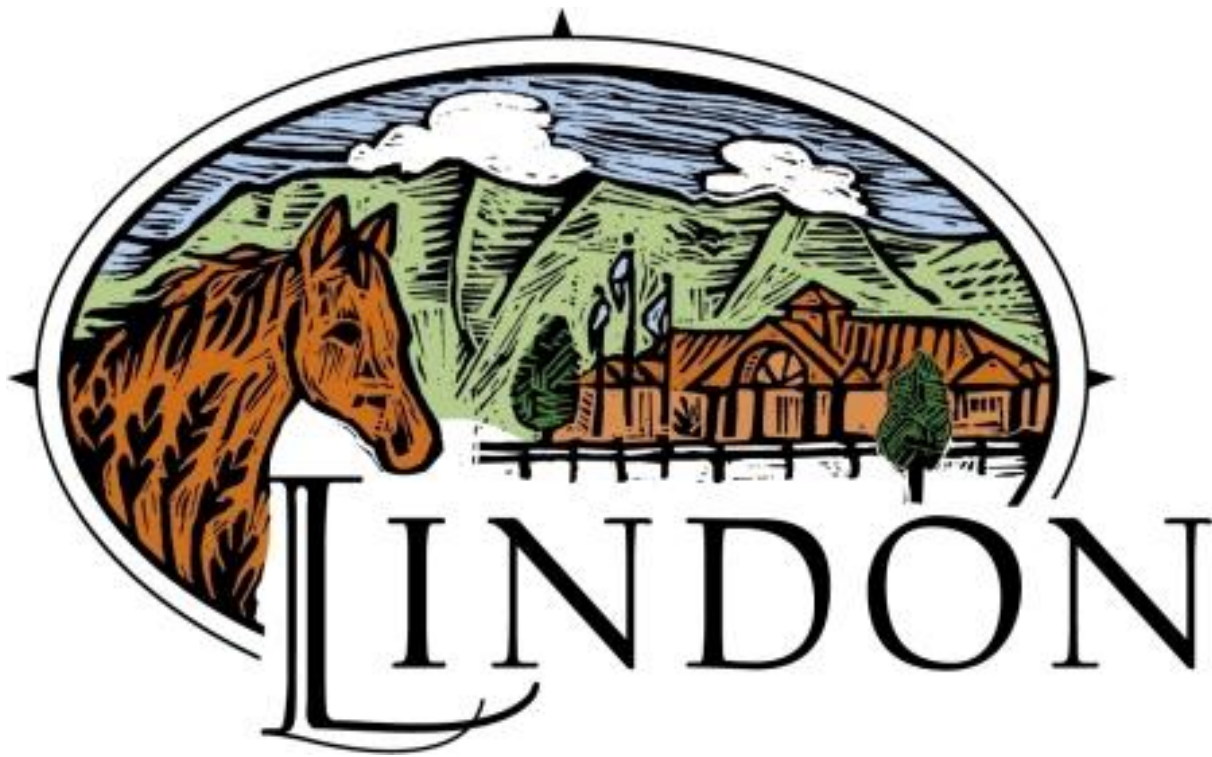


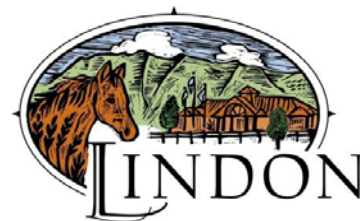
Lindon City Planning Commission Staff Report



January 13, 2015

Notice of Meeting

Lindon City Planning Commission



The Lindon City Planning Commission will hold a regularly scheduled meeting on **Tuesday, January 13, 2015** in the Council Room of Lindon City Hall, 100 North State Street, Lindon, Utah. The meeting will begin at **7:00 P.M.** This meeting may be held electronically to allow a commissioner to participate by video or teleconference. The agenda will consist of the following:

AGENDA

Invocation: By Invitation

Pledge of Allegiance: By Invitation



Scan or click here for link to download agenda & staff report materials.

1. Call to Order

2. Approval of minutes from December 9, 2014

3. Public Comment

(Review times are estimates only.)
(20 minutes)

4. Plat Amendment — Homesteads @ Coulson Cove Plat D, approx. 750 North Coulson Drive

Stephen Phelon of ESP Excavation requests approval of a plat amendment to create Plat D of Homesteads @ Coulson Cove at approximately 750 North Coulson Drive. The plat amendment includes a vacation of Lots 13, 14, and 15 of Homesteads @ Coulson Cove Plat B. The subdivision is located in the Single Family Residential (R1-12) zone.

(20 minutes)

5. Site Plan — ZYTO Technologies/Tams Solutions, approx. 1100 West 700 North

Barrett Morley, on behalf of Stay ZYTO LLC, requests site plan approval of a 46,060 square foot office building and a 49,480 square foot retail/office building on a 5.61 acre site at approximately 1100 West 700 North in the General Commercial (CG) zone.

(20 minutes)

6. Public Hearing — Ordinance Amendment, LCC 17.32.320 Flag lots

Rick Chatwin requests approval of an amendment to LCC 17.32.320 Flag lots. The proposed amendment would modify flag lot setback requirements to reflect typical setback requirements for standard lots in the R1 Single Family Residential zone (front/rear – 30 feet; side – 10 feet).

(20 minutes)

7. Minor Subdivision — Olsen Industrial Park, approx. 325 South Geneva Rd.

Chris Olsen of Olsen Enterprises Inc., requests preliminary approval of a one (1) lot industrial subdivision that will leave an unsubdivided remainder piece at approximately 325 South Geneva Road in the Light Industrial (LI) zone.

(20 minutes)

8. Public Hearing — Ordinance Amendment, Lindon City Standard Land Use Table

Lindon City requests approval of an amendment to the Lindon City Standard Land Use Table. The proposed amendment would establish legal services as a permitted use in the Research & Business (R&B) zone.

9. New Business (Reports by Commissioners)

10. Planning Director Report

Adjourn

Staff Reports and application materials for the agenda items above are available for review at the Lindon City Planning Department, located at 100 N. State Street, Lindon, UT. For specific questions on agenda items our Staff may be contacted directly at (801) 785-7687. City Codes and ordinances are available on the City web site found at www.lindoncity.org. The City of Lindon, in compliance with the Americans with Disabilities Act, provides accommodations and auxiliary communicative aids and services for all those citizens in need of assistance. Persons requesting these accommodations for City-sponsored public meetings, services programs or events should call Kathy Moosman at 785-5043, giving at least 24 hours notice.

Posted By: Jordan Cullimore

Time: ~11:00 am

Date: January 9, 2014

Place: Lindon City Center, Lindon Public Works, Lindon Community Center

Item I: Call to Order

January 13, 2015 Planning Commission meeting.

Roll Call:

Sharon Call
Rob Kallas
Mike Marchbanks
Matt McDonald
Andrew Skinner
Bob Wily

Item 2: Approval of Minutes

Planning Commission – Tuesday, December 9, 2014

The Lindon City Planning Commission held a regularly scheduled meeting on **Tuesday, December 9, 2014 at 8:00 p.m.** at the Lindon City Center, City Council Chambers, 100 North State Street, Lindon, Utah.

REGULAR SESSION – 8:00 P.M.

Conducting: Sharon Call, Chairperson
Invocation: Mike Marchbanks, Commissioner
Pledge of Allegiance: Bob Wily, Commissioner

PRESENT

Sharon Call, Chairperson
Bob Wily, Commissioner
Mike Marchbanks, Commissioner
Rob Kallas, Commissioner
Matt McDonald, Commissioner
Hugh Van Wagenen, Planning Director
Jordan Cullimore, Associate Planner
Kathy Moosman, City Recorder

ABSENT

Andrew Skinner, Commissioner

Special Attendee:

Matt Bean, Councilmember

1. **CALL TO ORDER** – The meeting was called to order at 8:10 p.m.
2. **APPROVAL OF MINUTES** – The minutes of the regular meeting of November 25, 2014 were reviewed.

COMMISSIONER MCDONALD MOVED TO APPROVE THE MINUTES OF THE REGULAR MEETING OF NOVEMBER 25, 2014 AS AMENDED. COMMISSIONER MARCHBANKS SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

3. **PUBLIC COMMENT** –

Chairperson Call called for comments from any audience member who wished to address any issue not listed as an agenda item. There were no public comments.

CURRENT BUSINESS –

4. **Plat Amendment:** *Kids Village, 195 North State Street.* Ann Whittaker of Kids Village private school requests approval of an amendment to Old Station Square Plat B. The proposed amendment will remove a note prohibiting State Street access to lot 12, and relocate a 6' pedestrian trail access easement to align with site plan approved at the November 25, 2014 Planning Commission meeting.

Jordan Cullimore, Associate Planner, opened the discussion by giving a brief overview of this agenda item. He explained this is a request for approval by Ann Whittaker of Kids Village private of an amendment to Old Station Square Plat B. He noted this proposed amendment will remove a note prohibiting State Street access to lot 12, and relocate a 6' pedestrian trail access easement to align with site plan approved at the November 25, 2014 Planning Commission meeting. He explained the existing plat for this lot had some discrepancies that needed correcting along with some changed circumstances. Therefore, Curtis Miner, Architect for the project, is back to address the Commission tonight to formalize this plat amendment and request approval to bring the existing subdivision in line with the site that was previously approved.

Mr. Cullimore further explained that previously, the Utah Department of Transportation (UDOT) prohibited vehicle access from State Street access from lot 12 that is indicated on the existing plat. He went on to say the applicant recently approached UDOT to request permission to establish a vehicle access point from State Street, and permission was granted from UDOT. Mr. Cullimore noted that this amendment will remove the note prohibiting Street access in accordance with UDOT's approval. Mr. Cullimore further stated that the existing plat also identifies a pedestrian access easement along the west boundary line of lot 12 to allow public access between the sidewalk on 200 North and the Lindon Heritage Trail.

Mr. Cullimore added that the Kids Village site plan has moved this access from the west boundary of the lot to a sidewalk running through the site. He noted the plat amendment reflects this change and still meets the intent of the original easement. The storm drainage and sewer will remain but the public access easement through the trail will be adjusted as reflected on the plan and this will be the creation of a new plat with the changes. He stated that the city engineer and staff along with Mr. Miner has reviewed this plat and they have no concerns with the access.

Mr. Cullimore then referenced the existing Old Station Square Subdivision Plat B with proposed changes, the proposed Kids Village Subdivision and the approved Kids Village site plan followed by some general discussion. Commissioner Kallas mentioned that people on horses will be using the trail access and if they had considered this as it will be very busy during the drop off and pick hours. He also questioned if they had considered any other ways to separate it to avoid these issues.

Curtis Miner, architect on the project, was in attendance representing this agenda item. Mr. Miner stated that the circulation patterns that were developed in the property will support most of the people coming down that sidewalk, and they are attempting to formalize what they think will happen anyway. Commissioner Marchbanks pointed out that the trail is on the backside of the buildings in Old Station Square and he feels it should not be an issue and there will be a slim chance that horses will be going by Kids Village and sees this as a floating easement. He would also suggest implementing some signage that may be beneficial. Mr. Cullimore noted these items were shown on the approved site plan.

Commissioner Kallas inquired if they are wanting to put the easement right against the building. Mr. Miner stated, realistically, this is the way the site is going to function. He understands the issue of the horse concerns, but he feels if people really want to come through the property on a horse there are other ways to get to the trail. He feels that occurrence would be a very infrequent situation and other than the drop off and

pick up times the sidewalk would be available for public use and protected by the easement. Mr. Miner then showed exactly where the easement would run.

Councilmember Randi Powell, who was in attendance, commented that Kids Village is a very efficiently run business. She noted if they can run so smoothly (with the pick-up and drop-off) at their current location, this new location will run even more efficiently. She agreed that because the trail is a public access it will be utilized and more than likely horses will be on the trail at times but will not be commonly seen.

Chairperson Call called for any further comments or discussion. Hearing none she called for a motion.

COMMISSIONER MARCHBANKS MOVED TO APPROVE THE APPLICANT'S REQUEST FOR APPROVAL OF A PLAT AMENDMENT TO VACATE LOT 12 OF OLD STATION SQUARE PLAT B, AND CREATE KIDS VILLAGE SUBDIVISION WITH NO CONDITIONS. COMMISSIONER WILY SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON CALL	AYE
COMMISSIONER WILY	AYE
COMMISSIONER KALLAS	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER MCDONALD	AYE

THE MOTION CARRIED UNANIMOUSLY.

5. **Review and Action** – *Lindon City 2015 Public Meeting Schedule*. The Commission will review the proposed 2015 Public Meeting Schedule. Recommendations will be made to the City Council at the next available meeting.

Mr. Cullimore led this agenda item by explaining every year Lindon City needs to review and approve the Public Meeting Schedule for the upcoming calendar year as required by State Code. He noted that the Planning Commission meetings for 2015 are scheduled for the 2nd and 4th Tuesdays of each month. Mr. Cullimore further stated this action is needed to approve the schedule and is a formality. He also mentioned that December is the only month that will only have one Planning Commission meeting scheduled. Mr. Cullimore stated that the dates marked with an asterisk are dates that are subject to cancellation. He added that recommendations will be made to the City Council at the next available meeting.

Chairperson Call called for any comments or discussion. Hearing none she called for a motion.

COMMISSIONER SKINNER MOVED TO APPROVE THE LINDON CITY 2015 PUBLIC MEETING SCHEDULE AS PRESENTED AND RECOMMEND APPROVAL TO THE CITY COUNCIL. COMMISSIONER KALLAS SECONDED THE MOTION. THE VOTE WAS RECORDED AS FOLLOWS:

CHAIRPERSON CALL	AYE
COMMISSIONER WILY	AYE
COMMISSIONER KALLAS	AYE
COMMISSIONER MARCHBANKS	AYE
COMMISSIONER MCDONALD	AYE

THE MOTION CARRIED UNANIMOUSLY.

