present to hold a meeting and conduct business according to a legally prepared and posted agenda.
- ii) *Chairman and Vice Chairman - The annual election of the Chairman and Vice Chairman shall take place once each year. Nominations for each office shall be received from the voting Commission members. The Chairman and Vice Chairman shall serve for a term of one year. In the event of absence or disability of the Chairman, the Vice Chairman shall preside. In the absence of both, the members shall appoint a Chairman for the meeting. The Vice Chairman shall succeed the Chairman for the period of the unexpired term if he or she vacates office before the term is completed. A new Vice Chairman shall be elected at the next regular meeting* [Emphasis added].

Item 13: New Business (Planning Commissioner Reports)

Item 1 – Subject _____
Discussion

Item 2 – Subject _____
Discussion

Item 3 – Subject _____
Discussion

Item 14: Planning Director Report

Adjourn

PC / CC Approved Projects - Working through final staff & engineering reviews (site plans have not been finalized - or plat has not recorded yet):		
Stableridge Plat D	Tim Clyde – R2 Project	Old Station Square Lots 11 & 12
AM Bank – Site Plan	Joyner Business Park, Lot 9 Site Plan	Lindon Harbor Industrial Park II
Lindon Gateway II	Freeway Business Park II	Lakeside Business Park Plat A
West Meadows Industrial Sub (Williamson Subdivision Plat A)	Keetch Estates Plat A	Green Valley Subdivision
Craig Olsen Site Plan	Reflections Recover Center	Noah's Life Subdivision
Long Orchard Subdivision	Planet Power Toys CUP	Lindon Springs Garden Minor Subdivision
Bishop Corner Plat B	Lexington Cove Major Subdivision	Kids Village Site Plan
Kids Village Plat Amendment	Pen Minor Subdivision	Coulson Cove Plat D
Zyto/Tams Office Buildings Site Plan	Olsen Industrial Park Minor Subdivision	

Board of Adjustment		
Applicant	Application Date	Meeting Date

Annual Reviews				
APPLICATION NAME	APPLICATION DATE	APPLICANT INFORMATION	PLANNING COMM.	CITY COUNCIL
			DATE	DATE
Annual review - Lindon Care Center 680 North State Street (File # 05.0383.8) administrator@lindoncare.com	Existing use.	Lindon Care Center Manager: Christine Christensen 801-372-1970.	March 2015 Last Reviewed: 3/14	N/A
<i>Annual review of care center to ensure conformance with City Code. Care center is a pre-existing use in the CG zone.</i>				
Annual review of CUP - Housing Authority of Utah County - Group home. 365 E. 400 N. (File # 03.0213.1) lsmith@housinguc.org	Existing CUP	Housing Auth. Of Utah County Director: Lynell Smith 801-373-8333.	March 2015 Last Reviewed: 3/14	N/A
<i>Annual review of CUP to ensure conformance with City Code. Group home at entrance to Hollow Park was permitted for up to 3 disabled persons.</i>				
Heritage Youth Services - Timpview Residential Treatment Center. 200 N. Anderson Ln. (File # 05.0345) info@heritageyouth.com info@birdsevertc.com	Existing CUP	HYS: Corbin Linde, Lynn Loftin 801-798-8949 or 798-9077	March 2015 Last Reviewed: 3/14	N/A
<i>Annual review required by PC to ensure CUP conditions are being met. Juvenile group home is permitted for up to 12 youth (16 for Timp RTC) not over the age of 18.</i>				

Grant Applications	
Pending	Awarded
Bikes Belong - Trail construction grant. Requested amount: \$10,000 o Status: NOT SELECTED FOR 2010. WILL RE-APPLY IN 2015.	MAG Bicycle Master Plan Study Awarded funds to hire consultant to develop bicycle master plan to increase safety and ridership throughout the city.
Land and Water – Trail construction grant. Requested amount: \$200,000 o Status: NOT SELECTED. RE-APPLY IN 2015.	EDC Utah 2014 — Awarded matching grant to attend ICSC Intermountain States Idea Exchange 2014.
Hazard Mitigation Grant / MAG Disaster Relief Funds- (pipe main ditch)	CDBG 2014 Grant – Senior Center Computer Lab (\$19,000)
FEMA Hazard Mitigation Grant – (pipe Main Ditch)	

Planning Dept - Projects and Committees			
On-going activities (2014 yearly totals)	Misc. projects	UDOT / MAG projects	Committees
Building permits Issued: 228 New residential units: 53	2010-15 General Plan implementation (zoning, Ag land inventory, etc.)	700 North CDA	Utah Lake Commission Technical Committee: Bi-Monthly
New business licenses: 74	Lindon Hollow Creek-Corps of Eng., ditch relocation	Lindon Bicycle Master Plan	MAG Technical Advisory Committee: Monthly
Land Use Applications: 64 Drug-free zone maps: 27	Lindon Heritage Trail Phase 3		Lindon Historic Preservation Commission: Bimonthly