6. New Business (Reports by Commissioners) –

Chairperson Call called for any new business or reports from the Commissioners. Commissioner Marchbanks mentioned an item that he would like to see brought up at a City Council meeting. He asked about the possibility (if appropriate) for the Planning Department staff to direct people who are considering developing these high density projects that the only place the city is considering allowing anything of a high density nature would be west of Geneva Road to curtail other things that may convolute the whole process for the Anderson Project. He suggested setting a parameter or drawing a line down Geneva Road to indicate the city is considering and exploring the idea of these types of projects but only on the west side of Geneva Road.

Chairperson Call mentioned that the Ivory project is so massive that she is trying to comprehend what that entails with the high density component. She stated her concerns that to consider other projects right now of a high density nature is difficult to comprehend right now. Commissioner Marchbanks commented that we have a premier developer looking to build a community that would drastically change our community from what we see today. Commissioner Kallas asked, if at some point, a zoning change would be an option to restrict the high density to west of Geneva Road.

Commissioner Marchbanks commented that he spoke with several Councilmembers that feel the same way. He went on to say if we are trying to put our best foot forward he would like to see every chance given to come up with a viable, workable master plan for that area if we ever hope to see 700 north come to fruition. He voiced his concerns that the magnitude we are talking about for the 100+ acres of the Anderson property makes it a different animal than taking a 10 or 20 acre piece here or there. Commissioner McDonald was in complete agreement with that statement. There was then some additional discussion by the Commission regarding this issue. Mr. Van Wagenen stated that staff will take these comments into consideration for implementation. Chairperson Call called for any further comments or discussion. Hearing none she moved on to the next agenda item.

7. Planning Director Report–

Mr. Van Wagenen reported on the following items:

- Employee Christmas party at noon on December 24th at the Community Center.

Chairperson Call called for any further comments or discussion. Hearing none she called for a motion to adjourn.

ADJOURN –

COMMISSIONER KALLAS MADE A MOTION TO ADJOURN THE MEETING AT 9:00 P.M. COMMISSIONER MARCHBANKS SECONDED THE MOTION. ALL PRESENT VOTED IN FAVOR. THE MOTION CARRIED.

Approved – January 13, 2014

2

4

Sharon Call, Chairperson

6

8

Hugh Van Wagenen, Planning Director

Item 3: Public Comment

1 - Subject _____
Discussion

2 - Subject _____
Discussion

3 - Subject _____
Discussion

Item 4: Plat Amendment — Homesteads @ Coulson Cove Plat D, approx. 750 North Coulson Drive

Stephen Phelon of ESP Excavation requests approval of a plat amendment to create Plat D of Homesteads @ Coulson Cove at approximately 750 North Coulson Drive. The plat amendment includes a vacation of Lots 13, 14, and 15 of Homesteads @ Coulson Cove Plat B. The subdivision is located in the Single Family Residential (R1-12) zone.

<p>Applicant: ESP Excavation Presenting Staff: Jordan Cullimore</p> <p>General Plan: Residential Medium Current Zone: Single Family Residential (R1-12)</p> <p>Property Owners: ESP Excavation, John Colaizzi IRA, Central Bank Parcel ID: 41:707:0013; 41:707:0014; 41:707:0015</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">Whether to approve the proposed plat amendment. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a plat amendment to vacate lots 13, 14, and 15 of Homesteads @ Coulson Cove Plat B and create Plat D of Homesteads at Coulson Cove, with the following conditions (<i>if any</i>):</p> <ol style="list-style-type: none">
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SUMMARY

After Plat B of Homesteads @ Coulson Cove was recorded, it was discovered that there were discrepancies between the ownership deed descriptions and the property lines described on the plat. This plat amendment simply harmonizes the lot lines identified on the recorded plat with the actual ownership deed descriptions of the parcels. The resulting lots continue to comply with Lindon City Code dimensional requirements.

MOTION

I move to (*approve, deny, continue*) the applicant's request for approval of a plat amendment to vacate lots 13, 14, and 15 of Homesteads @ Coulson Cove Plat B and create Plat D of Homesteads at Coulson Cove, with the following conditions (*if any*):

-
-
-

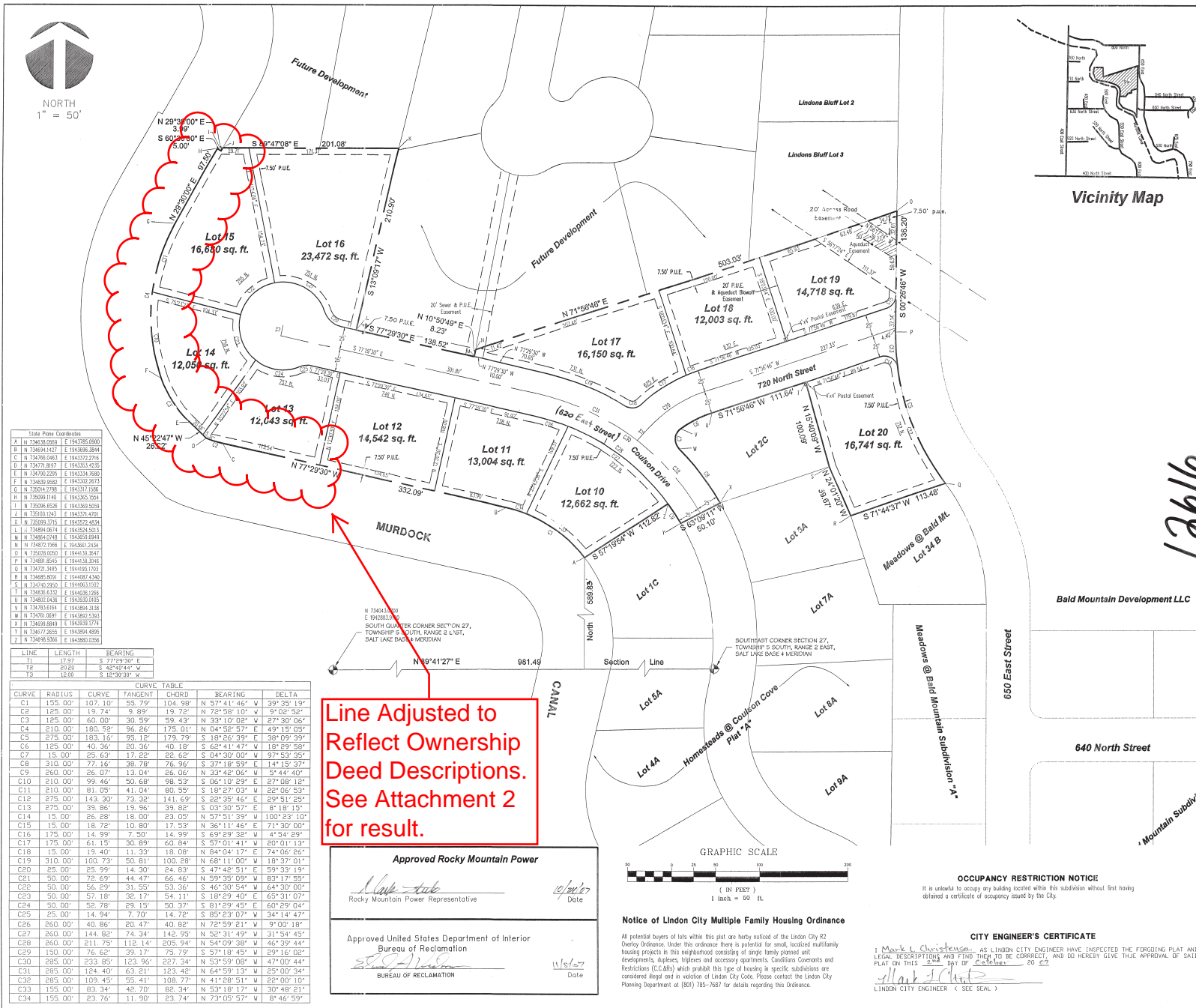
ATTACHMENTS

- Existing Homesteads @ Coulson Cove Plat B Subdivision with proposed changes.
- Proposed Homesteads @ Coulson Cove Plat D Subdivision.

Attachment 1



NORTH
1" = 50'



State Plane Coordinates

A	N 73430.0000	E 194336.0000
B	N 73430.0000	E 194336.0000
C	N 73430.0000	E 194336.0000
D	N 73430.0000	E 194336.0000
E	N 73430.0000	E 194336.0000
F	N 73430.0000	E 194336.0000
G	N 73430.0000	E 194336.0000
H	N 73430.0000	E 194336.0000
I	N 73430.0000	E 194336.0000
J	N 73430.0000	E 194336.0000
K	N 73430.0000	E 194336.0000
L	N 73430.0000	E 194336.0000
M	N 73430.0000	E 194336.0000
N	N 73430.0000	E 194336.0000
O	N 73430.0000	E 194336.0000
P	N 73430.0000	E 194336.0000
Q	N 73430.0000	E 194336.0000
R	N 73430.0000	E 194336.0000
S	N 73430.0000	E 194336.0000
T	N 73430.0000	E 194336.0000
U	N 73430.0000	E 194336.0000
V	N 73430.0000	E 194336.0000
W	N 73430.0000	E 194336.0000
X	N 73430.0000	E 194336.0000
Y	N 73430.0000	E 194336.0000
Z	N 73430.0000	E 194336.0000

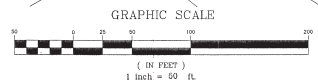
LINE	LENGTH	BEARING
1	17.97	S 77°29'39" E
2	20.80	S 42°44'44" W
3	12.80	S 18°39'39" W

CURVE	RADIUS	CURVE	TANGENT	CHORD	BEARING	DELTA
C1	125.00'	107.10'	33.79'	104.98'	N 57°11'46" W	39°35'19"
C2	125.00'	19.74'	9.89'	19.72'	N 72°58'10" W	9°02'52"
C3	125.00'	60.00'	30.59'	59.43'	N 33°10'02" W	27°30'06"
C4	210.00'	180.58'	96.26'	175.01'	N 64°58'57" E	49°15'05"
C5	275.00'	183.16'	93.12'	179.79'	S 18°26'09" E	38°09'59"
C6	125.00'	40.36'	20.36'	40.18'	S 62°41'47" W	18°29'29"
C7	15.00'	25.63'	17.82'	22.62'	S 64°30'00" W	97°53'35"
C8	310.00'	77.16'	38.78'	76.96'	S 37°18'59" E	14°13'37"
C9	260.00'	26.07'	13.04'	26.06'	N 33°48'06" W	5°44'40"
C10	210.00'	99.46'	50.68'	98.53'	S 06°10'29" E	27°08'18"
C11	210.00'	81.05'	41.04'	80.55'	S 18°27'03" W	28°06'53"
C12	275.00'	143.30'	73.34'	141.69'	S 52°35'46" E	29°51'25"
C13	275.00'	39.86'	19.96'	39.82'	S 03°30'57" E	8°18'15"
C14	15.00'	26.28'	18.00'	23.05'	N 57°51'39" W	100°23'10"
C15	15.00'	18.72'	10.80'	17.53'	N 36°11'46" E	71°30'00"
C16	175.00'	14.99'	7.50'	24.83'	S 69°29'32" W	4°54'29"
C17	175.00'	61.15'	30.89'	60.84'	S 57°01'41" W	20°01'13"
C18	15.00'	19.40'	11.33'	18.08'	N 84°04'17" E	74°06'26"
C19	310.00'	100.73'	50.61'	100.28'	S 68°11'00" W	18°37'01"
C20	25.00'	25.99'	14.30'	24.83'	S 69°29'32" W	4°54'29"
C21	50.00'	78.69'	44.47'	66.46'	N 59°35'09" W	83°17'55"
C22	50.00'	56.29'	31.55'	53.36'	S 46°30'54" W	64°30'00"
C23	50.00'	57.18'	32.17'	54.11'	S 18°29'40" E	65°31'07"
C24	50.00'	57.78'	29.13'	50.39'	S 61°29'45" E	60°29'04"
C25	25.00'	14.94'	7.70'	14.72'	S 85°23'07" W	34°14'47"
C26	260.00'	40.86'	20.47'	40.82'	N 72°59'21" W	9°00'18"
C27	260.00'	144.82'	74.34'	142.99'	N 52°31'49" W	31°54'45"
C28	260.00'	211.75'	112.14'	205.94'	N 54°09'38" W	46°29'44"
C29	150.00'	76.62'	35.17'	75.79'	S 57°18'45" W	29°16'02"
C30	285.00'	233.85'	123.96'	227.34'	N 53°59'08" W	47°00'44"
C31	285.00'	124.40'	63.21'	123.42'	N 64°59'13" W	29°00'34"
C32	285.00'	109.45'	55.41'	108.77'	N 41°28'51" W	22°00'10"
C33	155.00'	83.34'	42.70'	82.34'	N 53°18'12" W	30°48'21"
C34	155.00'	23.76'	11.90'	23.74'	N 73°05'57" W	8°46'59"

Line Adjusted to Reflect Ownership Deed Descriptions. See Attachment 2 for result.

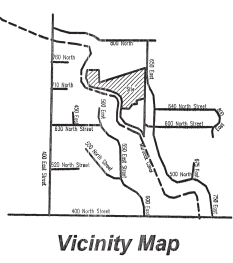
Approved Rocky Mountain Power
Rocky Mountain Power Representative
Date: 10/26/17

Approved United States Department of Interior
Bureau of Reclamation
Date: 11/5/17



Notice of Lindon City Multiple Family Housing Ordinance
All potential buyers of lots within this plat are hereby notified of the Lindon City Multiple Family Housing Ordinance. Under this ordinance there is potential for small, localized multifamily housing projects in this neighborhood consisting of single family zoned units, developments, duplexes, triplexes and accessory apartments. Conditions Covenants and Restrictions (CC&Rs) which prohibit this type of housing in specific subdivisions are considered illegal and in violation of Lindon City Code. Please contact the Lindon City Planning Department at (800) 785-7687 for details regarding this Ordinance.

CITY ENGINEER'S CERTIFICATE
I, Mark L. Christensen, AS LINDON CITY ENGINEER HAVE INSPECTED THE FOREGOING PLAT AND LEGAL DESCRIPTIONS AND FIND THEM TO BE CORRECT, AND DO HEREBY GIVE THUC APPROVAL OF SAID PLAT ON THIS 23rd DAY OF October, 2017.
Mark L. Christensen
LINDON CITY ENGINEER (SEE SEAL)



SURVEYOR'S CERTIFICATE

I, Roger D. Dickey, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND SURVEYOR, AND THAT I HOLD CERTIFICATE NO. 21088, AS PRESCRIBED UNDER THE LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE ENGINEERS, I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND THE SAME HAVE BEEN CORRECTLY SURVEYED AND SKETCHED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE AND CORRECT.

BOUNDARY DESCRIPTION

COMMENCING IN 89°41'37" E Along the Section Line 801.47' and North 588.67' from the South & Corner of Section 27

BEARING	DISTANCE	REMARKS
N 77°29'39" W	332.09'	Stone N 52°42'48" W 304.81' Radius 105.00'
N 40°22'21" W	26.92'	Stone N 72°49'09" W 18.72' Radius 105.00'
N 72°49'09" W	18.72'	Stone N 31°27'02" W 50.41' Radius 175.00'
N 31°27'02" W	50.41'	Stone N 64°58'57" E 175.00' Radius 200.00'
N 64°58'57" E	175.00'	Stone N 18°26'09" E 175.00' Radius 200.00'
N 18°26'09" E	175.00'	Stone N 03°30'57" E 175.00' Radius 200.00'
N 03°30'57" E	175.00'	Stone N 57°51'39" W 100°23'10"
N 57°51'39" W	100°23'10"	Stone N 36°11'46" E 71°30'00"
N 36°11'46" E	71°30'00"	Stone N 69°29'32" W 4°54'29"
N 69°29'32" W	4°54'29"	Stone N 59°35'09" W 83°17'55"
N 59°35'09" W	83°17'55"	Stone N 46°30'54" W 64°30'00"
N 46°30'54" W	64°30'00"	Stone N 18°29'40" E 65°31'07"
N 18°29'40" E	65°31'07"	Stone N 61°29'45" E 60°29'04"
N 61°29'45" E	60°29'04"	Stone N 85°23'07" W 34°14'47"
N 85°23'07" W	34°14'47"	Stone N 72°59'21" W 9°00'18"
N 72°59'21" W	9°00'18"	Stone N 52°31'49" W 31°54'45"
N 52°31'49" W	31°54'45"	Stone N 54°09'38" W 46°29'44"
N 54°09'38" W	46°29'44"	Stone N 57°18'45" W 29°16'02"
N 57°18'45" W	29°16'02"	Stone N 53°59'08" W 47°00'44"
N 53°59'08" W	47°00'44"	Stone N 64°59'13" W 29°00'34"
N 64°59'13" W	29°00'34"	Stone N 41°28'51" W 22°00'10"
N 41°28'51" W	22°00'10"	Stone N 53°18'12" W 30°48'21"
N 53°18'12" W	30°48'21"	Stone N 73°05'57" W 8°46'59"
N 73°05'57" W	8°46'59"	Stone N 52°42'48" W 304.81' Radius 105.00'

BASE OF BEARING = N 89°41'37" E Along the Section Line

August 29, 2017

DATE

SURVEYOR (See Seal Below)

OWNER'S DEDICATION

KNOW ALL MEN BY THESE PRESENTS THAT WE, ALL OF THE UNDERSIGNED OWNERS OF ALL OF THE PROPERTY DESCRIBED IN THE SURVEYOR'S CERTIFICATE HEREON AND SHOWN ON THIS MAP AND SUBJECT TO ANY CONDITIONS AND RESTRICTIONS STATED HEREON, HAVE CAUSED THE SAME TO BE SUBDIVIDED INTO LOTS, BLOCKS, STREETS, AND EASEMENTS AND DO HEREBY DEDICATE THE SAME TO THE PUBLIC AND OTHER PUBLIC AREAS AS INDICATED HEREON FOR PERPETUAL USE OF THE

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 23rd DAY OF October, A.D. 2017

by: Stephen W. Phelan, President

Stephen W. Phelan, President

ACKNOWLEDGEMENT

STATE OF UTAH
COUNTY OF UTAH S.S.

ON THE 23rd DAY OF October, A.D. 2017, PERSONALLY APPEARED BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGED TO ME THAT THEY EXECUTED THE SAME.

MY COMMISSION EXPIRES 12/31/2019

TATARY COMMISSIONED IN UTAH

NOTARY PUBLIC (See Seal Below)

ACCEPTANCE OF LEGISLATIVE BODY

THE City Council of Lindon City, COUNTY OF UTAH, APPROVES THIS SUBDIVISION SUBJECT TO THE CONDITIONS AND RESTRICTIONS STATED HEREON, AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS, EASEMENTS AND OTHER PARCELS OF LAND INTENDED FOR THE PUBLIC PURPOSE OF THE FOREGOING THIS 23rd DAY OF October, A.D. 2017.

WITNESSES: Mark L. Christensen, City Engineer, and others.

COCK: Mark L. Christensen, City Engineer, and others.

ATTEST: Linda Callister, Lindon City Attorney, DATE: 10/26/17

PLANNING COMMISSION APPROVAL

APPROVED THIS 13th DAY OF November, A.D. 2017 BY THE Lindon City Planning Commission.

DIRECTOR SECRETARY CHAIRMAN PLANNING COMMISSION

CONDITIONS OF APPROVAL

PLAT "B"

Includes a vacation of a portion of Lot 34, Plat "B"

Meadows @ Bald Mountain

SUBDIVISION

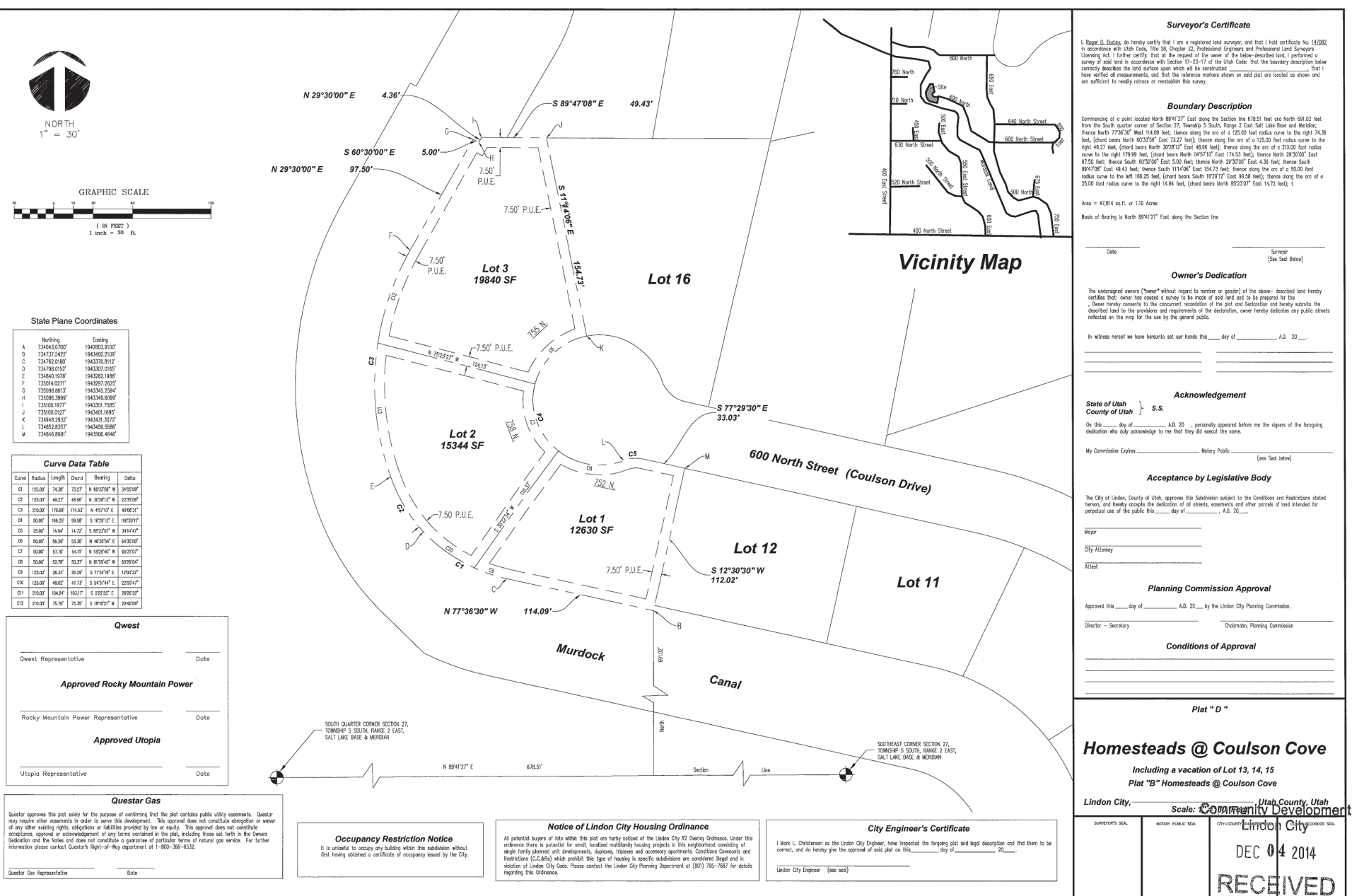
LINDON CITY, SCALE: 1" = 50 FEET UTAH COUNTY, UTAH

SURVEYOR'S SEAL NOTARY PUBLIC SEAL CITY-COUNTY DEEDER SEAL CLERK-RECORDER SEAL

Mark L. Christensen 11/5/17

Seal

01/13/2015 10 of 40



Item 5: Site Plan — ZYTO Technologies/Tams Solutions, approx. 1100 West 700 North

Barrett Morley, on behalf of Stay ZYTO LLC, requests site plan approval of a 46,060 square foot office building and a 49,480 square foot retail/office building on a 5.61 acre site at approximately 1100 West 700 North in the General Commercial (CG) zone.

<p>Applicant: Stay ZYTO, LLC Presenting Staff: Jordan Cullimore</p> <p>General Plan: Commercial Current Zone: General Commercial (CG)</p> <p>Property Owners: STS Properties, LLC Address: approx. 1100 West 700 North Parcel ID: 14:053:0142 Lot Size: 5.616 acres</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">1. Whether to approve the site plan a 46,060 square foot office building and a 49,480 square foot retail/office building on a 5.61 acre site in the CG zone. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for site plan approval with the following conditions (if any):</p> <ol style="list-style-type: none">1.2.3.
-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

BACKGROUND

1. The applicant proposes to construct a 46,060 square foot office building and a 49,480 square foot retail/office building.
2. Retail and office uses are permitted in the General Commercial (CG) zone.

DISCUSSION & ANALYSIS

Parking Standards

The total required number of spaces for the various spaces in the two buildings is 251 spaces with 7 ADA accessible spaces. The applicant is proposing 252 parking spaces with 10 accessible parking stalls.

Additionally, the Code requires 18 bicycle parking stalls. The site plan proposes to install 18 bicycle parking stalls, and meets the requirement.

Summary of Parking Requirements

- Vehicle Spaces Required: 251
- Vehicle Space Provided: 252
- Bicycle Spaces Required: 18
- Bicycle Spaces Provided: 18

Landscaping Standards

Landscaped Strip Along Frontage

The 700 North Corridor has a specific street cross section which includes a narrower landscaped strip than is typically required in the CG zone because there is a landscaped median on 700 North. The landscaping plan for this site complies with the required cross section, as it relates to the proposed dimensions.

700 North Tree Plan

700 North also includes a specific tree plan along the corridor. The submitted landscaping plan matches the required 700 North Tree Plan

Interior Landscaping

Interior landscaping must be provided at 40 square feet per required stall. The site has 252 parking stalls, which will require at least 10,800 square feet of interior landscaping, exclusive of the required landscaped strip along street frontage. The submitted landscaping plan proposes 24,822 square feet of interior landscaping, which healthily satisfies the interior landscaping requirement.

The interior landscaping requirements include 1 interior tree per 10 parking stalls. The number of required trees for this site is 26, and the landscaping plan proposes 37 trees, which satisfies the requirement.

Total Open Space Requirement

The Code requires that a minimum of 20% of the lot be maintained in permanent landscaped open space. The landscaping plan indicates that just over 21% of the site is landscaped (51,632/244,301).

Architectural Standards

Building Materials

Lindon's Commercial Design guidelines, which govern architectural treatments in the CG zone, identify masonry building materials, such as brick, stone, and colored decorative concrete block (including fenestration) as the preferred primary building material; and brick, stone, colored decorative concrete block, stucco, wood/cement fiber siding, and timbers as secondary materials.

An architect's rendering of the structures and elevation details are included in attachment 4. The building materials proposed for the exterior of the 46,060 square foot office building include sandstone veneer, granite veneer, and painted tilt-up. The proposed exterior of the 49,480 square foot retail/office building includes Split-face CMU, brick-pattern formliner, and painted concrete tilt-up. It is staff's opinion that the proposed combination of materials and fenestration for each building properly satisfies the building materials requirements of the Commercial Design Guidelines.

Building Color

The Commercial Design Guidelines indicate that earth tones are generally preferred over harsh or loud colors, except where more vibrant colors are used to create a special effect that is harmonious with the adjacent context. The Design Guidelines include a color palette for reference in determining compliance with this requirement. The color palette has been included as attachment 5 for your reference. Renderings of the building that illustrate the building colors are included in attachment 4 for review.

Engineering Requirements

The City Engineer is working through technical issues related to the site and will ensure all engineering related issues are resolved before final approval is granted.

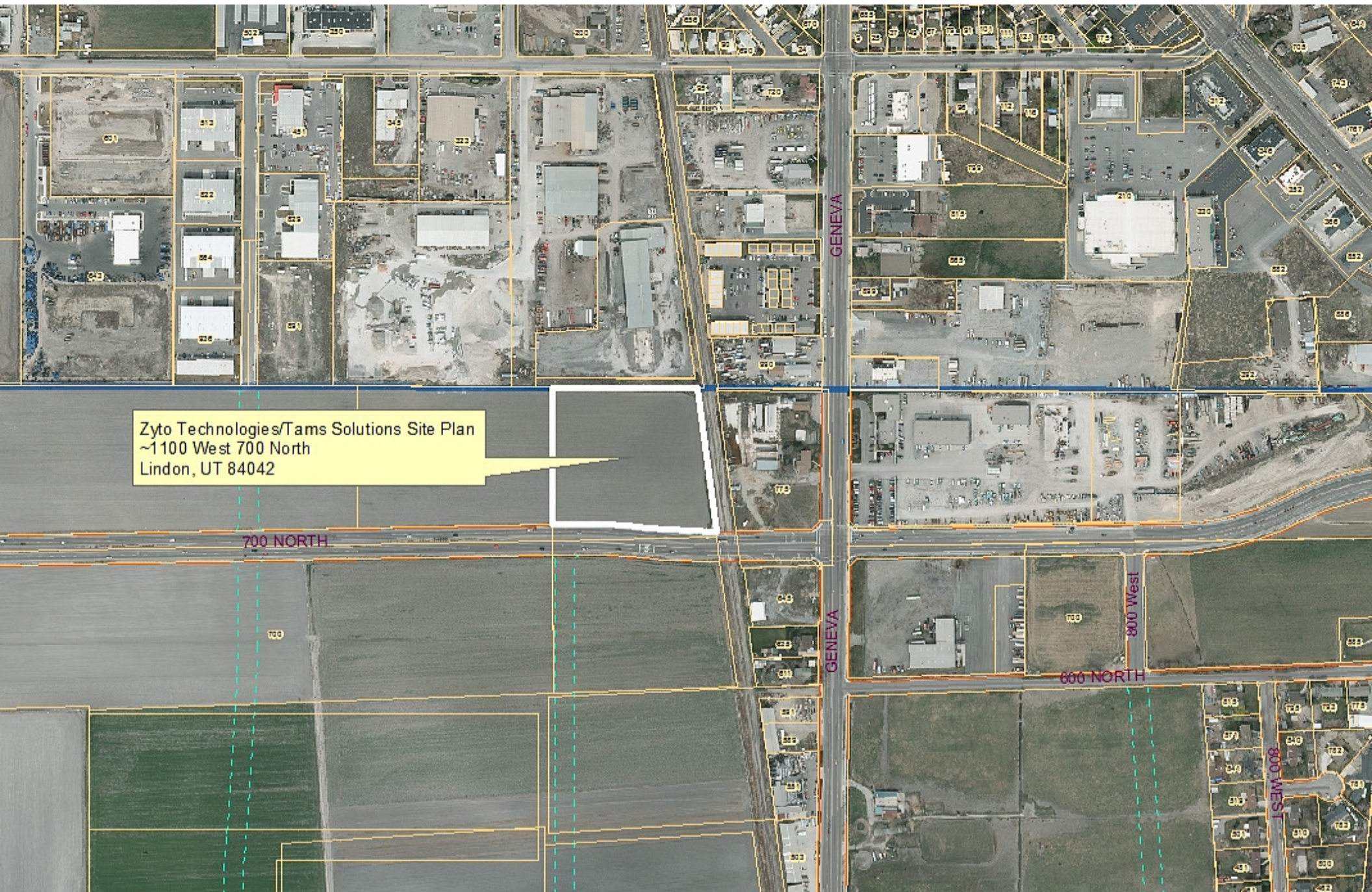
MOTION

I move to (*approve, deny, continue*) the applicant's request for site plan approval with the following conditions (if any):

- 1.
- 2.
- 3.

ATTACHMENTS

1. Aerial photo of the site and surrounding area.
2. Site Plan
3. Landscaping Plan
4. Architectural Rendering & Elevations
5. Commercial Design Guidelines Color Palette



Zyto Technologies/Tams Solutions Site Plan
~1100 West 700 North
London, UT 84042

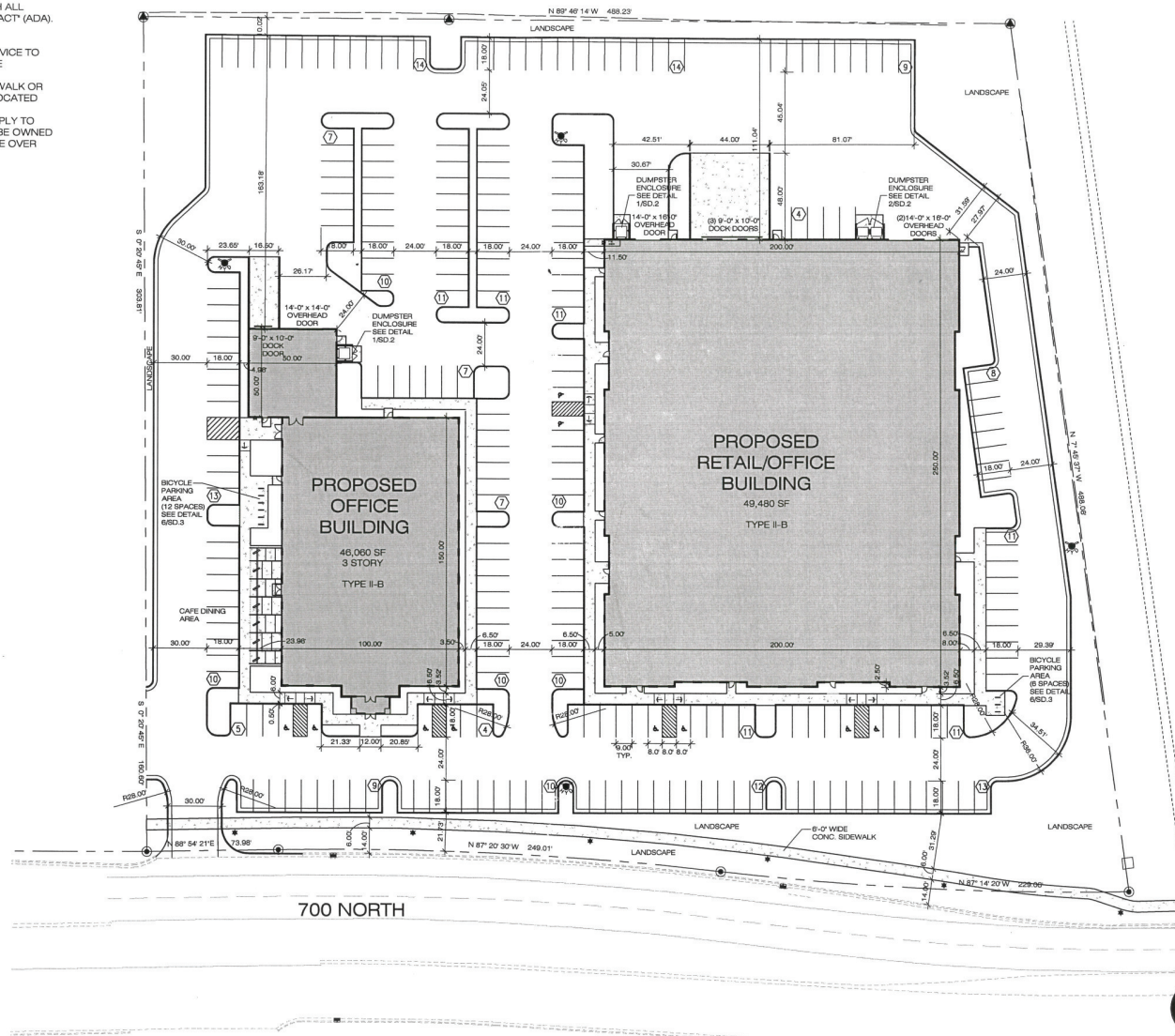
Attachment 2

SITE PLAN NOTES

1. THE APPLICANT IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA).
2. ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC, UNDERGROUND SPRINKLING SYSTEM W/ A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
3. WATER METERS ARE TO BE LOCATED BEHIND BACK OF WALK OR BACK OF CURB IN AN AREA THAT IS ACCESSIBLE, NOT LOCATED BEHIND FENCED AREAS OR UNDER COVERED PARKING.
4. LINDON STANDARD SPECIFICATIONS AND DRAWINGS APPLY TO CONSTRUCTION OF PUBLIC IMPROVEMENTS THAT WILL BE OWNED OR MAINTAINED BY LINDON CITY AND TAKE PRECEDENCE OVER OTHER STANDARDS.

PROJECT SUMMARY	
GROSS LAND AREA	244,988 SF 5.62 ACRES
LANDSCAPED AREA	49,083 SF
IMPERVIOUS AREA	195,873 SF
BUILDING AREA INCLUDING PROPOSED	95,540 SF
OCCUPANCY CLASSIFICATIONS	B, M, S-1
TYPE OF CONSTRUCTION	I-B
FIRE SPRINKLERS	YES
BUILDING HEIGHT	45'-4"

PARKING SUMMARY	
ZONING:	CO
PROFESSIONAL OFFICE	43,579 SF
PARKING SPACES REQUIRED	125 (1,650)
OFFICE BUILDING WAREHOUSE	2,481 SF
PARKING SPACES REQUIRED	8 (1,600)
RETAIL/PROFESSIONAL OFFICE	24,562 SF
PARKING SPACES REQUIRED	71 (1,530)
RETAIL STORAGE	24,898 SF
PARKING SPACES REQUIRED	50 (1,500)
TOTAL PARKING SPACES REQUIRED	251
TOTAL PARKING SPACES PROVIDED	252
NUMBER OF REQUIRED ACCESSIBLE SPACES	7
NUMBER OF PROVIDED ACCESSIBLE SPACES	10
NUMBER OF REQUIRED BICYCLE PARKING	18
NUMBER OF PROVIDED BICYCLE PARKING	18



SAMUEL J. BRADY
ARCHITECTS

200 E. South Temple
Suite 160
Salt Lake City, Utah 84111
(801) 595-1752
FAX: (801) 595-1757

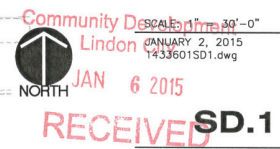


360 North 700 West
Suite G
North Salt Lake, Utah
84054
(801) 936-3446
FAX: (801) 936-8633

1100 W 700 N

LINDON, UTAH
LINDON
PROFESSIONAL
OFFICE & RETAIL
DEVELOPMENT

SITE PLAN



Attachment 3

LANDSCAPE SUMMARY	
TOTAL LANDSCAPE SQUARE FOOTAGE (INCLUDING OFF-PROPERTY PARK STRIP)	51,632 SF
TOTAL OFF-SITE PARK STRIP SQUARE FOOTAGE	2,549 SF
TOTAL ON-SITE SQUARE FOOTAGE	49,083 SF
TOTAL PARKING SPACES PROVIDED	252
PERIMETER LANDSCAPE SQ. FOOTAGE PROVIDED	24,261 SF
INTERIOR LANDSCAPE SQ. FOOTAGE REQUIRED (40 SF/ PARKING STALL)	10,400 SF
INTERIOR LANDSCAPE SQ. FOOTAGE PROVIDED	24,822 SF
PARKING LOT TREES REQUIRED (1 TREE PER 10 PARKING SPACES)	26
PARKING LOT TREES PROVIDED	37
TOTAL PARK STRIP TREES REQ'D/PROVIDED PER 700 NORTH SECTION 4 TREE REQ'S.	13
TOTAL LAWN (ON-SITE) 37,125/49,083 = 0.756	37,125 SF 75.6%
TOTAL ORGANIC MULCH W/ WEED BARRIER 10,787/49,083 = 0.22	10,787 SF 22%
TOTAL XERIPAVE PERVIOUS PAVERS 1,171/49,083 = 0.024	1,171 SF 2.4%
PARK STRIP (OFF-PROPERTY) TOTAL LAWN 2,549/2,549 = 1.0	2,549 SF 100%

	ORGANIC MULCH W/ WEED BARRIER
	SOD/PLANTING TURF-TYPE TALL FESCUE
	XERIPAVE PERVIOUS PAVERS (OUTDOOR CAFE)
	CONCRETE SIDEWALK

PLANT LEGEND

DECIDUOUS TREES

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME
Z	1	JAPANESE ZELKOVA	ZELKOVA SERRATA
SM	12	SHADEMASTER HONEY LOCUST	GLEDITSIA TRICANTHOS
RM	22	ROCKY MOUNTAIN MAPLE	ACER GLABRUM

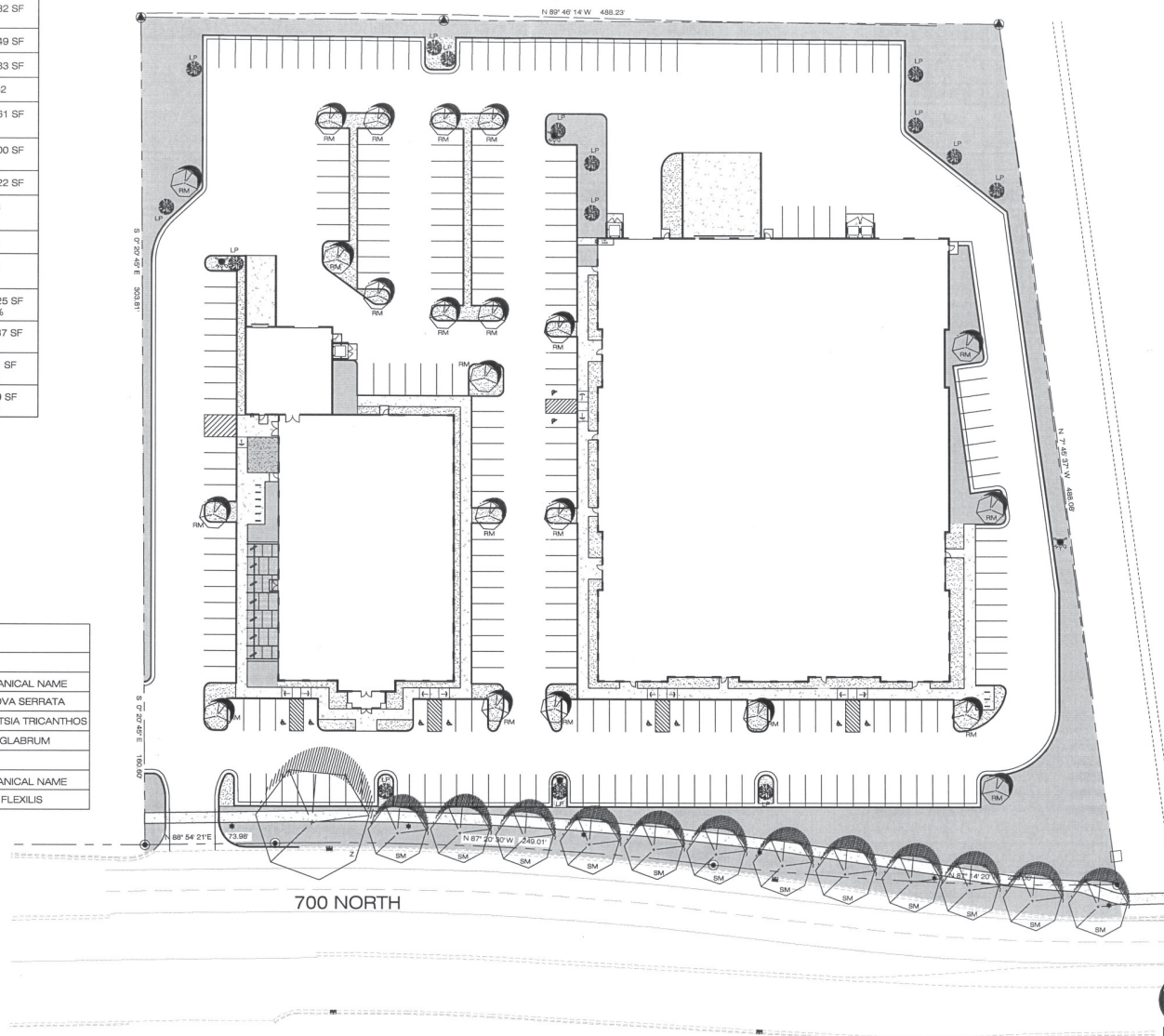
EVERGREEN TREES

SYMBOL	QTY	COMMON NAME	BOTANICAL NAME
LP	15	LIMBER PINE	PINUS FLEXILIS

DECIDUOUS TREES
- MIN. 2" CALIPER FOR STREET TREES
- MIN. 2" CALIPER ON SITE TREES
* MEASURED FROM 12" ABOVE GRADE
* 6'-0" HT. MIN. WHEN PLANTED

LANDSCAPE PLAN NOTES

- ALL LANDSCAPED AREAS SHALL HAVE AN AUTOMATIC UNDERGROUND SPRINKLING SYSTEM W/ A BACKFLOW PREVENTION DEVICE AND A BACKFLOW PREVENTION DEVICE TO THE BUILDING, UNLESS LANDSCAPING IS SERVED BY THE SECONDARY WATER SYSTEM.
- PROVIDE LINE ITEM BID FOR LANDSCAPE.
- ALL PLANTINGS TO MEET LINDON CITY TREE PLANTING GUIDE.



SAMUEL J. BRADY
ARCHITECTS

200 E. South Temple
Suite 160
Salt Lake City, Utah 84111
(801) 595-1752
FAX: (801) 595-1757



360 North 700 West
Suite G
North Salt Lake, Utah
84054
(801) 936-3446
FAX: (801) 936-8633

1100 W 700 N

LINDON, UTAH
LINDON
PROFESSIONAL
OFFICE & RETAIL
DEVELOPMENT

LANDSCAPE PLAN

SCALE: 1" = 30'-0"
JANUARY 2, 2015
1433601L1.dwg



L1.1



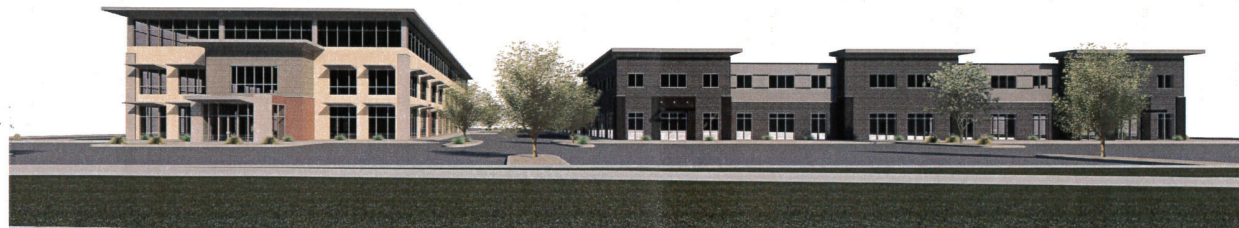
CORNER VIEW **SOUTHWEST**



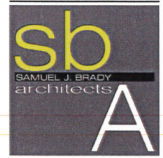
WEST BUILDING ENTRY **SOUTHWEST**



EAST BUILDING ENTRY **SOUTHEAST**



700 NORTH STREET FRONTAGE **SOUTH**



**SAMUEL J.
BRADY**
ARCHITECTS

200 E. South Temple
Suite 160
Salt Lake City, Utah 84111
(801) 595-1752
FAX: (801) 595-1757



TOM STUART CONSTRUCTION

360 North 700 West
Suite G
North Salt Lake, Utah
84054
(801) 936-3446
FAX: (801) 936-8633

1100 W 700 N

LINDON, UTAH
LINDON
PROFESSIONAL
OFFICE & RETAIL
DEVELOPMENT

EXTERIOR RENDERINGS

JANUARY 2, 2015
143360132.dwg

A3.2



EXTERIOR FINISH INFORMATION				
MATERIAL	SOUTH FACADE	NORTH FACADE	EAST FACADE	WEST FACADE
WALL AREA	4,533 SF	4,913 SF	8,128 SF	8,128 SF
GLAZING	2,104 SF	1,719 SF	3,441 SF	3,441 SF
ALUMINUM	820 SF	316 SF	578 SF	578 SF
STONE VENEER	460 SF	198 SF	547 SF	487 SF
PAINTED CONC.	1,149 SF	2,680 SF	3,562 SF	3,622 SF



SAMUEL J. BRADY
ARCHITECTS

200 E. South Temple
Suite 160
Salt Lake City, Utah 84111
(801) 595-1752
FAX: (801) 595-1757



360 North 700 West
Suite G
North Salt Lake, Utah
84054
(801) 936-3446
FAX: (801) 936-8633

1100 W 700 N

LINDON, UTAH
ZYTO

EXTERIOR ELEVATIONS

SCALE: 3/32" = 1'-0"
JANUARY 2, 2015
143360131.dwg

A3.1



SAMUEL J. BRADY
ARCHITECTS

200 E. South Temple
Suite 160
Salt Lake City, Utah 84111
(801) 595-1752
FAX: (801) 595-1757



360 North 700 West
Suite G
North Salt Lake, Utah
84054
(801) 936-3446
FAX: (801) 936-8633

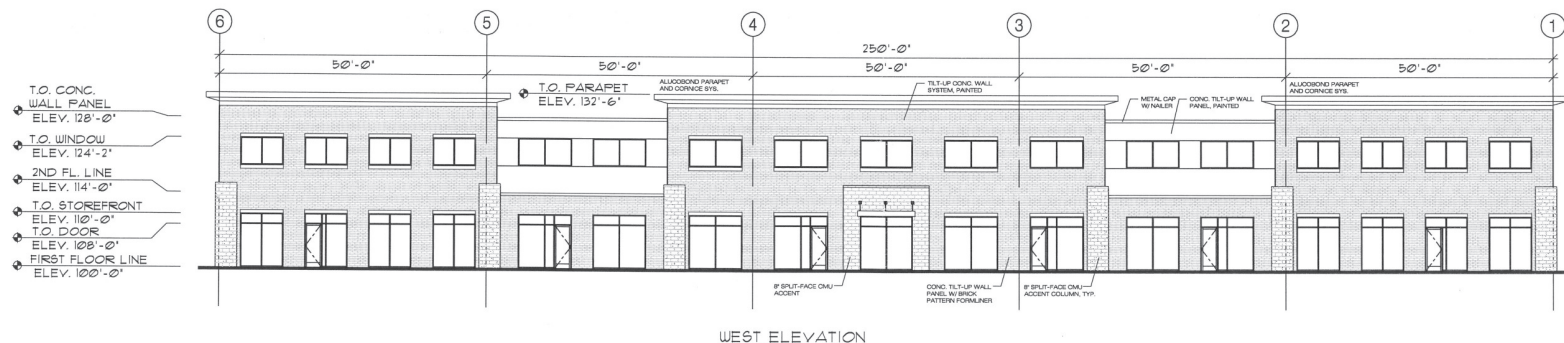
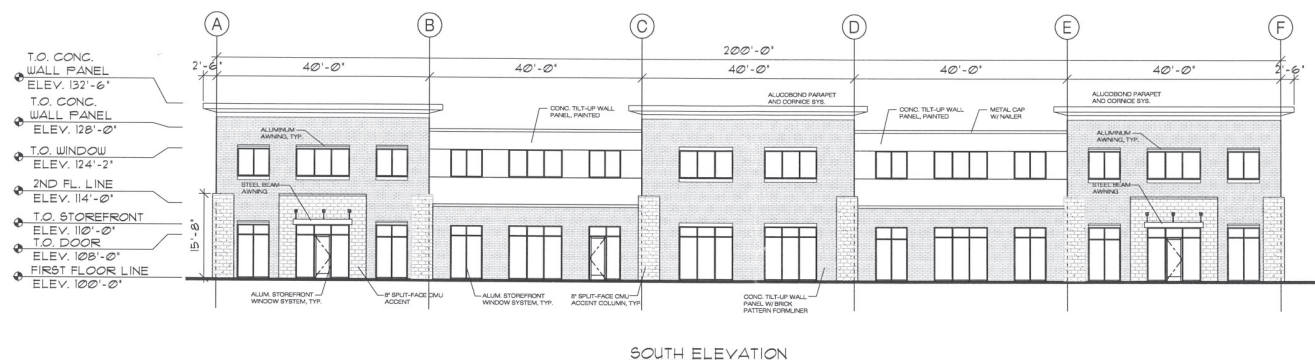
1100 W 700 N

LINDON, UTAH
TAMS

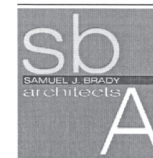
EXTERIOR
ELEVATIONS

SCALE: 3/32" = 1'-0"
JANUARY 2, 2015
143360259.dwg

A3.1



EXTERIOR FINISH INFORMATION				
MATERIAL	SOUTH FACADE	NORTH FACADE	EAST FACADE	WEST FACADE
WALL AREA	5,821 SF	5,926 SF	7,361 SF	7,361 SF
GLAZING	2,581 SF	282 SF	1,316 SF	2,336 SF
BRICK VENEER	1,145 SF	2,771 SF	3,320 SF	1,514 SF
SPLIT FACE CMU	690 SF	252 SF	378 SF	534 SF
PAINTED CONC.	910 SF	2,621 SF	2,347 SF	326 SF



SAMUEL J. BRADY

ARCHITECTS

200 E. South Temple
Suite 160
Salt Lake City, Utah 84111
(801) 595-1752
FAX: (801) 595-1757



360 North 700 West
Suite G
North Salt Lake, Utah
84054
(801) 936-3446
FAX: (801) 936-8633

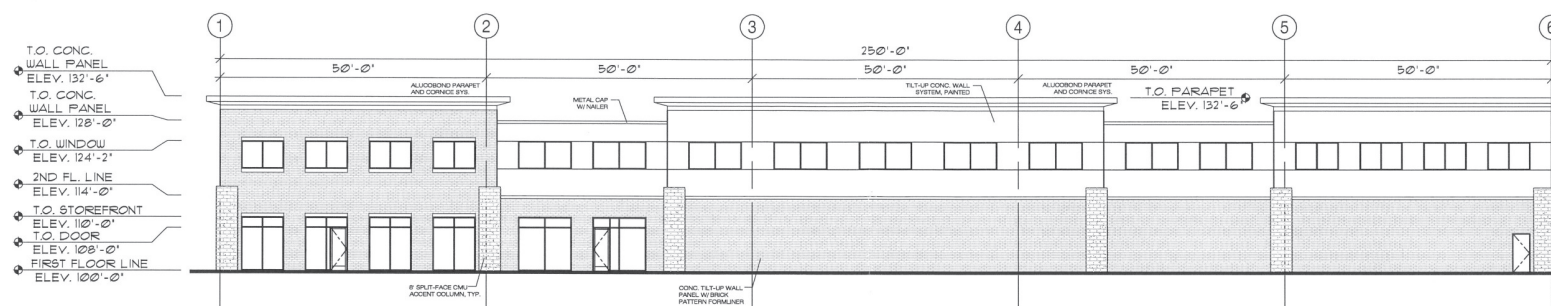
1100 W 700 N

LINDON, UTAH
TAMS

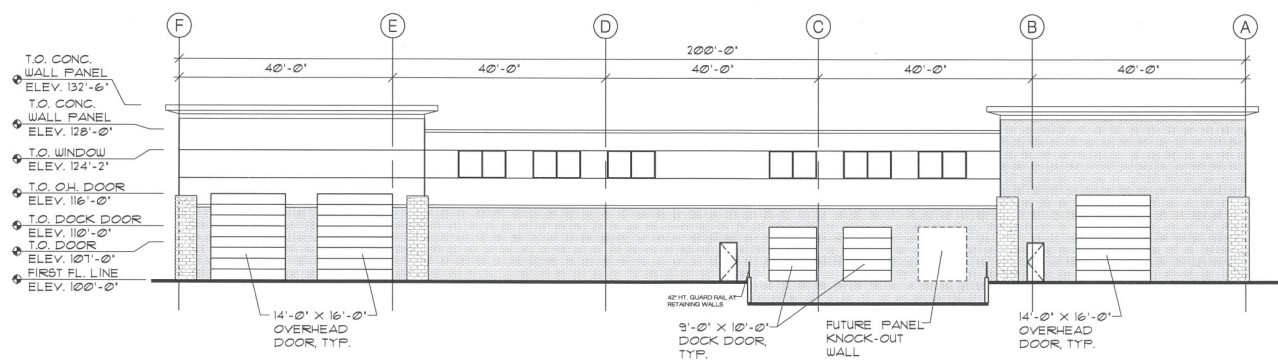
EXTERIOR
ELEVATIONS

SCALE: 1/8" = 1'-0"
JANUARY 2, 2015
143360259.dwg

A3.2



EAST ELEVATION



NORTH ELEVATION

Item 6: Public Hearing — Ordinance Amendment, LCC 17.32.320 Flag lots

Rick Chatwin requests approval of an amendment to LCC 17.32.320 Flag lots. The proposed amendment would modify flag lot setback requirements to reflect typical setback requirements for standard lots in the R1 Single Family Residential zone (front/rear – 30 feet; side – 10 feet).

<p>Applicant: Rick Chatwin Presenting Staff: Jordan Cullimore</p> <p>Zones Affected: R1 Single Family Residential (R1-12, R1-20)</p> <p>Type of Decision: Legislative Council Action Required: Yes</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <p>1. Whether it is in the public interest to recommend approval of the proposed amendment to the City Council.</p> <p><u>MOTION</u></p> <p>I move to recommend (<i>approval, denial, continuation</i>) of the proposed ordinance amendment to 17.32.320(<i>as presented, with changes</i>).</p>
---------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

DISCUSSION & ANALYSIS

The Planning Commission has authority to approve flag lots when certain criteria, identified in LCC 17.32.320, are satisfied. When the existing flag lot ordinance was passed, the City Council at the time of passage expressed concerns that dwellings on flag lots could invade on the privacy of neighboring dwellings because flag lots are typically situated behind standard lots. In administering the ordinance, staff has observed that the more restrictive setback requirements do not appear to be necessary to preserve a reasonable level of privacy on neighboring lots. Typical setbacks applied to flag lots would provide neighboring lots with the same space between dwellings that standard lots enjoy, and it would afford flag lot owners less restrictive buildable areas.

The present applicant, Rick Chatwin, would like to create a flag lot at approximately 200 South and 400 West in Lindon, but the more restrictive setbacks will make it difficult for him to situate his home the way he would like to on the lot. Consequently, he is requesting that setback requirements on flag lots be modified to reflect the setback requirements on standard lots in the R1 Single Family Residential Zone.

The current flag lot ordinance has the following setback requirements:

Front: 30 feet
Rear: 50 feet
Side: 20 feet

Standard setback requirements in the R1 Single Family Residential Zone are as follows:

Front: 30 feet
Rear: 30 feet
Side: 10 feet

Because staff sees little reason to impose more restrictive setback requirements on flag lots, staff recommends approval of the proposed change. Staff would also recommend that the Planning Commission and City Council consider adjusting the height requirement on flag lots. The City Council, at the time the existing ordinance was passed, also restricted the height of dwellings on flag lots to 25 feet. The Commission and Council may consider adjusting this requirement to reflect the height requirement of dwellings on typical residential (35 feet) for reasons similar to

those previously discussed (it likely will not adversely affect adjacent standard lots, and it will allow flag lot owners greater flexibility).

MOTION

I move to recommend (*approval, denial, continuation*) of the proposed ordinance amendment to 17.32.320 (*as presented, with changes*).

ATTACHMENTS

1. Proposed amendment

ORDINANCE NO. 2015-01-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING SECTION 17.32.320 OF THE LINDON CITY CODE TO MODIFY FLAG LOT SETBACK REQUIREMENTS TO REFLECT STANDARD SETBACK REQUIREMENTS IN THE R1 SINGLE FAMILY RESIDENTIAL ZONE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS,; and

WHEREAS,; and

WHEREAS, the Lindon City Planning Commission has recommended **approval** of an amendment to section 17.32.320 of the Lindon City Code; and

WHEREAS, a public hearing was held on January 13, 2015, to receive public input and comment regarding the proposed amendment...; and

WHEREAS, **no** adverse comments were received during the hearing; and

WHEREAS, the Council held a public hearing on January XX, 2015 to consider the recommendation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Lindon, Utah County, State of Utah, as follows:

SECTION I: LCC 17.32.320 of the Lindon City Code is hereby amended to read as follows:

Section 17.32.320 Flag lots

1. Purpose: Flag lots are intended to allow reasonable utilization of property that has sufficient acreage for development, but lacks the required street frontage. Flag lots may be considered on parcels where the extension of public streets cannot or should not be extended due to the disruption of sensitive lands and natural features, or potential of significant impacts to the surrounding neighborhood that would be caused by a public street. Although standard frontage requirements and public roadways are encouraged, the intent of this ordinance is to allow flag lots if the development is the most harmonious to the existing subdivision layout and/or is the least disruptive configuration for the neighborhood. Additionally, flag lots may be considered for properties that have topographic constraints, off lot configuration, constraints caused by the built environment, etc., for which access by a public road is not feasible. It is not the intent of this ordinance to promote flat lots in order to merely 'maximize' the number of potential lots within a subdivision or to alleviate subdividing hardships that are self imposed.
2. Flag lots are only permitted when one of the following two circumstances exists:
 - a. At the time of application, development using standard public streets is not possible. The property has specific constraints that limit access, public street frontage, and/or construction of a standard public roadway. These abnormal constraints may be restrictive topography, constraints caused by built environment, irregular lot configuration, ownership limitations, environmental constraints such as wetlands, springs, ditches, or canals, etc.
 - b. Development using standard public streets is possible, but not in the best interest of the public.

51 In order to demonstrate that this circumstance exists, the applicant shall provide
52 conceptual development plans showing the development with and without the proposed
53 flag lot that demonstrates that each of the following characteristics is present:

- 54 a. The design of the flag lot is harmonious and compatible with the configuration of
55 the overall subdivision and/or neighborhood and will not adversely affect the
56 living environment of the surrounding area.
 - 57 b. Standard public street construction would cause disruption to the neighborhood
58 in a significant physical or aesthetic manner, therefore making the flag lot access
59 preferable to a public street.
 - 60 c. Development of the flag lot will decrease public infrastructure while still providing
61 in-fill development and efficient use of the land that is compatible with Lindon City
62 development standards.
- 63 3. Assuming an application meets the criteria in #2 above, no more than one flag lot shall
64 be permitted at the time of an initial subdivision application unless, at their sole
65 discretion, the Planning Commission and City Council determine that additional flag lots
66 within a development provide for the most compatible overall design within a
67 neighborhood. As stated in the 'purpose' of this ordinance, it is not the intent of the City
68 to promote flag lots in order for developers to merely 'maximize' the number of potential
69 lots within a subdivision.
- 70 4. A flag lot must be a minimum of 20,000 square feet, and the remaining parcel from
71 which the flag was created must meet or exceed the minimum lot area requirements of
72 the zone in which it is located. The square footage calculation of such lots shall not
73 include the area of any driveway access (flag pole) for the flag lot.
- 74 5. Frontage, driveway and development procedures apply as follows:
- 75 a. The lot shall have at least 25 feet of frontage on a dedicated public street, which
76 frontage serves as access only to the subject lot. The 25 foot width shall be
77 maintained for the full length of the 'flag pole' portion of the platted lot.
 - 78 b. Prior to recording the subdivision plat, the developer shall post a bond with the
79 City to cover installation of the driveway and utilities to the end of the 'flag pole'
80 portion of the lot.
 - 81 c. Prior to issuance of a building permit for a dwelling on the flag lot, installation of
82 road base for the driveway and utilities shall be installed to at least the end of the
83 'flag pole' portion of the lot.
 - 84 d. The driveway serving the flag lot must have a surface traversable by a fire truck
85 that is at least 20 feet wide, of which 16 feet must be paved with a hard surface
86 prior to the issuance of a Certificate of Occupancy for the proposed dwelling.
87 Where a fire hydrant is located along the 'flag pole' portion of the lot the width of
88 the lot adjacent to the fire hydrant must be 31 feet wide (rather than 25 feet
89 wide), and the surface traversable by a fire truck must be at least 26 feet wide
90 (rather than 20 feet wide).
 - 91 e. Prior to issuance of a Certificate of Occupancy for a dwelling on a flag lot, the
92 edges of the driveway area (flag pole) that are not paved shall be landscaped
93 and properly maintained. Such landscaping shall not hinder emergency vehicle
94 access to the property.
 - 95 f. An adequate emergency vehicle turn-around at the end of the driveway shall be
96 constructed as approve by the Fire Chief. An accessible fire hydrant shall be
97 located within 200 feet of any dwelling on the flag lot. Possible adverse impacts
98 of excessive driveway lengths shall be considered by the Planning Commission,
99 City Council, and emergency services.
 - 100 g. No parking or storage of any kind shall be allowed on the designated driveway.

- h. A flag lot driveway shall not serve more than one lot, and shall have no more than one dwelling unit and an accessory apartment per lot. Other than accessory apartments, R2 Overlay projects are not permitted on flag lots.
- i. Adjoining lots shall not be permitted to have access from a flag lot driveway.
6. Construction of residences and accessory buildings on flag lots shall be limited to a maximum building height of 25 feet from finished grade. Building height restrictions shall be noted on the subdivision plat.
7. In order to further regulate the height of proposed structures, fill at the perimeter of buildings on the flag lot shall be limited to no more than 4 feet above the street grade from which the property has access. Properties that have a pre-existing grade that is higher than 4 feet above the street level are exempted from this fill limitation. The Planning Director and City Engineer may waive or modify the 4 foot 'fill limitation' in specific instances where the fill limitation is found to be overly burdensome to the property owner (ex., the limited fill would prohibit utility connections to the dwelling, or the limited fill creates drainage problems that can't be reasonably mitigated, etc.).
8. The address of the dwelling on the flag lot shall be clearly displayed and visible from the public road and shall be maintained in a way to differentiate the flag lot from any adjacent properties.
9. Setbacks for the residence on the flag lot shall be defined as follows: Front yard setback shall be 30 feet, rear yard setback shall be ~~3050~~ feet, and side yard setbacks shall be ~~1020~~ feet on each side yard of the dwelling unit. Minimum setbacks shall be noted on the subdivision plat.
10. For purposes of determining the setbacks of the flag lot, the front property line shall be the nearest line that is most parallel with the street from which the driveway accesses. Orientation of the dwelling is not regulated.
11. Accessory structures for flag lots may be permitted in accordance with applicable section of the Lindon City Code, but shall be limited to 25' maximum height. No accessory buildings shall be permitted on the 'flag pole' portion of the driveway of the flag lot.
12. Flag lots shall only be permitted in the R1-12 and R1-20 zones.
13. Unless otherwise approved by the Planning Commission and City Council, all flag lot driveway access points on a public road must have at least two legal parcels located between any other flag lot driveway on the same side of the street. Flag lots may only be adjacent to each other if the flag lots were accessed from different roadways or at least two legal parcels are located between any other flag lot driveway on the same side of the street.
14. In addition to the minimum requirements above, the Planning Commission and City Council may impose additional conditions on flag lots including, but not limited to, the following:
- a. Fencing and screening requirements.
 - b. Installation of one or more fire hydrants or other safety related items.
 - c. Installation of curb and/or gutter along private drives.
 - d. Other conditions that increase the compatibility of the proposed project with existing conditions and surroundings.
15. Due to the typical nature of flag lots being created from long, deep parcels, flag lots are exempted from any width-to-depth ratio requirements.
- Ord 2015-XX, amended XX/XX/2015: Ord 2008-2, amended 02/21/2008, (Ord 2007-10, amended 10.02/2007, Ordinance 2006-8, adopted 10/05/2006, Ord. 2002-12, 05/07/2002; Ord. 2001-8, 2001; Prior No. 99-14, 2000)

SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or

152 unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall
153 nevertheless be unaffected and continue in full force and effect.

154
155 **SECTION III:** Provisions of other ordinances in conflict with this ordinance and the provisions
156 adopted or incorporated by reference are hereby repealed or amended as provided herein.

157
158 **SECTION IV:** This ordinance shall take effect immediately upon its passage and posting as
159 provide by law.

160
161 PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this
162 _____ day of _____, 2015.

163
164
165
166 _____
167 Jeff Acerson, Mayor

168
169
170
171 ATTEST:

172
173 _____
174 Kathryn A. Moosman,
175 Lindon City Recorder

176
177
178 SEAL

Item 7: Minor Subdivision — Olsen Industrial Park, approx. 325 South Geneva Rd.

Chris Olsen of Olsen Enterprises Inc., requests preliminary approval of a one (1) lot industrial subdivision that will leave an unsubdivided remainder piece at approximately 325 South Geneva Road in the Light Industrial (LI) zone.

<p>Applicant: Olsen Enterprises, Inc. Presenting Staff: Jordan Cullimore</p> <p>General Plan: Commercial Current Zone: Light Industrial (LI)</p> <p>Property Owner: Olson Enterprises, Inc. Address: approx. 325 South Geneva Rd. Parcel ID: 17:021:0044 Lot Size: 9.81 acres (with a 16.1 acre remainder)</p> <p>Type of Decision: Administrative Council Action Required: No</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <ol style="list-style-type: none">Whether to approve a one lot industrial subdivision in the LI zone. <p><u>MOTION</u></p> <p>I move to (<i>approve, deny, continue</i>) the applicant's request for approval of a one lot industrial subdivision with the following conditions (if any):</p> <ol style="list-style-type: none">
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

BACKGROUND

- Currently, Mountain State Steel and Sunroc both sit on the same parcel. This subdivision will separate the Sunroc site from the Mountain State Steel site so that the two pieces can be under separate ownership.

DISCUSSION & ANALYSIS

Lot Requirements

- Minimum lot size in the LI zone is 1 acre (43,560 sq. ft.). The lot created by this subdivision will be 9.81 acres. The remaining unsubdivided parcel upon which Mountain State Steel sits will be 16.1 acres and may be further subdivided at a future date.

Other Requirements

- Staff has determined that the proposed subdivision complies, or will be able to comply before final approval, with all remaining land use standards.
- The City Engineer is addressing engineering standards. All engineering issues will be resolved before final approval is granted. There is a possibility that street dedication may be required along the eastern boundary line, but such dedication will not disqualify the lot from meeting code requirements. The City Engineer is reviewing the site to determine if the current right-of-way meets city standards, or if dedication will be necessary.

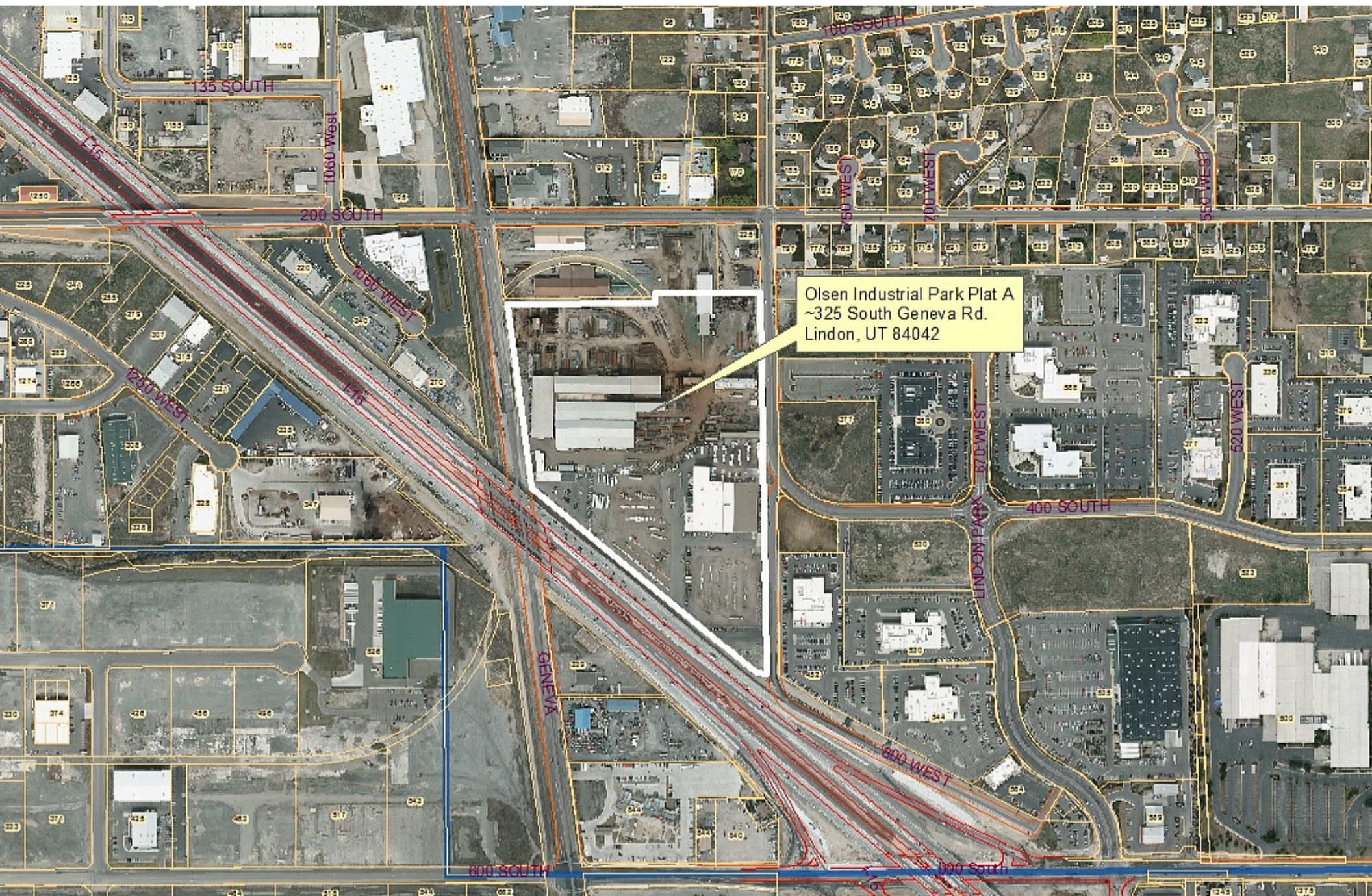
MOTION

I move to (*approve, deny, continue*) the applicant's request for approval of a one lot commercial subdivision with the following conditions (if any):

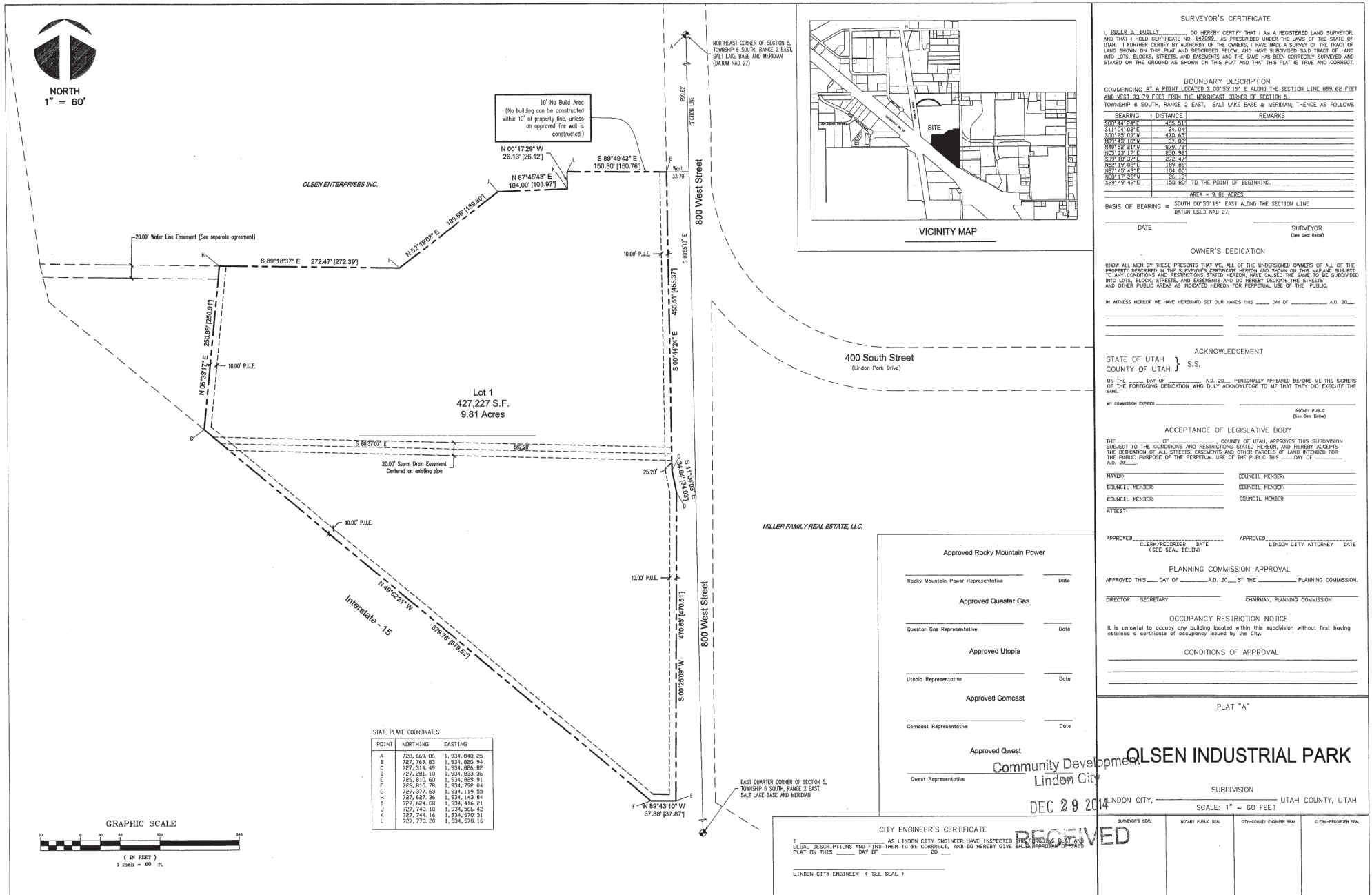
-
-
-

ATTACHMENTS

1. Aerial photo of the proposed subdivision.
2. Preliminary plan.



Attachment 2



Item 8: Public Hearing — Ordinance Amendment, Lindon City Standard Land Use Table

Lindon City requests approval of an amendment to the Lindon City Standard Land Use Table. The proposed amendment would establish legal services as a permitted use in the Research & Business (R&B) zone.

<p>Applicant: Lindon City Presenting Staff: Jordan Cullimore</p> <p>Zones Affected: Research & Business (R&B)</p> <p>Type of Decision: Legislative Council Action Required: Yes</p>	<p><u>SUMMARY OF KEY ISSUES</u></p> <p>1. Whether it is in the public interest to recommend approval of the proposed amendment to the City Council.</p> <p><u>MOTION</u></p> <p>I move to recommend (<i>approval, denial, continuation</i>) of the proposed ordinance amendment to the Lindon City Standard Land Use Table (<i>as presented, with changes</i>).</p>
----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------	-----------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------------

SUMMARY

A law firm recently applied for a business license to operate in the R&B zone, at which time staff discovered that legal services is not a permitted use in the R&B zone. Staff has determined that designating legal services as a non-permitted use in the R&B zone was an unintended oversight, as legal services appears to be a compatible use with other permitted business and professional offices uses in the R& B zone.

The stated purpose of the R&B zone is to “provide an aesthetically attractive working environment exclusively for and conducive to the development and protection of *offices* [emphasis added], research and development institutions, and certain specialized assembling and packaging uses as a secondary use to the primary function of the building.”

Consequently, staff is recommending that legal services be designated as a permitted use in the R&B zone.

MOTION

I move to recommend (*approval, denial, continuation*) of the proposed ordinance amendment to the Lindon City Standard Land Use Table (*as presented, with changes*).

ATTACHMENTS

1. Proposed amendment

Attachment 1

ORDINANCE NO. 2015-02-O

AN ORDINANCE OF THE CITY COUNCIL OF LINDON CITY, UTAH COUNTY, UTAH, AMENDING THE LINDON CITY STANDARD LAND USE TABLE OF THE LINDON CITY CODE TO DESIGNATE LEGAL SERVICES AS A PERMITTED USE IN THE RESEARCH AND BUSINESS (R&B) ZONE AND PROVIDING FOR AN EFFECTIVE DATE.

WHEREAS,; and

WHEREAS,; and

WHEREAS, the Lindon City Planning Commission has recommended **approval** of an amendment to the Standard Land Use Table of the Lindon City Code; and

WHEREAS, a public hearing was held on January 13, 2015, to receive public input and comment regarding the proposed amendment...; and

WHEREAS, **no** adverse comments were received during the hearing; and

WHEREAS, the Council held a public hearing on January XX, 2015 to consider the recommendation.

NOW, THEREFORE, BE IT ORDAINED by the City Council of the City of Lindon, Utah County, State of Utah, as follows:

SECTION I: The Lindon City Standard Land Use Table of the Lindon City Code is hereby amended to read as follows:

Parking Group	Permitted Primary Uses	Residential	Mixed Rec.		Commercial							Industrial		R&B
		(R1-12, R1-20, R3)	RMU-W	RMU-E	PC-1	PC-2	CG	CG-A	CG-A8	CG-S	MC	HI	LI	
6500	Veterinarian Services, Animal Hospitals - small animals only	N	C	N	N	N	C	C	C	C	C	N	C	N
6500	Veterinarian Services, Animal Hospitals - large animals	N	C	N	N	N	N	N	N	N	N	N	C	N
6500	Legal Services	N	N	N	P	N	P	P	P	P	P	N	P	N P
6500	Engineering & Architectural	N	N	N	P	N	P	P	P	P	P	N	P	P
6500	Educational & Scientific Research	N	N	N	P	N	P	P	P	P	P	N	P	P
6500	Accounting, Auditing & Bookkeeping	N	N	N	P	N	P	P	P	P	P	N	P	P
6500	Urban Planning	N	N	N	P	N	P	P	P	P	P	N	P	P
6500	Auction Services - Indoor Only	N	N	N	N	N	P	P	P	P	P	N	P	N
6500	Family & Behavioral Counseling	N	N	N	N	N	P	P	P	P	P	N	N	P
6500	Genealogical - Family History Services	N	N	N	N	N	P	P	P	P	P	N	N	P
6500	Interior Design	N	N	N	N	N	P	P	P	P	P	N	P	P
6600	Building Construction - General Contractor, Office & Storage	N	N	N	N	N	N	N	N	N	C	N	P	N
6600	Landscaping Service, Office & Storage	N	N	N	N	N	N	N	N	N	C	N	P	N
6800	Private Primary & Secondary Schools	C	N	N	N	N	C	C	C	C	C	N	C	N
6800	Universities & Colleges	N	N	N	N	N	C	C	C	C	C	N	C	C
6800	Professional & Vocational Schools	N	N	N	N	N	C	C	C	C	C	N	C	C
6800	Martial Arts Studios	N	N	N	N	N	P	P	P	P	P	N	P	N
6800	Barber & Beauty Schools	N	N	N	N	N	P	P	P	P	P	N	N	N
6800	Art & Music Schools	N	N	N	N	N	P	P	P	P	P	N	P	C
6800	Dancing, Tumbling, and Gymnastics Schools	N	N	N	N	N	P	P	P	P	P	N	P	C
6800	Driving Schools	N	N	N	N	N	P	P	P	P	P	N	P	N
6911	Churches, Synagogues & Temples	C	C	C	N	N	N	N	N	N	C	N	N	C
6800	Adoption Agencies	N	N	N	N	N	P	P	P	P	P	N	N	P
6800	Professional Members Organizations	N	N	N	N	N	N	N	N	N	P	N	C	P
6800	Labor Unions & Similar Labor Organizations	N	N	N	N	N	N	N	N	N	P	N	C	P
6800	Civic, Social & Fraternal Associations	N	N	N	N	N	N	N	N	N	P	N	C	P
PUBLIC ASSEMBLIES & AMUSEMENTS														
7100	Libraries	N	N	N	N	N	P	P	P	P	P	N	N	N
7100	Museums	N	N	N	P	P	P	P	P	P	P	N	N	P
7100	Art Galleries	N	N	N	P	P	P	P	P	P	P	N	N	P
7100	Planetaria, Aquariums, Botanical Gardens, & Arboretums	N	C	N	N	N	P	P	P	P	P	N	N	C

SECTION II: The provisions of this ordinance and the provisions adopted or incorporated by reference are severable. If any provision of this ordinance is found to be invalid, unlawful, or unconstitutional by a court of competent jurisdiction, the balance of the ordinance shall nevertheless be unaffected and continue in full force and effect.

SECTION III: Provisions of other ordinances in conflict with this ordinance and the provisions adopted or incorporated by reference are hereby repealed or amended as provided herein.

SECTION IV: This ordinance shall take effect immediately upon its passage and posting as provide by law.

PASSED and ADOPTED and made EFFECTIVE by the City Council of Lindon City, Utah, this _____ day of _____, 2015.

Jeff Acerson, Mayor

ATTEST:

Kathryn A. Moosman,
Lindon City Recorder

SEAL

Item 9: New Business (Planning Commissioner Reports)

Item 1 – Subject _____
Discussion

Item 2 – Subject _____
Discussion

Item 3 – Subject _____
Discussion

Item 10: Planning Director Report

1. ICO Apartment Tour
2. Avalon Senior Living Update
3. Envision Utah “Build Your 2050 Utah”

Adjourn

PROJECT TRACKING LIST

APPLICATION NAME	APPLICATION DATE	APPLICANT INFORMATION	PLANNING COMM.	CITY COUNCIL
			DATE	DATE
Ordinance changes: LCC 17.38 'Bonds for Completion of Improvements to Real Property'	January 2014	City Initiated	Mar. 11	TBD
<i>City initiated ordinance changes needed to bring code into compliance with current practices and State laws.</i>				
Zone Change: Old Town Square	Feb 1, 2012	Scott Larsen	Feb. 14, continued	Pending
<i>Request for approval of a zone change for two parcels located at 873 West Center Street from R1-20 (Residential Low) to LI (Light Industrial).</i>				
Property Line Adjustment: LBA Rentals	Mar 12, 2012	Lois Bown-Atheling	N/A	N/A
<i>Request for approval of a property line adjustment to clean up existing parcels lines for five parcels in the CG zone at 162 & 140 South Main Street. This project is in conjunction with the Castle Park project.</i>				
Ordinance changes: LCC 17.32, 17.58, 17.66.020 'Subdivisions'	Nov. 2012	City Initiated	Nov. 13, Dec. 11, Jan. 8, Jan. 22	TBD
<i>City initiated ordinance changes needed to bring code into compliance with current practices and State laws.</i>				
Site Plan: Lindon Senior Apartments	Sept. 2013	Matt Gneiting	TBD	TBD
<i>Request for site plan approval for senior housing apartments on State & Main</i>				
Amended Site Plan: Wasatch Ornamental Iron	June 2014	Melvin Radmall	N/A	N/A
<i>Request for staff approval of a 16x18 machine cover in the LI zone located at 310 North Geneva Road.</i>				
Reasonable Accommodation: Reflections Recovery	Sept. 2014	Ron Wentz	TBD	TBD
<i>Request for a reasonable accommodation from four to sixteen individuals for group living facilities for disabled persons. 145 S 200 E</i>				
Miscellaneous: UIS Detention Basin Upgrade	Sept. 2014	MS Properties	N/A	N/A
<i>Request for staff approval of an upgrade to a detention basin at 433 N 1030 W.</i>				
Property Line Adjustment	Oct. 2014	Steven Merrill	N/A	N/A
<i>Request for a property line adjustment at 455 E 500 N. Staff approved.</i>				
General Plan Map Amendment: Colmena Group	Oct. 2014	Bryan Stevenson	Oct. 28	Nov. 5
<i>Request for a General Plan Map Change from General Commercial to Light Industrial at ~600 South Geneva Road</i>				
Conditional Use Permit: Planet Power Toys	Oct. 2014	Lynn A. Clingo	Nov. 11	N/A
<i>Request to operate a personal recreational vehicle dealership in the General Commercial Zone at 165 South State. ATVs, Boats, RVs, Used Cars.</i>				
Minor Subdivision: Lindon Spring Gardens	Oct. 2014	Russ Watts	Nov. 25	N/A
<i>Request for approval of a 1 lot subdivision at 700 N 800 W.</i>				
Major Subdivision: Lexington Cove	Nov. 2014	Jason Brown	Nov. 25	TBD
<i>Request for approval of a 9 lot subdivision at approx. 650 N Locust Ave.</i>				
Site Plan: Kids Village	Nov. 2014	Ann Whittaker	Nov. 25	N/A
<i>Request for site plan approval of a private school at 200 N. State Street.</i>				
Minor Subdivision: Pen Subdivision	Nov. 2014	Pat Nelson	Nov. 25	N/A
<i>Request for approval of a 2 lot subdivision at approximately 400 North Canal Dr.</i>				
Plat Amendment: Kids Village	Nov. 2014	Ann Whittaker	Dec. 9	N/A
<i>Request for approval of a plat amendment of Old Station Square Plat B to remove language limited access to lot 12 from State Street.</i>				
Zone Map Amendment	Dec. 2014	Brandon Pierce	Jan. 27	TBD
<i>Request to rezone parcel 14:069:0266 at approximately 53 North State Street from CG to CG-A.</i>				
Plat Amendment: Coulson Cove Plat D	Dec. 2014	Stephen Phelon	Jan. 13	N/A
<i>Request for approval of a plat amendment in Coulson Cove to correct property line issues.</i>				
Site Plan: Zyto Technologies/Tams Solutions	Dec. 2014	Barrett Morley	Jan. 13	N/A
<i>Request for site plan approval of an office building and an office/retail building at approximately 1100 West 700 North.</i>				
Flag Lot Setback Ordinance Amendment	Dec. 2014	Rick Chatwin	Jan. 13	TBD
<i>Request for approval of an ordinance amendment to change flag lot setback requirements to reflect setback requirements on standard residential lots.</i>				
Minor Subdivision: Lindon Tech Center	Dec. 2014	Jared Anzures	Jan. 27	N/A
<i>Request for approval of a 3 lot commercial subdivision at approximately 600 North 2000 West.</i>				
Site Plan: Lindon Tech Center	Dec. 2014	Jared Anzures	Jan. 27	N/A
<i>Request for site plan approval of a phased site plan that will include 3 commercial buildings.</i>				
Minor Subdivision: Westlind Industrial Park	Dec. 2014	Jill Einerson	Jan. 27	N/A
<i>Request for approval of a 2 lot industrial subdivision at 1450 West 70 South.</i>				
Minor Subdivision: Olsen Industrial Park	Dec. 2014	Chris Olson	Jan. 13	N/A
<i>Request for approval of a 1 lot industrial subdivision at 325 S. Geneva Rd.</i>				
Minor Subdivision: Ostler Industrial Park	Dec. 2014	Brian Pittard	Jan. 27	N/A
<i>Request for approval of a 2 lot industrial subdivision at 124 S. 1800 W.</i>				
Site Plan: Mix Right	Dec. 2014	Brian Pittard	Jan. 27	N/A

Request for site plan approval at 124 S. 1800 W.				
Ordinance Amendment: Legal Services in R&B	Jan. 2015	Lindon City	Jan. 13	TBD
Request for approval of an ordinance amendment to designate legal services as a permitted use in the R&B zone.				
Minor Subdivision: Ruf Subdivision	Jan. 2015	Ben Davis	Jan. 27	N/A
Request for approval of a 1 lot commercial subdivision at approx. 1200 W 700 N.				
NOTE: This Project Tracking List is for reference purposes only. All application review dates are subject to change.				
PC / CC Approved Projects - Working through final staff & engineering reviews (site plans have not been finalized - or plat has not recorded yet):				
Stableridge Plat D	Tim Clyde – R2 Project		Old Station Square Lots 11 & 12	
AM Bank – Site Plan	Joyner Business Park, Lot 9 Site Plan		Olsen Industrial Park Sub, Plat A (Sunroc)	
Lindon Gateway II	Freeway Business Park II		Lindon Harbor Industrial Park II	
West Meadows Industrial Sub (Williamson Subdivision Plat A)	Keetch Estates Plat A		Lakeside Business Park Plat A	
Craig Olsen Site Plan	Noah's Life Site Plan		Green Valley Subdivision	
LCD Business Center			Noah's Life Subdivision	
Long Orchard Subdivision				
Bishop Corner Plat B				

Board of Adjustment		
Applicant	Application Date	Meeting Date

Annual Reviews				
APPLICATION NAME	APPLICATION DATE	APPLICANT INFORMATION	PLANNING COMM.	CITY COUNCIL
			DATE	DATE
Annual review - Lindon Care Center 680 North State Street (File # 05.0383.8) administrator@lindoncare.com	Existing use.	Lindon Care Center Manager: Christine Christensen 801-372-1970.	March 2015 Last Reviewed: 3/14	N/A
Annual review of care center to ensure conformance with City Code. Care center is a pre-existing use in the CG zone.				
Annual review of CUP - Housing Authority of Utah County - Group home. 365 E. 400 N. (File # 03.0213.1) lsmith@housinguc.org	Existing CUP	Housing Auth. Of Utah County Director: Lynell Smith 801-373-8333.	March 2015 Last Reviewed: 3/14	N/A
Annual review of CUP to ensure conformance with City Code. Group home at entrance to Hollow Park was permitted for up to 3 disabled persons.				
Heritage Youth Services - Timpview Residential Treatment Center. 200 N. Anderson Ln. (File # 05.0345) info@heritageyouth.com info@birdseyertc.com	Existing CUP	HYS: Corbin Linde, Lynn Loftin 801-798-8949 or 798-9077	March 2015 Last Reviewed: 3/14	N/A
Annual review required by PC to ensure CUP conditions are being met. Juvenile group home is permitted for up to 12 youth (16 for Timp RTC) not over the age of 18.				

Grant Applications	
Pending	Awarded
Bikes Belong - Trail construction grant. Requested amount: \$10,000 o Status: NOT SELECTED FOR 2010. WILL RE-APPLY IN 2014.	MAG Bicycle Master Plan Study Awarded funds to hire consultant to develop bicycle master plan to increase safety and ridership throughout the city.
Land and Water – Trail construction grant. Requested amount: \$200,000 o Status: NOT SELECTED. RE-APPLY IN 2014.	Utah Heritage Foundation — Lindon Senior Center Awarded 2013 Heritage Award in the Category of Adaptive Use Project.
Hazard Mitigation Grant / MAG Disaster Relief Funds- (pipe main ditch)	EDC Utah 2014 — Awarded matching grant to attend ICSC Intermountain States Idea Exchange 2014.
FEMA Hazard Mitigation Grant – (pipe Main Ditch)	CDBG 2014 Grant – Senior Center Computer Lab (\$19,000)

Planning Dept - Projects and Committees			
On-going activities (2014 yearly totals)	Misc. projects	UDOT / MAG projects	Committees
<i>Building permits Issued: 228 New residential units: 53</i>	<i>2010-15 General Plan implementation (zoning, Ag land inventory, etc.)</i>	<i>700 North CDA</i>	<i>Utah Lake Commission Technical Committee: Bi-Monthly</i>
<i>New business licenses: 74</i>	<i>Lindon Hollow Creek-Corps of Eng., ditch relocation</i>	<i>Lindon Bicycle Master Plan</i>	<i>MAG Technical Advisory Committee: Monthly</i>
<i>Land Use Applications: 64</i>	<i>Lindon Heritage Trail Phase 3</i>		<i>Lindon Historic Preservation Commission: Bimonthly</i>
<i>Drug-free zone maps: 27</i>			